

TYPE II APPLICATION – LAND USE

File #: DR223-0002

TYPES – PLEASE CHECK ONE:

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance _____
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Yamhill LAnd Developemnt Services LLC

ADDRESS: PO Box 1042 CITY: Newberg STATE: OR ZIP: 97132

EMAIL ADDRESS: djd.ylds@gmail.com PHONE: _____ MOBILE: 503-476-7702

OWNER (if different from above): Pacific Region Open Bible Standard Churches PHONE: _____

ADDRESS: 1605 N College St CITY: Newberg STATE: OR ZIP: 97132

ENGINEER/SURVEYOR: Yamhill Land Development Services LLC CONTACT: Daniel Danicic, PE50,00050,000

EMAIL ADDRESS: djd.ylds@gmail.com PHONE: _____ MOBILE: 503-476-7702

GENERAL INFORMATION:

PROJECT LOCATION: 1605 N College St Newberg, OR 97132 PROJECT VALUATION: \$ 50,000

PROJECT DESCRIPTION/USE: Placement of Modular Classroom

MAP/TAX LOT NO. (i.e. 3200AB-400): R3216AD-06900, 07000 and 07400 SITE SIZE: 3.54 SQ. FT. ACRE

COMP PLAN DESIGNATION: LDR CURRENT ZONING: R-1

CURRENT USE: School

SURROUNDING USES:

NORTH: R-2 Residential SOUTH: R-1 Residential

EAST: R-1 Residential WEST: R-1 Residential

ATTACHED PROJECT CRITERIA AND REQUIREMENTS (check all that apply)

General Checklist: Fees Public Notice Information Current Title Report Written Criteria Response Owner Signature

2 Copies of full Application Packet

For detailed checklists, applicable criteria for the written response, and other requirements per application type, turn to:

Design Review	p. 13
Partition Tentative Plat	p. 15
Subdivision Tentative Plat	p. 17
Variance Checklist	p. 20
Short-term Rental	p. 22

The Application Packet can be submitted to Planning@newbergoregon.gov or at 414 E First St., Newberg OR. 97132
 If the Application is emailed 2 physical copies must be mailed or brought into the Community Development Department

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

[Signature] 3-23-23
 Applicant Signature Date

[Signature] 3-20-23
 Owner Signature Date

Daniel Danicic, PE
 Print Name

Steve Wallo
 Print Name

Type I Application (Administrative Review)

File #: DR223-0002 / ADJC 23-6004

TYPES – PLEASE CHECK ONE:

- Code Adjustment
- Final Plat
- Minor Design Review
- Property Line Adjustment
- ADU or Cottage Cluster Design Review
- Property Line Consolidation
- Type I Extension or Type I Minor/Major Modification
- Type II or Type III Extension or Minor Modification
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Yamill Land Development Services LLC

ADDRESS: PO Box 1042 CITY: Newberg STATE: OR ZIP: 97132

EMAIL ADDRESS: djd.ylds@gmail.com PHONE: _____ MOBILE: 503-476-7702

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CURRENT USE: School

SURROUNDING USES:

NORTH: R-2 Residential SOUTH: R-1 Residential

EAST: R-1 Residential WEST: R-1 Residential

ATTACHED PROJECT CRITERIA AND REQUIREMENTS (check all that apply)

General Checklist: Fees Current Title Report Written Criteria Response Owner Signature 2 Copies of full Application Packet

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

Code Adjustment.....	p. 4
Final Plat	p. 6
Minor Design Review	p. 10
Property Line Consolidation.....	p. 11
Property Line Adjustment.....	p. 12

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

[Signature] 3/20/23
Applicant Signature Date

[Signature] 3/20/23
Owner Signature Date

Daniel Danicic, PE
Print Name

Steve Wallo
Print Name

Date: March 15, 2023
To: City of Newberg, Planning Dept.
From: Daniel Danicic, PE
Subject: CS Lewis Academy Modular Classroom Addition

Applicant: CS Lewis Academy
1605 N. College St
Newberg, OR 97132

Prepared by: Daniel Danicic, PE
Yamhill Land Development Services LLC

Location: 1605 N. College St
Newberg, OR 97132

Tax Map ID: R3218AD 06900, 07000 and 07100

Zoning: R1 Low Density Residential
Tax Lot R3218AD-07100 and 06900

Project Overview:

CS Lewis Academy is proposing to place a pre-manufactured modular classroom unit on their property. It will be placed next to the modular unit placed this last year.

The unit is an existing structure being donated by the Newberg School District. It is currently located on the Edwards School site. The modular unit is 1792 SF and consists of two classrooms each with a single toilet and sink. It will be plumbed into the onsite private water and sanitary sewer lines. The original set of building plans will be submitted for approval when the building permit is submitted.

The rain garden constructed for the recent modular unit installation will be expanded to serve the new unit.

Date: March 15, 2023
To: City of Newberg, Planning Dept.
From: Daniel Danicic, PE
Subject: CS Lewis Academy Modular Classroom Addition

1. Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.

RESPONSE: The proposed architectural design of the modular building is wood siding with asphalt shingle roofing. This is very similar to the residential homes to the north, the adjacent modular unit and the other classroom and administrative offices on the site. The adjacent auditorium is metal sided. The structure will fit in well with the overall site improvements.

2. Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.

RESPONSE:

Circulation: On-site circulation consists of two entrances from N College St; one in and one out. This layout does not utilize the public street and provides an efficient entry and exit onto the public street. The circulation is shown in the figure below:



Parking: A Type I Code Adjustment application is being submitted simultaneously with this application in regard to the number of parking spaces on the site. Parking spaces are provided by the existing site improvements. NMC 15.440.030 requires 104 spaces with the new modular classroom unit. Current parking spaces number 91 total, 88 standard and 3 ADA spaces, resulting in a 14% decrease in the requisite number of spaces which is allowed by NMC..

3. Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements

RESPONSE:

15.410.020 Font yard setback does not apply as this location of the improvement is set in the interior of the lot with no right of way frontage.

15.10.030 Interior setback minimum of five feet is met as the proposed structure is set 41.40 feet from the north property line.

15.415.020 Building height limitation of 30 feet is met as the proposed structure is 14.5 feet.

4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.

RESPONSE:

15.420.010 A minimum of 15% landscaped area is required.

Existing property area 154,085 SF; Required landscaped area of 15% is 23,112 SF

Existing Building area is 35,042 SF plus additional 1,770 SF for proposed modular unit results in a total building coverage of 24%

The existing parking area is 40,478 SF for a total coverage of 26%

The remain lot area not improved is landscaped/natural ground totals 76,525 sf which is 50%. Landscape criteria is met.

5. Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.

RESPONSE: Not applicable.

6. Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.

RESPONSE: Not applicable.

7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.

RESPONSE: The existing zoning of R1 allows for educational classrooms.

8. Sub district Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.

RESPONSE: Not applicable.

9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.

RESPONSE: The entire street frontage was recently improved as part of a City of Newberg pedestrian improvements project constructing new sidewalk, curb and driveway approaches. The improvements meet all ODOT and City standards.

10. Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director.

RESPONSE: From the Institute of Transportation Engineers (ITE), Trip Generation Manual, 10th Edition, Trip Code 520 Elementary School, the PM peak hour vehicle trip rate is 3.16 per 1,000 square feet of gross floor area. For the proposed modular addition of 1,792 square feet this equates to 5.7 pm peak hour vehicle trips. This is less than the 40 trip requirement to trigger a Traffic Study.

EXTERIOR LIGHTING Chapter 15.425.

RESPONSE: There are no proposed changes or additions to the existing area lighting on the site. The proposed classroom unit will only have entry lighting at each doorway.

STORMWATER

The overall site drainage is to the west. The improved portion of the site, buildings and parking lot, drain southeasterly to a low point catch basin in the parking lot along the south property line. This catch basin drains via a 12" concrete pipe south to a catch basin in Pinehurst Dr.

The project creates a net impervious area of 1770 SF which exceeds the 500 square feet trigger for stormwater treatment per 13.25.260. The proposed modular building is 1,770 square feet. If the new impervious area is greater than 500 square feet and less than 2,877 square feet, Best Management Practices Application and Sizing Forms may be used.

A stormwater garden sized using the city LIDA sizing form will be used to provide stormwater treatment for the new structure. A rain garden was recently constructed for a similar sized modular classroom unit. This facility will be increased in size to accommodate the new modular unit.

WATER AND WASTEWATER

The proposed modular unit has two bathroom facilities. These will be plumbed into the existing onsite private water and sanitary sewer system. No new public service lines or laterals are needed.

FIRE SERVICE AND FLOW

There is a hydrant at the street entrance to the site, west side of N. College St. The results of a flow test by Wyatt Fire Protect, Inc on 7/12/21 are:

FLOW	STATIC	86psi
	PITOT RESIDUAL	27psi
	GPM	1954
	GPM AT 20 PSI	7132 7% drop calculated per NFPA 291
MONITOR	STATIC	86psi
	RESIDUAL	80psi

TRANSPORTATION

N. College is classified as a minor arterial in the Newberg TSP. The required minimum right of way is 69ft. which is a 34.5ft. half street width. The existing half street right of way is 35 ft meeting the standard. The required frontage improvements are for 6ft bike lane, curb, 5.5ft planter strip and 5ft sidewalk. This standard is met except for the planter strip as a portion of the frontage is curb-tight sidewalk. The City of Newberg recently completed these improvements and can be considered in full compliance.

Date: March 15, 2023
To: City of Newberg, Planning Dept.
From: Daniel Danicic, PE
Subject: CS Lewis Academy ModulaR Classroom Addition

Pursuant to NMC 15.210.020, Applicant is requesting a code adjustment to the requisite number of parking spaces in conjunction with its type II application for a major site design review.

Chapter 15.210 Code Adjustments
15.210.020 Type I adjustments and approval criteria.

(C) dimensional standards and minimum number of off-street parking spaces, Provide a written response to how your project will meet the following criteria:

(a) Special characteristics of users which indicate low demand for off-street parking (e.g. low income, elderly).

RESPONSE: The majority of vehicle trips to the school is to drop off and pick up students. The parking area is primarily used by staff and visitors. It is observed that the lot routinely has excess capacity.

(b) Opportunities for joint use of nearby off-street parking facilities.

RESPONSE: There are no nearby locations that could provide the opportunity to use off street parking facilities jointly.

(c) Availability of public transit.

RESPONSE: Public transit runs along N College Street and is readily available to serve the subject property.

(d) Natural features of the site (topography, vegetation, drainage) which would be adversely affected by application of required parking standards.

RESPONSE: No such natural features exist.

(e) Possible conversion of the site to other uses in the future.

RESPONSE: Future development of the property to the west would allow for additional parking and structures. It would be more appropriate to require the additional parking with future more significant development of the site.

(f) No adjustment shall be greater than 25% of the requirement from which the exception is granted.

RESPONSE: Parking spaces are provided by the existing site improvements. NMC 15.440.030 requires 115 spaces with the new modular classroom unit. Current parking spaces number 88 total, 85 standard and 3 ADA spaces, resulting in an 25% decrease in the requisite number of spaces which is allowed by NMC.

Category	Number of Teaching Stations	Parkings Spaces per Stations	Total Spaces
High School (existing)	4	9.5	38
Middle School (existing)	3	5.5	16.5
Elementary School (existing)	7	5.5	38.5
Middle School (New proposed)	2	5.5	11
	14	Total Spaces Required	104
		14% Reduction	14
		Min Number of Spaces with 14% reduction	90
		Total Existing Spaces	91

With the 14% code adjustment, there will be a sufficient number of spaces in the existing parking area.

Applicant requests an adjustment to the code to allow for an 14% reduction in the parking requirement for the addition of one modular classroom.

POSTED NOTICE

Land Use Notice

FILE NO. DR223-XXXX/ADJC23-XXX

PROPOSAL: Add one modular classroom building to site

FOR FURTHER INFORMATION, CONTACT:

City of Newberg
Community Development Department
414 E First Street
Phone: 503-537-1240

2'

3'

Notice must be white with black letters, and must be landscape orientation, as shown above.
The notice must be lettered using block printing or a "sans-serif" font, such as Arial.



Community Development Department

P.O. Box 970 • 414 E First Street • Newberg, Oregon 97132

503-537-1240. Fax 503-537-1272 www.newbergoregon.gov

WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to add a modular classroom to its current school facilities. You are invited to take part in the City's review of this project by sending in your written comments. The applicable criteria used to make a decision on this application for design review and code adjustment approval are found in the Newberg Development Code 15.15.220 and 15.210.

For more details about giving comments, please see the back of this sheet.

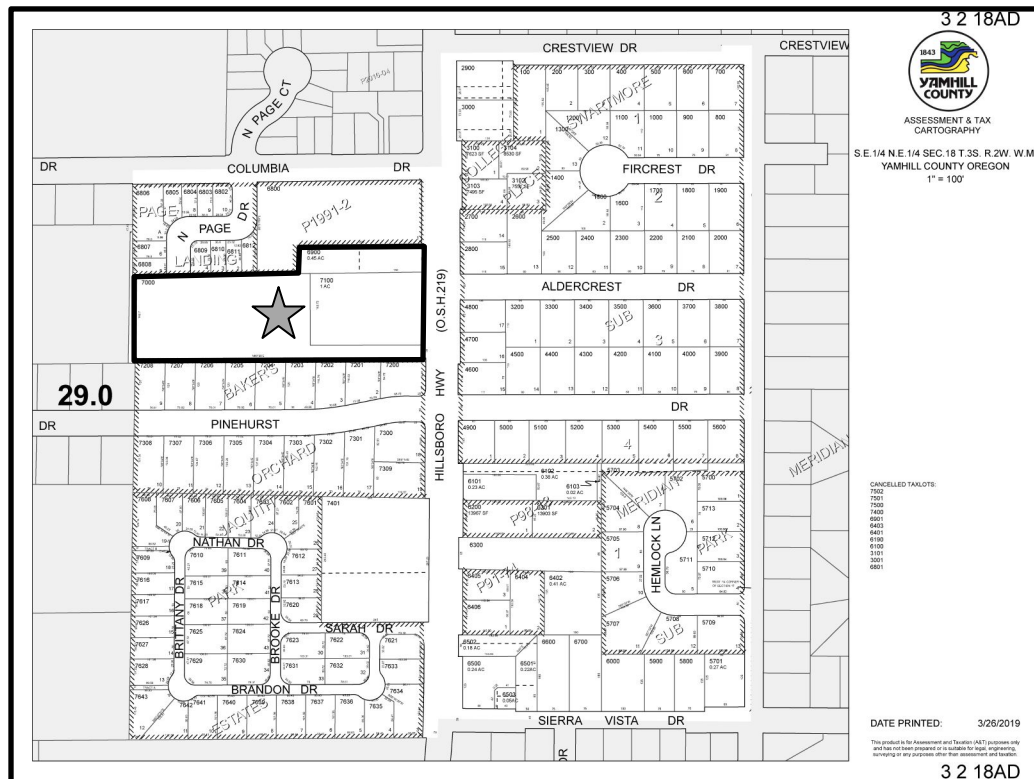
The application would add one more modular classroom to the existing school facilities.

APPLICANT: *Daniel Danicic, Yamhill Land Development LLC*
TELEPHONE: *503-476-7702*

PROPERTY OWNER: *Pacific Region Open Bible Standard Churches*

LOCATION: *1605/1701 N. College Newberg, OR 97132*

TAX LOT NUMBER: *Yamhill County Tax Map and Lot Number 3218AD-06900, 07000 and 07100*



Working Together For A Better Community-Serious About Service"

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We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

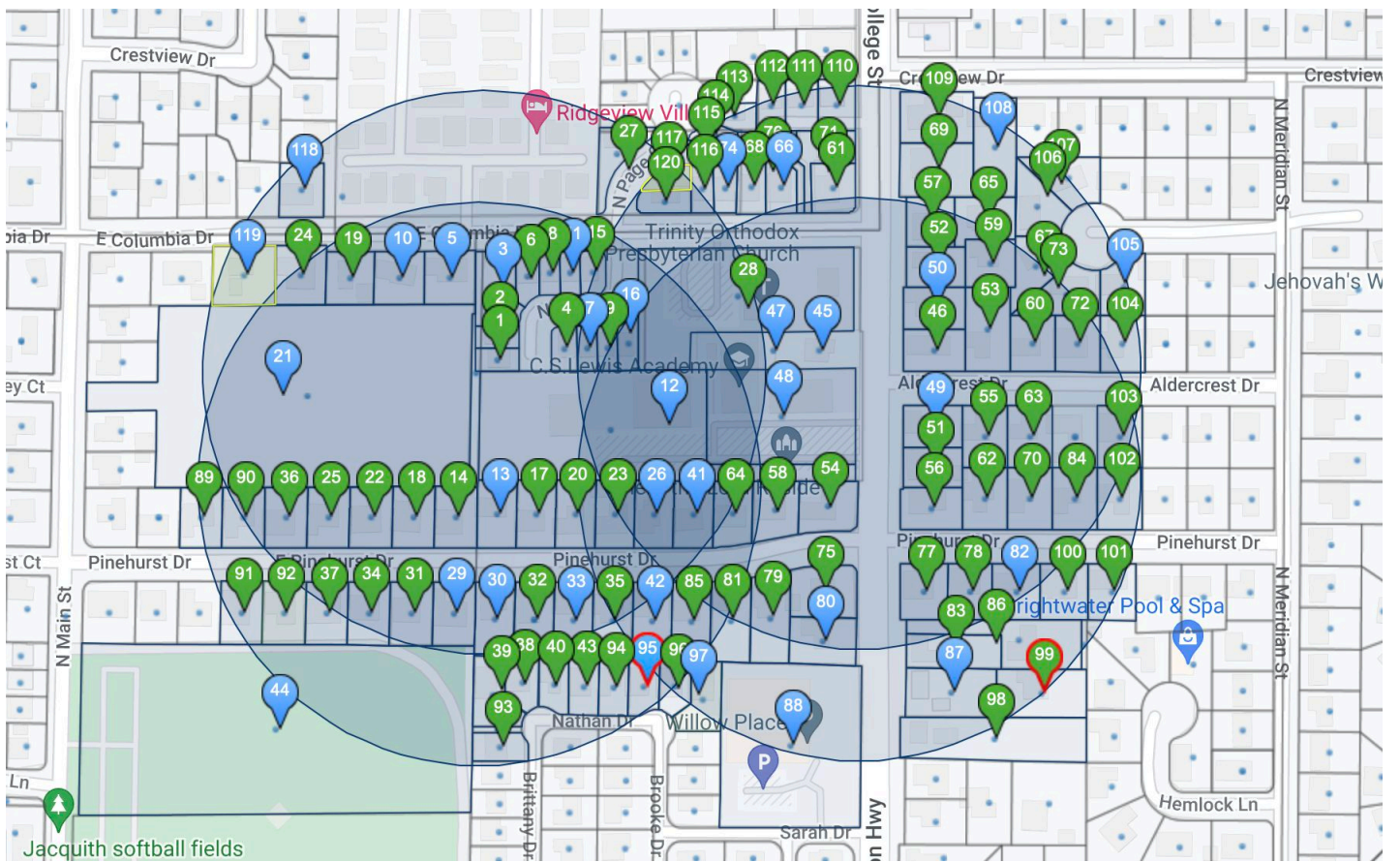
Written Comments: File No.XX **(City staff will give you the file number for
City of Newberg your project at the time of application)**
Community Development Department
PO Box 970
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on **enter date two weeks from date you mailed notice**. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***Date notice is mailed***





First American

my**FirstAm**[®]

1 Line Report

Search Criteria:

Farm Type: Parcel
Land Use Type: Both
Property Type: Residential Properties: All Residential Types
Residential Income & Other: All Res Income And Other Types
Commercial, Industrial, Government/Public Use, Agricultural/Rural, Recreational/Entertainment,
Transportation/Communication
Vacant Land: All Vacant Types
Res. Beds: No Min to No Max
Res. Baths: No Min to No Max
Comm. Stories:
Comm. # of Units: No Min to No Max
Sale Price: No Min to No Max
Sq. Ft.: No Min to No Max
Lot Size: No Min to No Max
Pool: No Preference
Months Back: Any
Occupancy: All



	Parcel Number	Owner Name	Site Address	BD/BA	SqFt	YB
1	39862	Acosta Guillermo Acosta Vicki	200 E Columbia Dr Newberg 97132	5/3	2967	1985
2	41653	Adams Ethan Shae Hill	1400 N College St Newberg 97132	2/1	868	1947
3	561742	Alfaro Francisco J Cazares	1827 N College St Newberg 97132	3/2	1746	2016
4	39942	Anderson Lonny L Anderson	109 E Pinehurst Dr Newberg 97132	3/2	1624	1979
5	41074	Ankeny Nathanael S Ankeny	705 E Aldercrest Dr Newberg 97132	3/1	960	1969
6	40958	Baltzell Todd E Baltzell Cheryl	708 E Fircrest Dr Newberg 97132	3/1	1024	1983
7	490240	Barajas Gregorio C Barajas		3/2	1331	1993
8	711210	Barnett Rhonda L	1812 N Page Ct Newberg 97132	3/3	1668	2019
9	41065	Bauer George R Bauer	709 E Aldercrest Dr Newberg 97132	3/1	960	1970
10	41083	Bellingar Enterprises Llc	1704 N College St Newberg 97132	3/1	1152	1971
11	561739	Bender Tyler Carter Alana C	1821 N College St Newberg 97132	3/1	1784	2016
12	485701	Benuche Joseph E Benuche	409 E Nathan Dr Newberg 97132	3/2	1054	1993
13	42019	Berryman Teddy M Berryman	400 E Pinehurst Dr Newberg 97132	3/1	1074	1977
14	41984	Bessler Brian D Trustee	500 E Pinehurst Dr Newberg 97132	3/2	1697	1977
15	41305	Buckhalter Robert J	709 E Pinehurst Dr Newberg 97132	2/2	1493	1969
16	39835	Byrum Rosa L	300 E Columbia Dr Newberg 97132	3/2	1500	1982
17	41902	Carey Deanna	409 E Pinehurst Dr Newberg 97132	3/2	1232	1977
18	711220	Carlstrom Evan S Carlstrom	1802 N Page Ct Newberg 97132	3/3	1492	2019
19	40976	Carsley Betty J Darby	800 E Fircrest Dr Newberg 97132	3/1	1344	1972
20	485704	Carstensen Wayne T	407 E Nathan Dr Newberg 97132	3/2	1157	1993
21	527398	Cazarez Carlos V Velazquez	1794 N College St Newberg 97132	4/2	1738	2004
22	40397	Chehalem Park & Recreation	1414 N Main St Newberg 97132	0/0	0	0
23	41421	Coatney Carol A	800 E Pinehurst Dr Newberg 97132	2/1	960	1969
24	398965	Colnu Llc	308 E Columbia Dr Newberg 97132	3/2	1693	1980
25	41341	Cornick Living Trust Cornick	700 E Aldercrest Dr Newberg 97132	3/1	1252	1971
26	41323	Correa Ramon	701 E Pinehurst Dr Newberg 97132	3/2	1490	1968
27	41975	Currier Roger E Currier Josie	504 E Pinehurst Dr Newberg 97132	3/1	1074	1977
28	485719	Davis Derris Davis Emily	408 E Nathan Dr Newberg 97132	4/2	1652	1992
29	39853	Decker Susan	220 E Columbia Dr Newberg 97132	2/1	1106	1940
30	40770	Dendy Scott J Dendy Christina	704 E Crestview Dr Newberg 97132	3/1	1198	1968
31	40949	Devoe Sherry A	709 E Fircrest Dr Newberg 97132	3/1	1344	1972
32	42000	Dewar Tara	404 E Pinehurst Dr Newberg 97132	3/2	1123	1977
33	41378	Doran Bradley J Doran	700 E Pinehurst Dr Newberg 97132	3/2	1618	1968
34	485698	Drill Mary E	411 E Nathan Dr Newberg 97132	3/2	1292	1993
35	41118	Duran Rafael Duran Stacy J	1804 N College St Newberg 97132	3/2	1637	1954
36	40039	Edgy Jason Edgy Elizabeth	305 E Pinehurst Dr Newberg 97132	3/2	1598	1987
37	41332	Eichstadt Jarred	1604 N College St Newberg 97132	3/1	1262	1969
38	39979	Englen Michael G Englen	209 E Pinehurst Dr Newberg 97132	3/2	3561	1980



	Parcel Number	Owner Name	Site Address	BD/BA	SqFt	YB
39	41840	Erickson John A Erickson	1603 N College St Newberg 97132	3/2	2067	1976
40	399214	Farr Peter J Farr Danielle	1506 N College St Newberg 97132	4/2	1648	1981
41	711218	Fernandez Living Trust	15009 Ne North Valley Rd Newberg 97132	1/3	1683	2019
42	41092	Gorsek Anthony J Gorsek	701 E Aldercrest Dr Newberg 97132	3/2	1431	1970
43	532543	Grey Valerie A	607 E Columbia Dr Newberg 97132	3/3	1889	2006
44	41886	Gueldner Ella Trustee For	505 E Pinehurst Dr Newberg 97132	3/2	1123	1977
45	41877	Gueldner Family Llc	509 E Pinehurst Dr Newberg 97132	3/1	1072	1977
46	41109	Hall John Manhat Beth A	1812 N College St Newberg 97132	3/1	1192	1954
47	41136	Harris Mark R Harris Penny J	704 E Aldercrest Dr Newberg 97132	3/2	1238	1970
48	511267	Hartman Kenneth W Haragan	1508 N College St Newberg 97132	4/3	2518	1998
49	711232	Hartman Mason G Hartman	1707 N Page Dr Newberg 97132	4/3	1804	2019
50	711216	Her Ger Xiong Ma Tha	505 E Columbia Dr Newberg 97132	4/3	1824	2019
51	41387	Hess Nickolaus J Reed Olivia	704 E Pinehurst Dr Newberg 97132	3/2	1296	1970
52	41396	Hills Michael Hills Dawn	708 E Pinehurst Dr Newberg 97132	3/1	960	1970
53	39880	Howard Roscoe Howard	110 E Columbia Dr Newberg 97132	2/1	710	1925
54	527401	Johnson Randy S Johnson	1790 N College St Newberg 97132	3/3	1678	2004
55	485725	Kasuba Tina K Trust Kasuba		3/2	1084	1992
56	711222	Katsufrakis Scott A	1727 N Page Dr Newberg 97132	3/3	1668	2019
57	40878	Kimmel Nathan W	605 E Columbia Dr Newberg 97132	3/2	1775	2006
58	711208	Kitchen Jeremy S Kitchen	1203 S Meridian St Newberg 97132	3/3	1509	2019
59	40011	Koch Samuel L Koch	301 E Pinehurst Dr Newberg 97132	3/2	1809	1980
60	40164	Kuehne Harold R Trustee For	308 E Pinehurst Dr Newberg 97132	3/2	1634	1981
61	41261	Lackner Ryan Merckling	801 E Pinehurst Dr Newberg 97132	4/1	1032	1969
62	527395	Laine Andrew Laine Amanda	1800 N College St Newberg 97132	3/2	1679	2004
63	41948	Lamberty Janis E Lamberty	604 E Pinehurst Dr Newberg 97132	3/2	1123	1977
64	40967	Lamm Gregg T Lamm Teresa	712 E Fircrest Dr Newberg 97132	3/2	1344	1972
65	532549	Laperriere Monique M	1801 N College St Newberg 97132	4/1	1796	1949
66	41939	Lapinski Sonja K Moeller Alex	1601 N College St Newberg 97132	2/1	1662	1920
67	711192	Lillebo Gabriel Lillebo Sarah	1809 N Page Ct Newberg 97132	3/3	1620	2019
68	41635	Louthan Gabriel Louthan	1502 N College St Newberg 97132	3/2	1747	1948
69	711226	Lynch Janessa J Lynch James	1719 N Page Dr Newberg 97132	3/3	1668	2019
70	485707	Magoon Shawn E Magoon	405 E Nathan Dr Newberg 97132	3/2	1108	1992
71	532540	Mcadoo Bryan W Mcadoo	603 E Columbia Dr Newberg 97132	3/3	1878	2006
72	39951	Mcdaniel Living Trust	201 E Pinehurst Dr Newberg 97132	3/2	1660	1979
73	41920	Mckone Randy & Debbie	401 E Pinehurst Dr Newberg 97132	3/1	1072	1977
74	532546	Mead Cynthia L	609 E Columbia Dr Newberg 97132	3/3	1769	2006
75	485710	Mini Martha P Ramirez	401 E Nathan Dr Newberg 97132	3/2	1228	1993
76	711234	Moore Thomas P Hansen-	1703 N Page Dr Newberg 97132	3/3	1620	2019



	Parcel Number	Owner Name	Site Address	BD/BA	SqFt	YB
77	40100	Morelli Aaron M Morelli	200 E Pinehurst Dr Newberg 97132	3/2	1687	1980
78	41993	Myers Aaron C Myers Beverly	408 E Pinehurst Dr Newberg 97132	3/1	1072	1977
79	41859	Navarrete Anthony Navarrete	605 E Pinehurst Dr Newberg 97132	3/1	1056	1977
80	41966	Nelson Peter S	508 E Pinehurst Dr Newberg 97132	3/1	1072	1977
81	482491	Newberg Alf Llc	1307 N College St Newberg 97132	0/0	0	0
82	711230	Newberg City Of		0/0	0	0
83	711194	Nguyen Thao M		3/3	1509	2019
84	40146	Norman Dolores M Trustee	300 E Pinehurst Dr Newberg 97132	3/2	1378	1981
85	41289	Oconnor Adeline Trustee Of	713 E Pinehurst Dr Newberg 97132	3/1	960	1970
86	41056	Ouellette Eric Ouellette Susan	713 E Aldercrest Dr Newberg 97132	4/2	1905	1970
87	41813	Pacific Region Open Bible	1701 N College St Newberg 97132	3/2	1906	1912
88	41822	Pacific Region Open Bible		0/0	0	0
89	41831	Pacific Region Open Bible	1605 N College St Newberg 97132	0/0	0	0
90	484198	Pacific Region Open Bible		0/0	0	0
91	714888	Pacific Region Open Bible	1701 N College St Newberg 97132	3/2	1906	1912
92	41957	Parkinson Jack B Parkinson	600 E Pinehurst Dr Newberg 97132	3/1	1072	1977
93	40930	Peters Elise J	713 E Fircrest Dr Newberg 97132	3/1	989	1972
94	711206	Petersen Christian	1818 N Page Ct Newberg 97132	3/3	1620	2019
95	41314	Pierce Ronald E Pierce Donna	705 E Pinehurst Dr Newberg 97132	4/2	1744	1969
96	40119	Piscitelli Pasquale	204 E Pinehurst Dr Newberg 97132	3/2	1542	1986
97	485692	Powell Nathan L Powell Trina	1320 N Brooke Dr Newberg 97132	3/2	1523	1992
98	485716	Quatraro Jeff F Quatraro	1317 N Brittany Dr Newberg 97132	3/2	1657	1993
99	41172	Randall Stuart P Randall	800 E Aldercrest Dr Newberg 97132	4/2	1540	1970
100	41047	Randolph Paul S	801 E Aldercrest Dr Newberg 97132	4/2	1536	1970
101	39960	Reid David C	205 E Pinehurst Dr Newberg 97132	3/2	1495	1979
102	41127	Rogers Sabrina Rogers	1802 N College St Newberg 97132	4/3	2571	1925
103	711240	Rosales Steven R Rosales	1728 N Page Dr Newberg 97132	3/3	1509	2019
104	41868	Rydell Leonard A Schroeder	601 E Pinehurst Dr Newberg 97132	3/2	1792	1977
105	42028	Sanchez Mario	1519 N College St Newberg 97132	3/2	1164	1976
106	399205	Scherer Claudia A	1504 N College St Newberg 97132	2/1	830	1947
107	485695	Senz Family Living Trust Senz	413 E Nathan Dr Newberg 97132	3/2	1122	1993
108	711212	Shine Morgan J	16725 Ne Dopp Rd Newberg 97132	3/3	1492	2019
109	711238	Skopil Homes 4 Llc		3/3	1668	2019
110	711224	Skopil Homes 5 Llc		3/3	1509	2019
111	711242	Skopil Homes 8 Llc		3/3	1668	2018
112	711214	Skopil Homes 9 Llc		3/3	1620	2019
113	41911	Smith Mary H	405 E Pinehurst Dr Newberg 97132	3/1	1072	1977
114	40057	Smits Scott E Smits Rebekah	309 E Pinehurst Dr Newberg 97132	3/2	1300	1981



	Parcel Number	Owner Name	Site Address	BD/BA	SqFt	YB
115	41412	Solberg Eric M Solberg Linda	712 E Pinehurst Dr Newberg 97132	3/2	1296	1970
116	41895	Stampley Drew W	501 E Pinehurst Dr Newberg 97132	3/2	1232	1977
117	40155	Stampley Leslie R Revoc	304 E Pinehurst Dr Newberg 97132	3/2	1640	1980
118	711236	Stifter Jason M Stifter Lindsay	1720 N Page Dr Newberg 97132	3/3	1509	2019
119	40814	Tolley Kenneth Tolley Kaylee R	1815 N College St Newberg 97132	3/3	1784	2016
120	715548	Trinity Presbyterian Church Of	600 E Columbia Dr Newberg 97132	0/0	0	0
121	40093	Varney Belinda M	110 E Pinehurst Dr Newberg 97132	3/2	1901	1981
122	485722	Wegener Michael J Wegener	1317 N Brooke Dr Newberg 97132	3/2	1070	1993
123	485713	Whitehurst Taylor	1321 N Brittany Dr Newberg 97132	3/2	1457	1992
124	711228	Willcuts Matthew T	1715 N Page Dr Newberg 97132	3/3	1620	2019
125	41154	Workman-Morelli Michael R	708 E Aldercrest Dr Newberg 97132	4/1	1032	1970
126	711196	Yamada Wayne Yamada		3/3	1668	2019
127	40137	Young Dianne Young David A	208 E Pinehurst Dr Newberg 97132	3/2	1618	1980



First American

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First American Title Insurance Company

775 NE Evans Street
McMinnville, OR 97128
Phn - (503)376-7363
Fax - (866)800-7294

YAMHILL COUNTY TITLE UNIT
FAX (866)800-7294

Title Officer: Larry Ball
(503)376-7363
lball@firstam.com

LOT BOOK SERVICE

Jessica S Cain Attorney at Law, Cain Law Company
PC
505 Rentfro Way, PO BOX 434
Newberg, OR 97132

Order No.: 1039-3799707

August 17, 2021

Attn: Jessica Cain
Phone No.: (971)998-7507 - Fax No.:
Email: jessica@cainlawcompany.com

Re: CS Lewis Academy

Fee: \$500.00

We have searched our Tract Indices as to the following described property:

PARCEL 1:

Being a portion of Section 18, Township 3 South, Range 2 West of the Willamette Meridian in the City of Newberg Yamhill County, Oregon and being a part of the Donation Land Claim of Oliver J. Walker, Claim No. 53, Notification No. 1706, in Yamhill County, State of Oregon, being more particularly described as follows, to-wit:

Beginning at an iron pipe set in the center of State Highway #219 and on the West line of County Survey #2379, at a point 401.34 feet North and 726 feet West of the Quarter Post between Sections 17 and 18 in said Township and Range; thence North along the center of said highway, 339.40 feet to an iron pipe set at the Southeast corner of a tract conveyed to Peter Hilbert, et us by deed recorded May 27, 1920 in Book 81, Page 90, Yamhill County Deed Records, said corner being the Northeast corner of Lot #2 County Survey #2516-1/2, County Survey Records; thence South 89 degrees 28 minutes West 35 feet to a point on the West margin of said highway, and the true point of beginning of the tract herein described; thence continuing South 89 degrees 28 minutes West along the South line of said Hilbert tract, 267.7 feet; thence South 00 degrees 19 minutes West 162.72 feet to an iron rod; thence North 89 degrees 28 minutes East 267.7 feet to the West margin of said highway; thence North 00 degrees 19 minutes East 162.72 feet to the true place of beginning.

PARCEL 2:

Situate, lying and being in the City of Newberg, Yamhill County, State of Oregon, and being a part of the Donation Land Claim of Oliver J. Walker, Claim No. 53, Notification No. 1706, in Yamhill County, State of Oregon, and part of said claim herein conveyed being particularly described as follows, to-

wit:

Beginning at the Southeast corner of that certain tract of land conveyed by True French and Emma C. French, his wife, to Peter Hilbert and Clara Hilbert, his wife, by deed dated May 25, 1920, and which Deed is now recorded in the Office of the Recorder of Conveyance for Yamhill County, State of Oregon, in Book of Deed Volume 81, Page 90; and running thence West along the South line of said tract so conveyed by True French and wife, to Peter Hilbert and wife, 20 rods; thence North 4 rods; thence East parallel with the South line of the premises herein conveyed, 20 rods; thence South 4 rods to the place of beginning, in Section 18, Township 3 South, Range 2 West of the Willamette Meridian, Yamhill County, Oregon.

and as of 08/13/2021 at 8:00 a.m.

We find that the last deed of record runs to

Pacific Region Open Bible Standard Churches

We find the following apparent encumbrances within ten (10) years prior to the effective date hereof:

NONE

1. City liens, if any, of the City of Newberg.
2. Taxes, including the current fiscal year, have been assessed with Religious exemption. If the exempt status is terminated, additional tax may be levied.

(Affects Parcel 1)
3. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.
4. Easement, including terms and conditions contained therein:

Granted to:	The City of Newberg, a municipal corporation
For:	Water pipe line
Recorded:	February 07, 1941
Recording Information:	Book 117, Page 429, Deed and Mortgage Records
5. Restrictive Covenant to Waive Remonstrance, pertaining to public improvements including the terms and provisions thereof

Recorded:	August 04, 1994 in Film Volume 313, Page 606, Deed and Mortgage Records
-----------	---
6. Deed of Trust and the terms and conditions thereof.

Grantor/Trustor:	Newberg Open Bible Church
Grantee/Beneficiary:	First Federal Savings and Loan - Newberg
Trustee:	David C Haugeberg
Amount:	\$102,700.00
Dated:	
Recorded:	May 15, 2007
Recording Information:	Instrument No. 200710539, Deed and Mortgage Records

(Affects a portion of Parcel 2)

7. Easement, including terms and provisions contained therein:
Recording Information: March 14, 2014 as Instrument No. 201402847, Deed and Mortgage Records
In Favor of: State of Oregon, by and through its Department of Transportation
For: slopes, water, gas, electric and communication service lines, fixtures and facilities
8. Unrecorded leases or periodic tenancies, if any.

We have also searched our General Index for Judgments and State and Federal Liens against the Grantee(s) named above and find:

NONE

We find the following unpaid taxes and city liens:

NOTE: Taxes for the year 2020-2021 PAID IN FULL

Tax Amount: \$0.00 EXEMPT
Map No.: R3218AD 07100
Property ID: 41831
Tax Code No.: 29.0

(Affects Parcel 1)

NOTE: Taxes for the year 2020-2021 PAID IN FULL

Tax Amount: \$801.88
Map No.: R3218AD 06900
Property ID: 41813
Tax Code No.: 29.0

(Affects Parcel 2)

THIS IS NOT a title report since no examination has been made of the title to the above described property. Our search for apparent encumbrances was limited to our Tract Indices, and therefore above listings do not include additional matters which might have been disclosed by an examination of the record title. We assume no liability in connection with this Lot Book Service and will not be responsible for errors or omissions therein. The charge for this service will not include supplemental reports, rechecks or other services.



First American

First American Title Insurance Company
775 NE Evans Street
McMinnville, OR 97128

Illegal Restrictive Covenants

Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.



MODERN BUILDING SYSTEMS, INC.
 TELEPHONE: 503 749-4949 FAX: 503 749-4950
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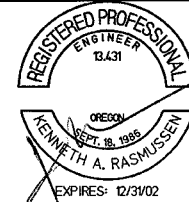
REV.* BY: DATE: PER: SHEETS:

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**28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT**

NEWBERG, OREGON

COVER SHEET



SHEET **1** OF 19

2001-KM-47-2

GENERAL NOTES

1. THE TERM U.B.C. SHALL APPLY TO THE CURRENT EDITION OF THE O.S.S.C. FOR PROJECTS IN THE STATE OF OREGON AND SHALL APPLY TO THE CURRENT EDITION OF THE AMENDED UNIFORM BUILDING CODE FOR PROJECTS IN THE STATE OF WASHINGTON. FOR PROJECTS IN ALL OTHER STATES IT SHALL APPLY TO THE CURRENT EDITION OF THE UNAMENDED UNIFORM BUILDING CODE.
2. ALL CONTROLS AND HARDWARE SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES (109.3)
3. LOCAL JURISDICTION TO DETERMINE COMPLIANCE WITH UBC CHAPTER 29, SECTION 2902 AND TABLE 29A WITH REGARD TO ADJACENT FACILITIES.

P-2

JOB NAME:

NEWBERG S.D.

JOB SITE ADDRESS:

**715 EAST 8th STREET (EDWARDS ELEM.)
 NEWBERG, OR 97132**

OWNER NAME:

NEWBERG SCHOOL DISTRICT

COUNTY:

YAMHILL COUNTY

DESIGN CRITERIA

GENERAL:

CONSTRUCTION TYPE 5-N (NON-SPRINKLERED)
 OCCUPANCY GROUP E1
 OCCUPANCY LOAD (T-10A) 82
 DISTANCE TO PROPERTY LINE OR ASSUMED PROPERTY LINE
 FRONT: 20' MIN.
 REAR: 20' MIN.
 LEFT: 20' MIN.
 RIGHT: 20' MIN.

PLUMBING:

PLUMBING OCCUPANCY LOAD (T-29A) 36
 QUANTITY OF PLUMBING FIXTURES 8

ELECTRICAL:

ELECTRIC SERVICE LOAD 100 AMP + 200 AMP = 300 AMP 1 PH.

MECHANICAL:

VENTILATION OCCUPANCY LOAD 50
 CLIMATE ZONE ZONE 2
 HEATING FAE
 AIR-CONDITIONING YES

STRUCTURAL:

ROOF LIVE LOAD 25 PSF
 FLOOR LIVE LOAD 50 PSF
 WIND LOAD 90 MPH - EXP. B
 SEISMIC ZONE ZONE 3
 OREGON PLAN APPROVAL NO. PENDING

SHEET INDEX

NO.	TITLE
1	COVER SHEET
2	FOUNDATION PLAN
3	FOUNDATION NOTES AND DETAILS
4	FOUNDATION DETAILS
5	FOUNDATION DETAILS
6	FLOOR PLAN
7	SCHEDULES
8	NOTES AND CALCULATIONS
9	EXTERIOR AND INTERIOR ELEVATIONS
10	REFLECTED CEILING / ELECTRICAL / MECHANICAL PLAN
11	ELECTRICAL / MECHANICAL NOTES AND SCHEDULES
12	ELECTRICAL PANEL AND LOAD CALCULATION
13	DETAILS
14	DETAILS
15	DETAILS
16	DETAILS
17	PLUMBING DIAGRAMS
18	CHASSIS PLAN
19	RAMP, LANDING & STAIR DETAILS
20	RAMP, LANDING & STAIR DETAILS
21	RAMP, LANDING & STAIR DETAILS
22	RAMP, LANDING & STAIR DETAILS
23	RAMP, LANDING & STAIR DETAILS
24	RAMP, LANDING & STAIR DETAILS
25	-

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28' x 64' MODULAR CLASSROOM NEWBERG SCHOOL DISTRICT

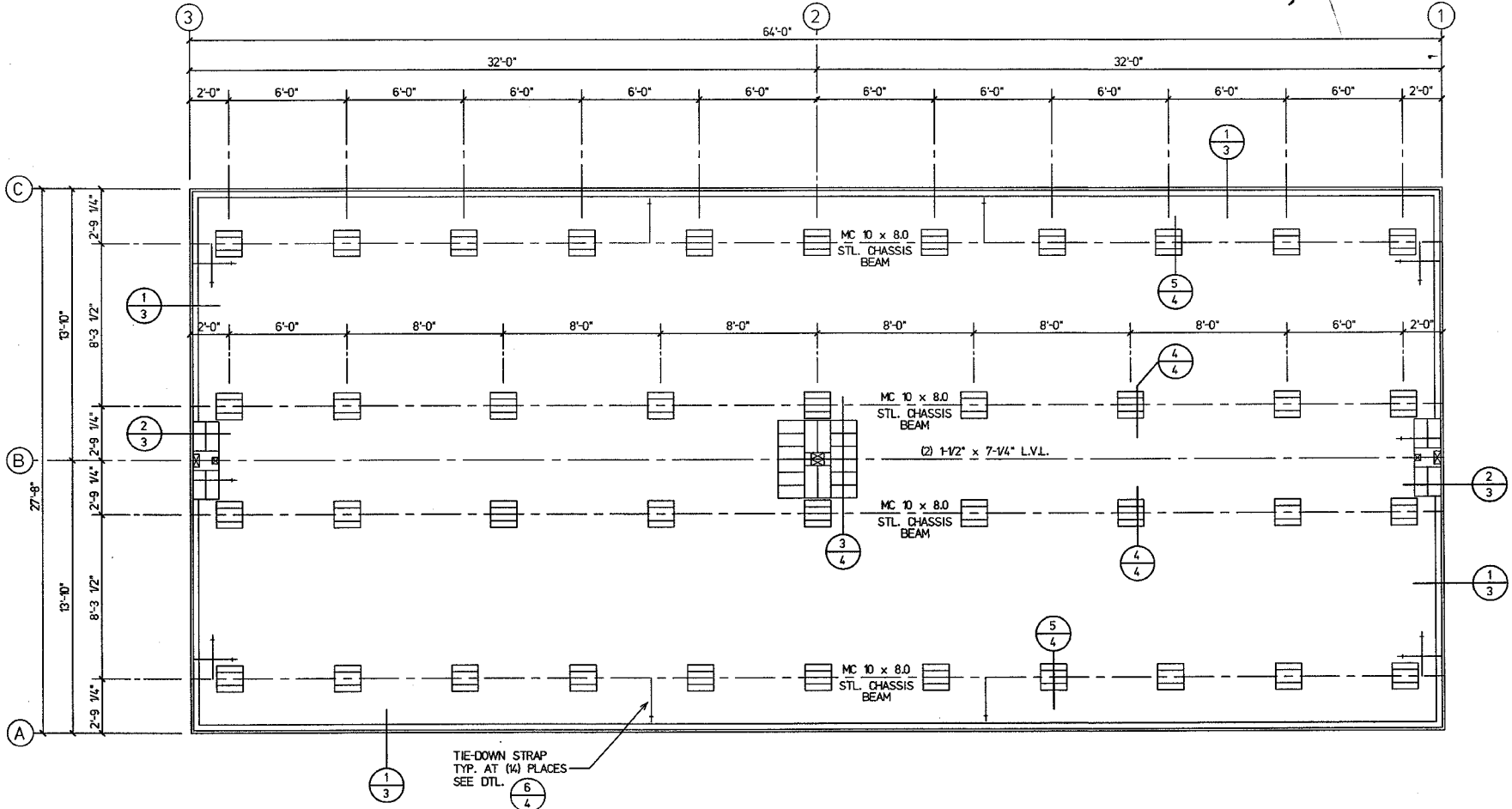
NEWBERG, OREGON

FOUNDATION PLAN



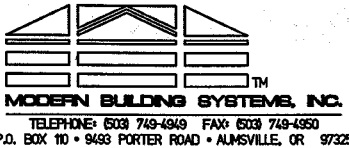
SHEET 2 OF 18

2001-KM-47-1



FOUNDATION PLAN

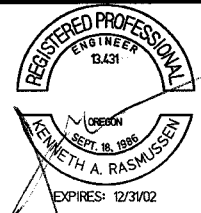
SCALE: 3/16" = 1'-0"



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JGM	9/13/01	-	SUBMIT.	

28' x 64' MODULAR CLASSROOM
NEWBERG SCHOOL DISTRICT

NEWBERG , OREGON



FOUNDATION NOTES AND DETAILS

SHEET **3** OF 18
2001-KM-47-1

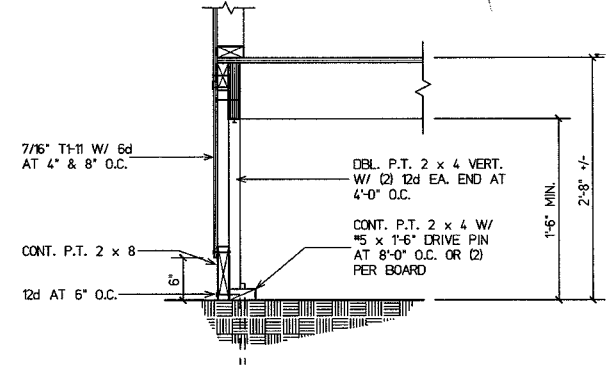
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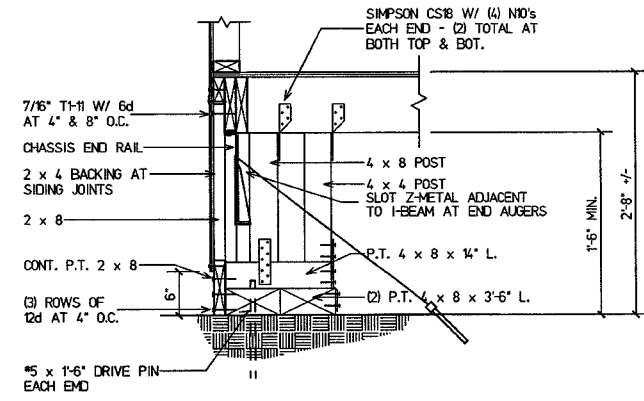
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND OR EARTHQUAKE FORCES AND TEMPORARY FORCES DURING SETTING AND ERECTION UNTIL ALL UNITS HAVE BEEN PERMANENTLY ATTACHED THERETO.
- DESIGN LOADS:

ROOF DEAD LOAD	12 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	10 PSF
FLOOR LIVE LOAD	40 PSF
WIND LOAD	= 80 MPH EXP. B
SEISMIC ZONE	3
- EXCEPT AS NOTED, DIMENSION LUMBER FOR FOUNDATIONS SHALL BE HEM-FIR, NO. 2 & BETTER. TREATED LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPS STANDARD C-2 TO A MINIMUM RETENTION OF .40 PCT. AT PIECES IN CONTACT WITH GROUND. SAWN END GRAIN SHALL BE FIELD TREATED WITH 2% MIN. CONCENTRATION COPPER NAPHTHENATE. TREATED PLATE STOCK SHALL BE GOOD QUALITY AND SHALL NOT CONTAIN EXCESSIVE SPLITS, CHECKS OR WANE.

2 x 4 FRAMING SHALL BE HEM-FIR, STANDARD OR BETTER, TREATED 2 x 4 FRAMING SHALL MEET THE REQUIREMENTS SPECIFIED ABOVE.
- ALL NAILS TO BE GALVANIZED.
- VENT CRAWL SPACE 1 SQ. FT. PER 150 SQ. FT. OF FLOOR AREA OR AS SHOWN. INSTALL 6 MIL. VAPOR BARRIER.
- CONNECT STORM WATER FROM ROOF GUTTERS AND DOWNSPOUTS AND DIRECT AWAY FROM BUILDING PAD TO AN APPROVED DRAINAGE SYSTEM.



1 PERIMETER FOOTING
 SCALE: 3/4" = 1'-0"



2 END WALL COLUMN FOOTING
 SCALE: 3/4" = 1'-0"

rwms101.dwg



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28' x 64' MODULAR CLASSROOM
NEWBERG SCHOOL DISTRICT

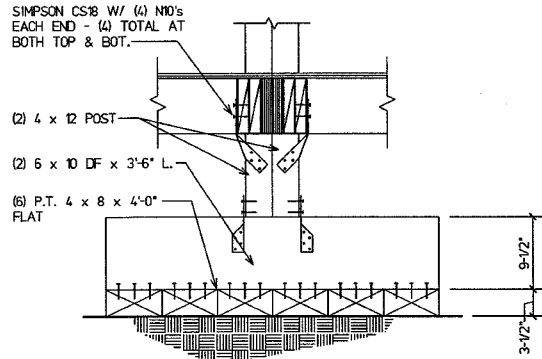
NEWBERG, OREGON

FOUNDATION DETAILS



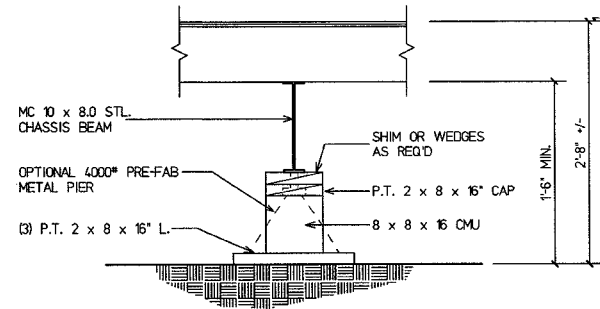
SHEET **4** OF 18

2001-KM-47-1



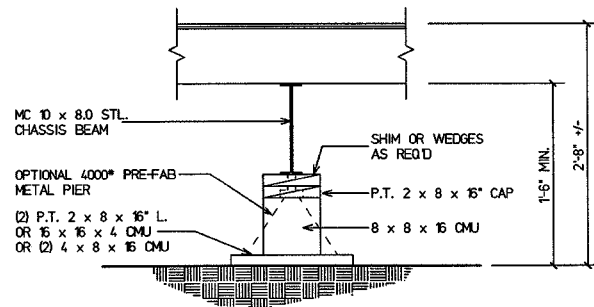
3 COLUMN FOOTING

SCALE: 3/4" = 1'-0"



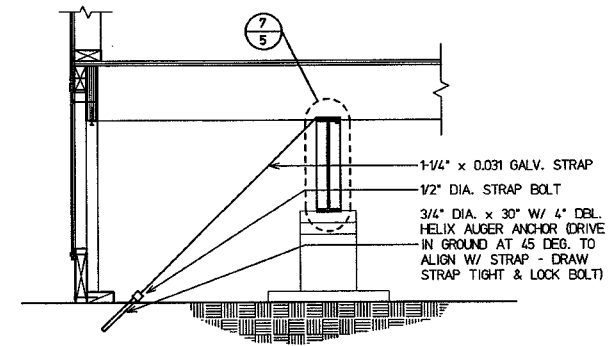
5 EXTERIOR CHASSIS BEAM FOOTING

SCALE: 3/4" = 1'-0"



4 INTERIOR CHASSIS BEAM FOOTING

SCALE: 3/4" = 1'-0"



6 TIE-DOWN STRAP

SCALE: 1" = 1'-0"

rwesd.cb



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28' x 64' MODULAR CLASSROOM NEWBERG SCHOOL DISTRICT

NEWBERG, OREGON

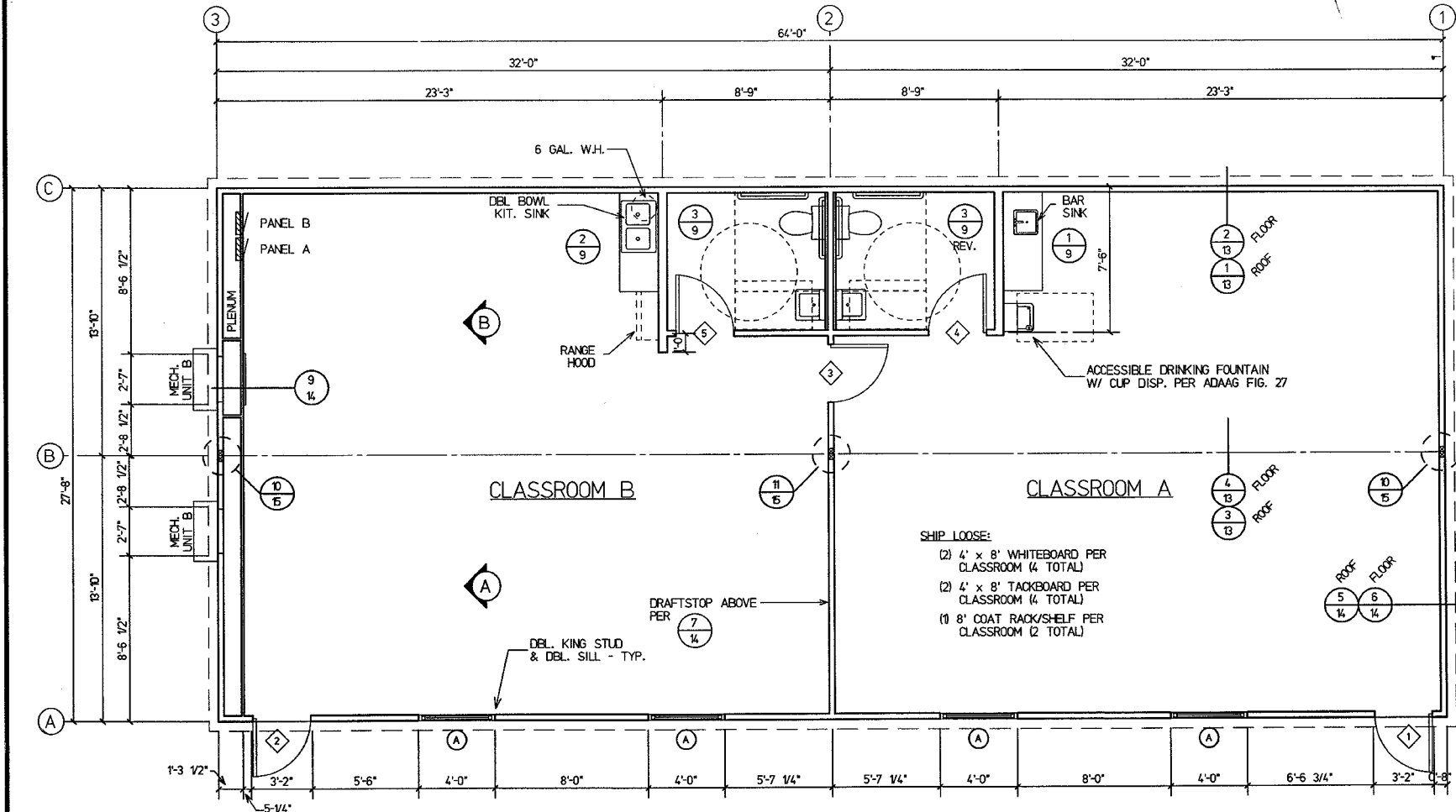


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FLOOR PLAN



FLOOR PLAN

SCALE: 3/16" = 1'-0"



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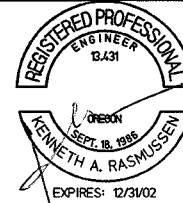
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JGM 9/17/01 CUST. 8,10

28' x 64' MODULAR CLASSROOM NEWBERG SCHOOL DISTRICT

NEWBERG, OREGON

NOTES AND CALCULATIONS



OF 18

8

SHEET

2001-KM-47-1

FLOOR CONSTRUCTION

FINISH: SHEET VINYL AT RESTROOMS, BALANCE BY OTHERS

BASE: 6" VINYL AT RESTROOMS, BALANCE BY OTHERS

UNDERLAYMENT: 3/8" CCP THRU-OUT

SUBFLOOR: 5/8" APA RATED T&G SHEATHING (ACTS AS 1 PERM MAX. VAPOR BARRIER)

JOISTS: 2 x 8 DF #2 & BTR AT 16" O.C. DBL. 2 x 8 AT ENDS

RIM JOISTS: 1-1/2" x 7-1/4" CONTIN. LAMINATED LUMBER (NER 126 OR ICBO 3575)

OFFSET RIMS: 2 x 4

INSULATION: R-11 U (CELLULOSE)

BOTTOM CLOSURE: FS-25

EXTERIOR WALL CONSTRUCTION

SIDING: 7/16" T-11 W/ 8" VERT. GROOVES

SHEATHING: NONE

STUDS: 2 x 4 DF STUD GRADE AT 16" O.C.

INSULATION: R-3 U (FIBERGLASS BATTS)

INTERIOR FINISH: 5/8" V.C. GYP. BD. (ACTS AS 1 PERM MAX. VAPOR BARRIER) F.R.P. OVER WATER RESIST. GYP. BD. AT RESTROOMS (ENTIRE WALLS)

SKIRT: MATCH SIDING

INTERIOR WALL CONSTRUCTION

STUDS: 2 x 4 HF STD & BTR AT 16" O.C. (U.N.O.)

INTERIOR FINISH: 5/8" V.C. GYP. BD. F.R.P. OVER WATER RESIST. GYP. BD. AT RESTROOMS (ENTIRE WALLS)

RESTROOM CEILING NOTES

HARD LID CEILING: 5/8" GYP. BD. W/ F.R.P.

CLASSROOM CEILING NOTES

CEILING HEIGHT: 8'-0" (U.N.O.)

SUSPENDED T-GRID W/ ACOUSTIC TILE (REF: MFR'S INSTALLATION DATA)

INSTALL SUSPENDED CEILING PER UBC STD 25-2

ATTACH LIGHT FIXTURES TO CEILING GRID W/ (4) #6 x 1" STSM SCREWS

ATTACH HVAC DIFFUSERS TO CEILING GRID W/ (4) #6 x 1" STSM SCREWS

LIGHT FIXTURES SHALL BE INDEPENDENTLY SUPPORTED BY 12 GA. WIRES AT EACH CORNER

ROOF CONSTRUCTION

ROOFING: 25 YR. FIBERGLASS COMP. SHINGLES OVER (2) LAYERS 15# FELT (MIN. CLASS B)

MOP IN 1st 2'-0" INSIDE WALL LINE AT EAVE

SHEATHING: 7/16" O.S.B. (24/16)

FRAMING: 2 x 8 DF #1 & BTR AT 24" O.C.

INSULATION: R-21U (CELLULOSE) W/ FS-25 (ACTS AS 1 PERM MAX. VAPOR BARRIER)

BEAMS: 1-1/2" x 24" x 2.0E CONTINUOUS LAMINATED VENEER LUMBER (NER 126 OR ICBO 3575)

OVERHANG: 6"

ROOF PITCH: 2 IN 12

RIDGE VENT

EXTERIOR NOTES

CORNER BATTS: 1/2" x 3-1/2" HARDBOARD

MOD BATTS: 1/2" x 5-1/2" HARDBOARD

FASCIA: 1/2" x 5-1/2" HARDBOARD

RAKE: 1/2" x 5-1/2" HARDBOARD

GUTTERS: 4" K-LINE PREFINISHED

DOWNSPOUTS: 2" x 3" RECT. PREFINISHED

DATA LIST

SQ. FOOTAGE:	1770 S.F.
EXT. WALL LIN. FOOTAGE:	184 L.F.
INT. WALL LIN. FOOTAGE:	60 L.F.
PROJECTED ROOF AREA:	1890 S.F.

OCCUPANT LOAD CALCULATION

CLASSROOMS	(1638 S.F.)/(20)	= 82
RESTROOMS	(132 S.F.)	= 0
TOTAL	1770 S.F.	82

OUTSIDE AIR CALCULATION

o MECHANICAL UNIT A:		
CLASSROOM	(25 OCC)(15 CFM)	= 375
RESTROOM	(1 FIXT)(50 CFM)	= 50
TOTAL		= 425
o MECHANICAL UNIT B:		
CLASSROOM	(25 OCC)(15 CFM)	= 375
RESTROOM	(1 FIXT)(50CFM)	= 50
TOTAL		= 425



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 JGM 9/17/01 CUST. 8,10

28' x 64' MODULAR CLASSROOM
NEWBERG SCHOOL DISTRICT

NEWBERG, OREGON

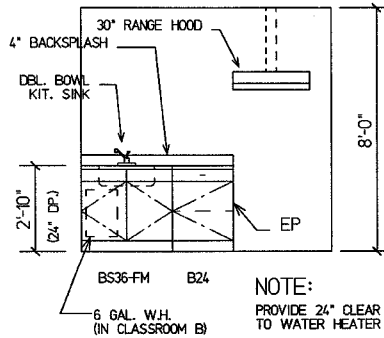
EXTERIOR AND INTERIOR ELEVATIONS



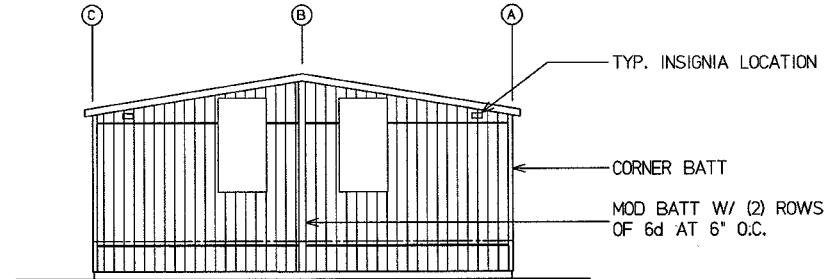
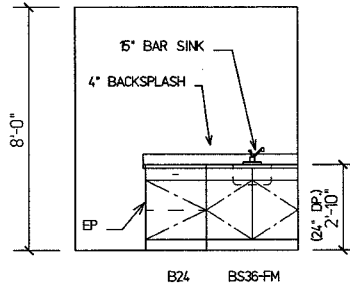
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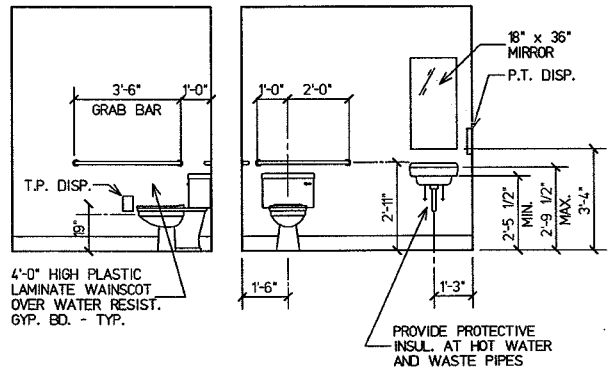
NOTE:
 PROVIDE 24" CLEAR ACCESS TO WATER HEATER



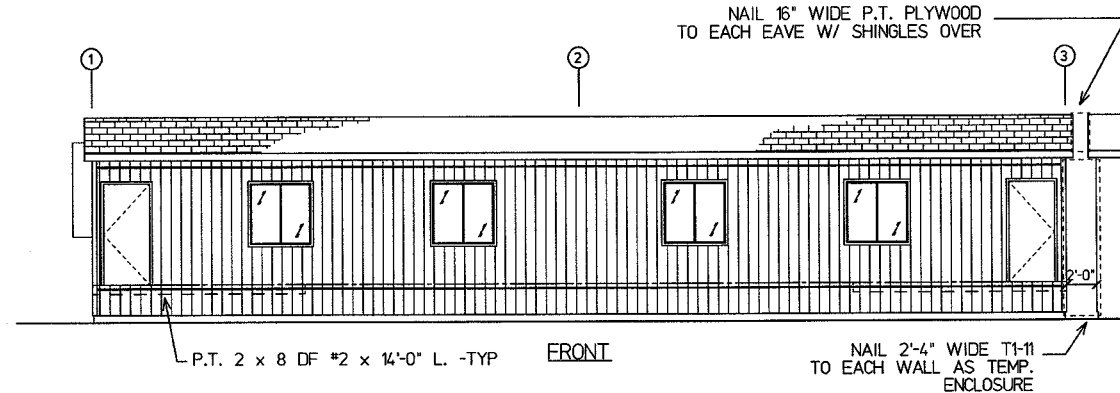
1 TYP. ELEVATION
 SCALE: 1/4" = 1'-0"

2 TYP. ELEVATION
 SCALE: 1/4" = 1'-0"

TYP. END



3 TYP. RESTROOM ELEVATION
 SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"



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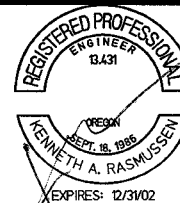
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**28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT**

NEWBERG, OREGON

ELECTRICAL / MECHANICAL NOTES AND SCHEDULES



SHEET **11** OF 18

2001-KM-47-1

SYMBOL LEGEND

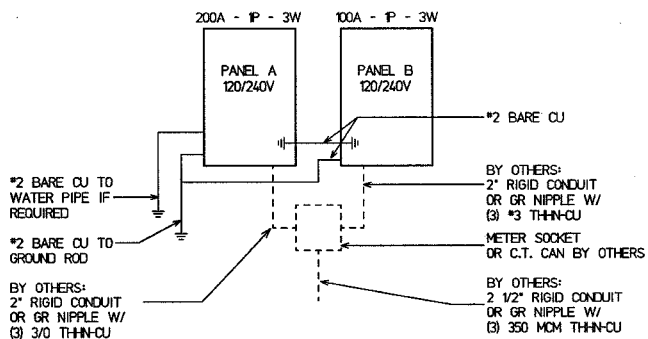
- ☒ 2' x 4' FLUORESCENT LAY-IN FIXTURE
(3) TUBE 32W T8 W/ ELECT BALLAST
- ☒ 2' x 2' LAY-IN SUPPLY DIFFUSER
- ☒ 2' x 2' LAY-IN RETURN GRILLE
- ☒ CEILING MOUNTED EXHAUST FAN (110 CFM)
- ☒ WALL MOUNTED LIGHT FIXTURE
PC = PHOTOCELL
WP = WEATHERPROOF
- ⊕ DUPLEX RECEPTACLE AT 17" A.F.F. (I.N.O.)
GFI = GROUND FAULT INTERRUPTER
WP = WEATHERPROOF
- ⊕ 220v RANGE OUTLET
- \$ SINGLE POLE SWITCH
- \$ THREE-WAY SWITCH
- ⊙ JUNCTION BOX
- ⊙ FIRE ALARM (RACEWAY ONLY)
- ⊙ VISUAL ALARM (RACEWAY ONLY)
+82" TO CENTERLINE
- ⊙ THERMOSTAT AT 52" A.F.F. TO CENTERLINE
- ▽ PHONE OUTLET - CONDUIT DOWN (RACEWAY ONLY)
- ⊙ CLOCK OUTLET - J-BOX AT +88" W/ CONDUIT
DOWN (RACEWAY ONLY)
- ☐ DISCONNECT
- ☒ CEILING MOUNTED EXIT LIGHT W/ BATTERY
BACK-UP AND INTERNATIONAL SYMBOL OF
ACCESSIBILITY
- ☒ EMERGENCY LIGHT W/ BATTERY BACK-UP
- ☒ CEILING SEISMIC BRACE

ELECTRICAL NOTES

- CONDUIT:
 - METALLIC AND M.C. CABLE
 - NON-METALLIC SHEATHED CABLE

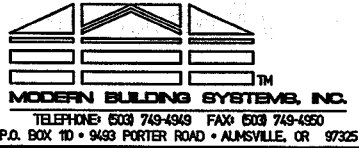
MECHANICAL NOTES

- MECHANICAL UNIT(S):
(2) 3.0 TON WALL HUNG HEAT PUMPS
WITH 10 kw ELECTRICAL HEAT
- THERMOSTAT(S): WR IF-95
- DUCT MATERIAL:
1' FIBERGLASS W/ 26 GA. SHEET
METAL ROUNDS
- ECONOMISER(S):
 - ☐ ECONOMISER(S) AND CONTROLS
 - COMMERCIAL ROOM VENTILATOR
 - ☐ NO ECONOMISER(S)



ONE-LINE DIAGRAM

NO SCALE



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28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT

NEWBERG, OREGON

ELECTRICAL PANEL AND LOAD CALCULATION



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ELECTRICAL LOAD WORKSHEET

PROJECT: NEWBERG S.D. JOB NO.: 2001-47-1 DATE: 09/15/2001

SQ. FOOTAGE: 1770 OCCUPANCY: E

PANEL: A MAIN SUB VOLTAGE: 120V 240 AMPS: 200 PHASE: 1

ITEM	CONNECTED LOAD	CODE FACTOR	CALCULATED LOAD
LIGHTS (per 220-3b)	5310.00	X 1.25 =	6637.50
SIGN CIRCUIT		X 1.25 =	0.00
RECEPTACLES THRU 10K =	0.00	X 1.00 =	0.00
OVER 10K =	0.00	X 0.50 =	0.00
DEDICATED RECEPTACLES		X 1.00 =	0.00
MOTORS & COMP.			
TOTAL MOTOR KVA =		X 1.00 =	0.00
LARGEST MOTOR =		X 0.25 =	0.00
HEATING & AIR COND. (per mfr's specs)			
HP A = 12720.00 HP B = 12720.00 UNIT E =			
COND. A = 6240.00 COND. B = 6240.00 UNIT F =			
TOTAL HEAT/AC LOAD =	37920.00	X 1.00 =	37920.00
TOTAL ADD'L MECH. (see attached)	0.00	X 1.00 =	0.00
APPLIANCES QTY. =		X 1.00 =	0.00
MISCELLANEOUS			
DRINKING FOUNTAIN	500.00	X 1.00 =	500.00
		X 1.00 =	0.00
		X 1.00 =	0.00
		X 1.00 =	0.00
ADDITIONAL MISC. (see attached)	0.00	X 1.00 =	0.00

CONNECTED LOAD	CALCULATED LOAD
TOTAL WATTS = 43730.00	TOTAL WATTS = 45057.50
TOTAL AMPS = 182.21	TOTAL AMPS = 187.74

PANEL A

MAIN DIST. SURFACE PLUSH
 SUB-PANEL

DATE: 09/15/2001
JOB NO.: 2001-47-1

	AMP	CIR NO	P	WATTS	P	CIR NO	AMP	
LIGHTS / FAN	20	1	A	999	12720	A	2	60
LIGHTS / FAN	20	3	B	999	1	B	1	4
DRINKING FOUNTAIN	20	5	A	500	6240	A	2	30
	7	B			1	B	1	4
	9	A			12720	A	2	60
	11	B			1	B	1	4
	13	A			6240	A	2	30
	15	B			1	B	1	4
	17	A				A	16	20
	19	B				B	20	
	21	A				A	22	
	23	B				B	24	
	25	A				A	26	
	27	B				B	28	
	29	A				A	30	
	31	B				B	32	
	33	A				A	34	
	35	B				B	36	
	37	A				A	38	
	39	B				B	40	
	41	A				A	42	

TOTAL PANEL WATTS = 40416 168.41 = TOTAL PANEL AMPS

BUSS SIZE = 200 VOLTAGE = 120V 240
 MAIN BREAKER = 200 PHASE = 1

PANEL B

MAIN DIST. SURFACE PLUSH
 SUB-PANEL

DATE: 09/15/2001
JOB NO.: 2001-47-1

	AMP	CIR NO	P	WATTS	P	CIR NO	AMP	
RECEPTACLES	20	1	A	200	1500	A	1	2
RECEPTACLES	20	3	B	800		B	4	20
RECEPTACLES	20	5	A	640		A	6	
RANGE OUTLET	50	7	B	4800		B	8	
	1	9	A	4800		A	10	
	11	B				B	12	
	13	A				A	14	
	15	B				B	16	
	17	A				A	18	
	19	B				B	20	
	21	A				A	22	
	23	B				B	24	
	25	A				A	26	
	27	B				B	28	
	29	A				A	30	
	31	B				B	32	
	33	A				A	34	
	35	B				B	36	
	37	A				A	38	
	39	B				B	40	
	41	A				A	42	

TOTAL PANEL WATTS = 11840 49.33 = TOTAL PANEL AMPS

BUSS SIZE = 100 VOLTAGE = 120V 240
 MAIN BREAKER = 100 PHASE = 1

ELECTRICAL LOAD WORKSHEET

PROJECT: NEWBERG S.D. JOB NO.: 2001-47-1 DATE: 09/15/2001

SQ. FOOTAGE: OCCUPANCY: E

PANEL: B MAIN SUB VOLTAGE: 120V 240 AMPS: 100 PHASE: 1

ITEM	CONNECTED LOAD	CODE FACTOR	CALCULATED LOAD
LIGHTS (per 220-3b)	0.00	X 1.25 =	0.00
SIGN CIRCUIT		X 1.25 =	0.00
RECEPTACLES THRU 10K =	2340.00	X 1.00 =	2340.00
OVER 10K =	0.00	X 0.50 =	0.00
DEDICATED RECEPTACLES		X 1.00 =	0.00
MOTORS & COMP.			
TOTAL MOTOR KVA =		X 1.00 =	0.00
LARGEST MOTOR =		X 0.25 =	0.00
HEATING & AIR COND. (per mfr's specs)			
UNIT A = UNIT C = UNIT E =			
UNIT B = UNIT D = UNIT F =			
TOTAL HEAT/AC LOAD =	0.00	X 1.00 =	0.00
TOTAL ADD'L MECH. (see attached)	0.00	X 1.00 =	0.00
APPLIANCES QTY. =		X 1.00 =	0.00
MISCELLANEOUS			
WATER HEATER	1500.00	X 1.00 =	1500.00
RANGE	8000.00	X 1.00 =	8000.00
		X 1.00 =	0.00
		X 1.00 =	0.00
ADDITIONAL MISC. (see attached)	0.00	X 1.00 =	0.00

CONNECTED LOAD	CALCULATED LOAD
TOTAL WATTS = 11840.00	TOTAL WATTS = 11840.00
TOTAL AMPS = 49.33	TOTAL AMPS = 49.33



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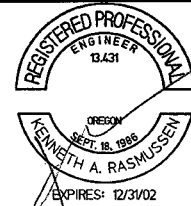
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**28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT**

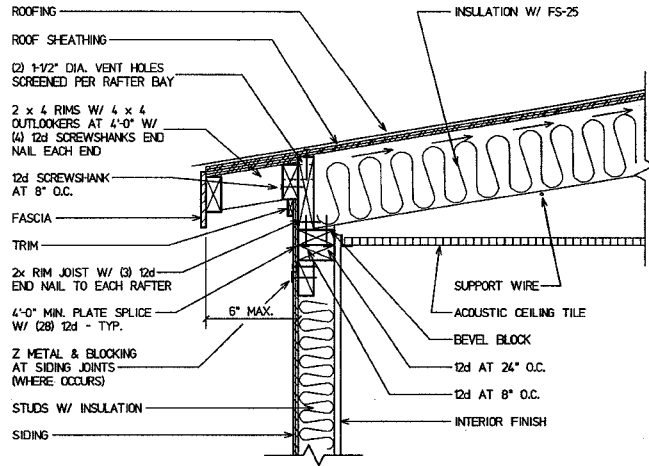
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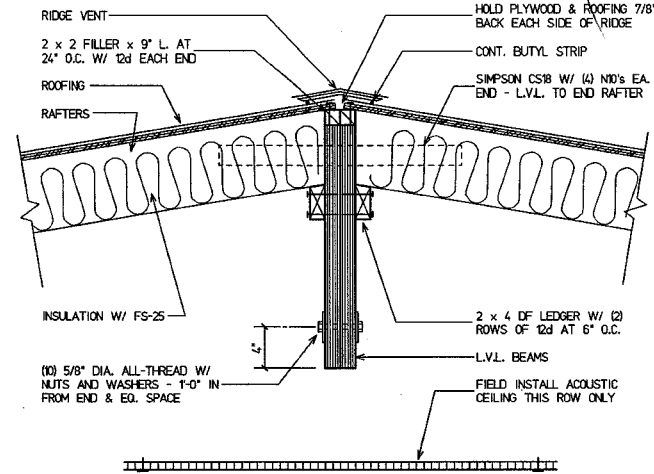
SHEET **13** OF 18

2001-KM-47-1

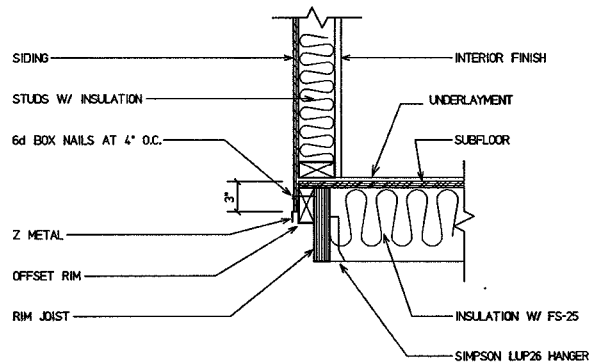
DETAILS



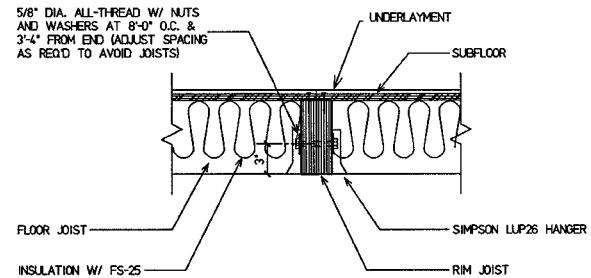
1 TYP. SIDEWALL EAVE DETAIL
 SCALE: 1" = 1'-0"



3 ROOF MARRIAGE DETAIL
 SCALE: 1" = 1'-0"



2 TYP. SIDEWALL FLOOR DETAIL
 SCALE: 1" = 1'-0"



4 FLOOR MARRIAGE DETAIL
 SCALE: 1" = 1'-0"

newest.dg



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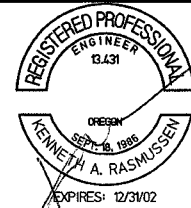
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28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT

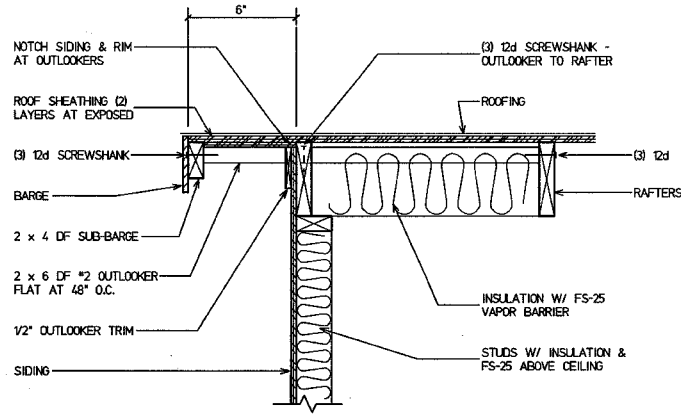
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DETAILS

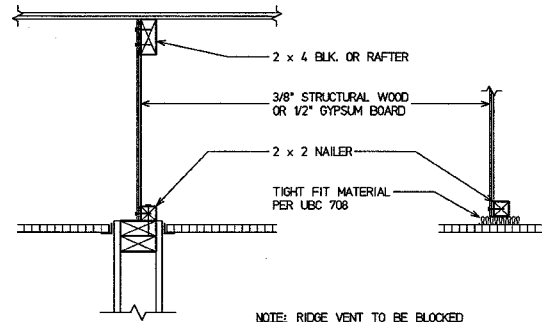


SHEET 14 OF 18

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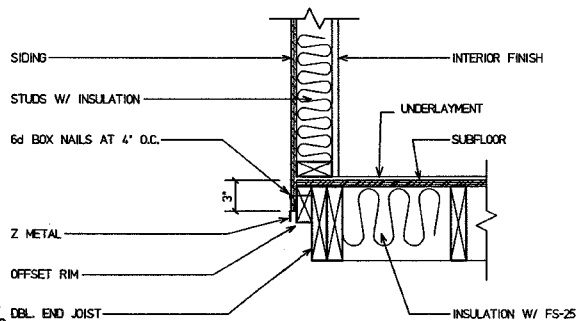


5 GABLE END DETAIL
 SCALE: 1" = 1'-0"

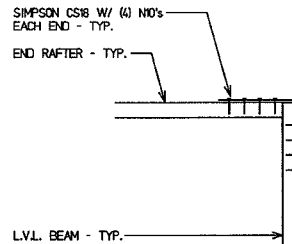


NOTE: RIDGE VENT TO BE BLOCKED W/ ROCK WOOL AT DRAFTSTOP

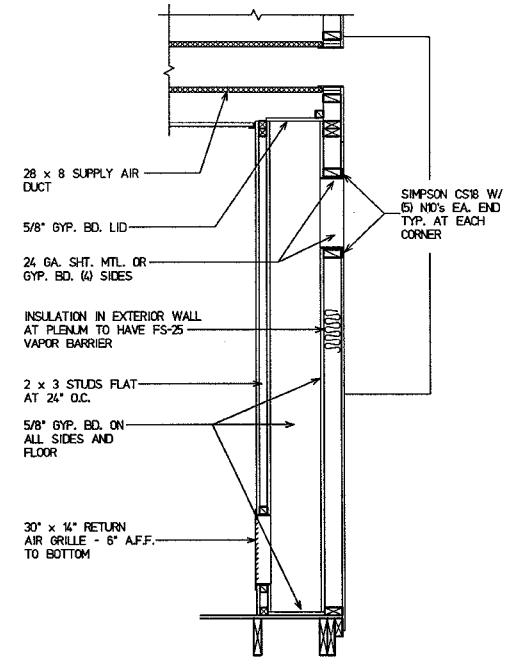
7 DRAFTSTOP DETAIL
 SCALE: 1" = 1'-0"



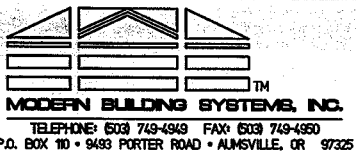
6 TYP. ENDWALL FLOOR DETAIL
 SCALE: 1" = 1'-0"



8 PLAN VIEW AT CORD TIE
 SCALE: 1" = 1'-0"



9 PLENUM DETAIL
 SCALE: 1/2" = 1'-0"

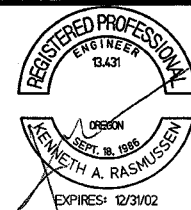


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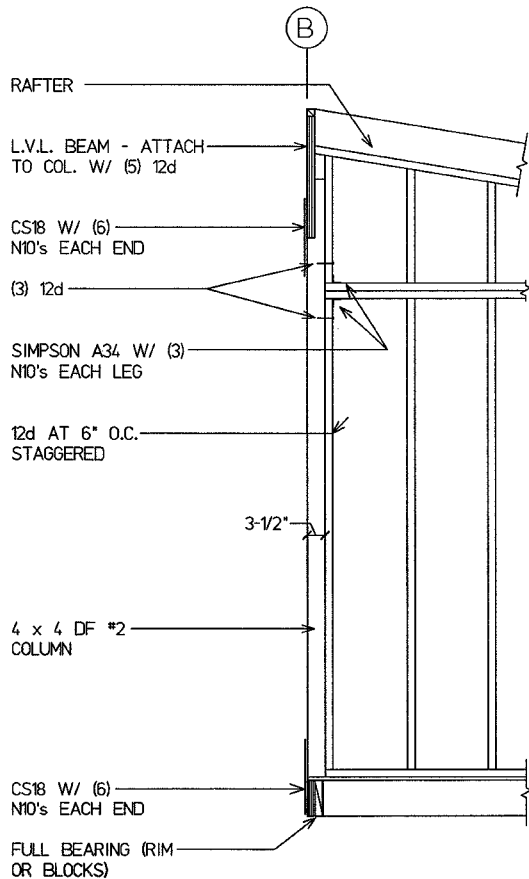
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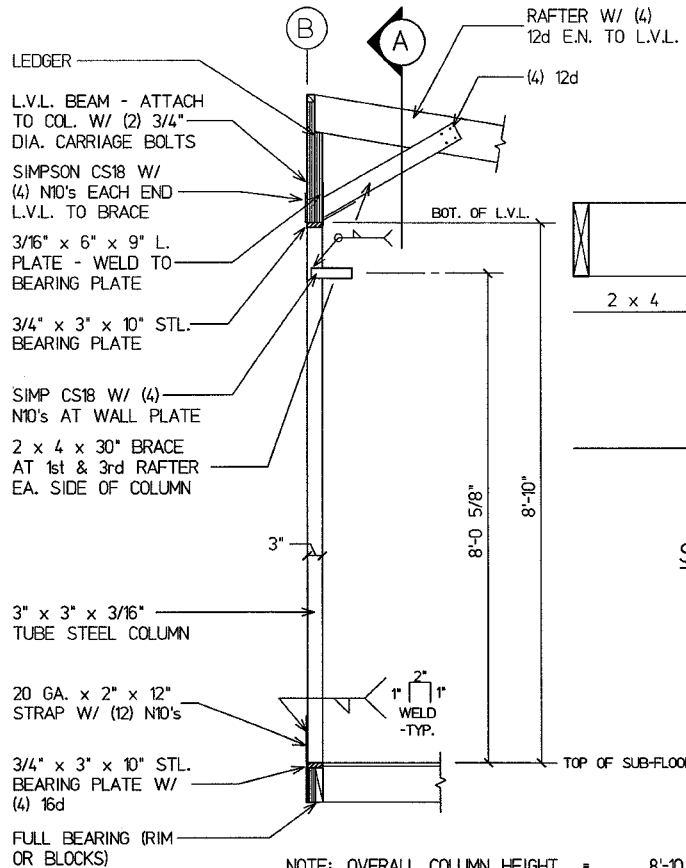
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DETAILS



END WALL COL. DETAIL

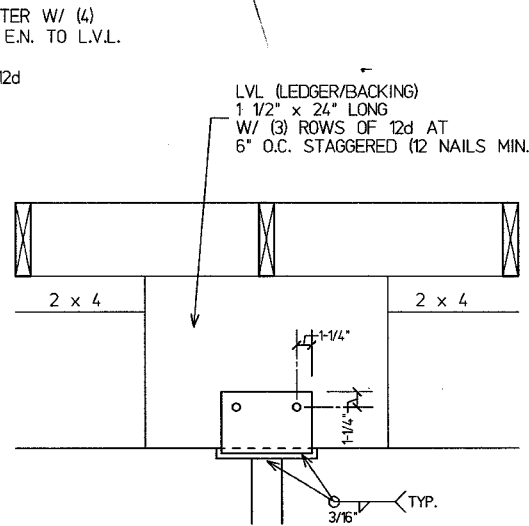
SCALE: 1/2" = 1'-0"



NOTE: OVERALL COLUMN HEIGHT = 8'-10 3/4"
 (W/ PLATES)
 TOTAL NO. OF COLUMNS REQ'D: = 2

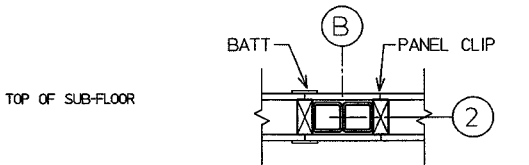
CENTER COLUMN DETAIL

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1" = 1'-0"



PLAN VIEW

SCALE: 1" = 1'-0"

11/20/01



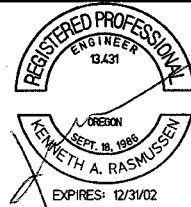
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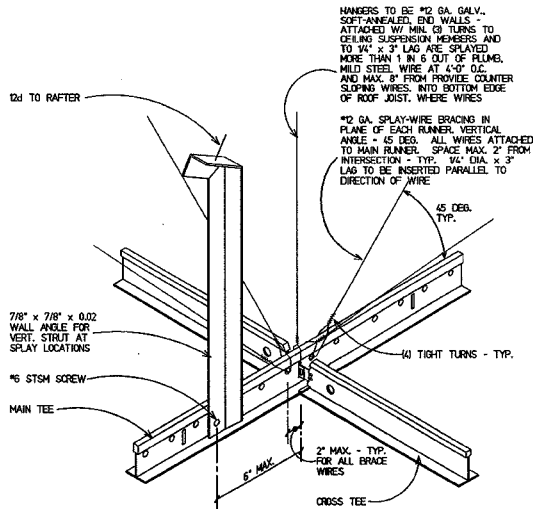
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DETAILS

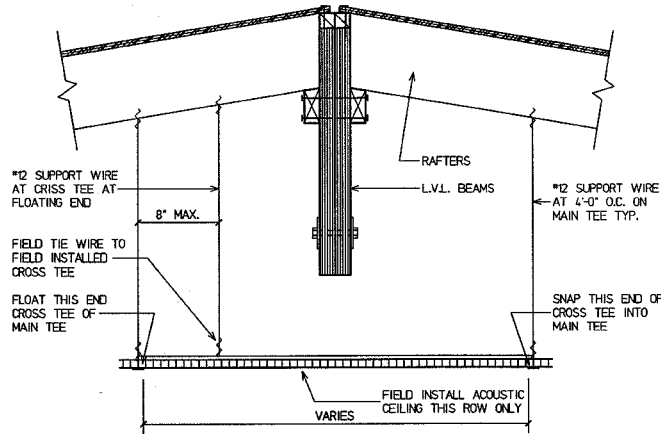


SHEET **16** OF 18
2001-KM-47-1

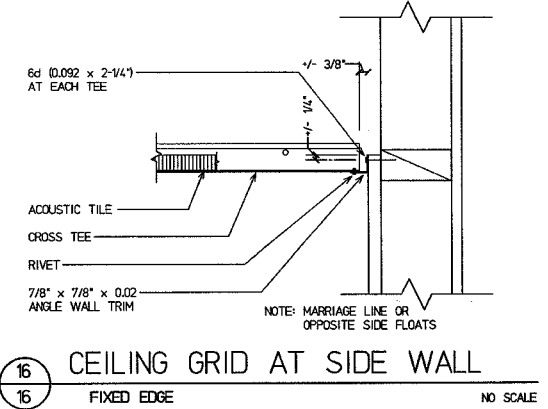
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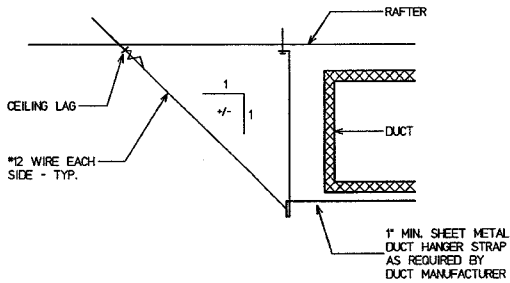
12 CEILING BRACING DETAIL
16 NO SCALE



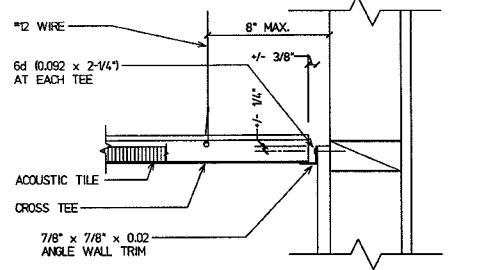
14 CEILING GRID AT MARRIAGE
16 NO SCALE



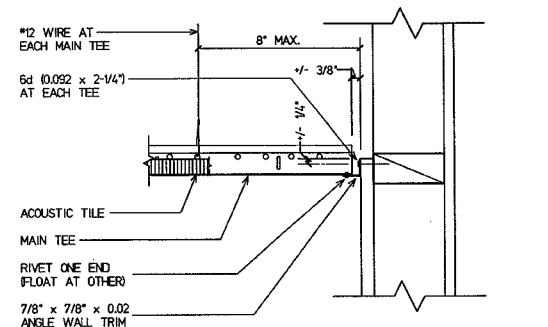
16 CEILING GRID AT SIDE WALL
16 FIXED EDGE NO SCALE



13 DUCT SUPPORT
16 NO SCALE



15 CEILING GRID AT SIDE WALL
16 FLOATING EDGE NO SCALE



17 CEILING GRID AT END WALL
16 NO SCALE

newstc.cb



MODERN BUILDING SYSTEMS, INC.
 TELEPHONE: (503) 749-4949 FAX: (503) 749-4950
 P.O. BOX 10 • 9493 PORTER ROAD • ALMSVILLE, OR 97325

REUSE OF DOCUMENTS

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS THE PROPERTY OF MODERN BUILDING SYSTEMS, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER USE OR PROJECT WITHOUT WRITTEN AUTHORIZATION.

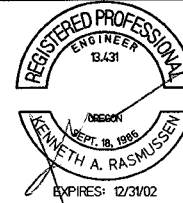
REV.# BY: DATE: PER: SHEETS:

JGM 9/12/01 - PRELIM.
 JGM 9/13/01 - SUBMIT.

**28' x 64' MODULAR CLASSROOM
 NEWBERG SCHOOL DISTRICT**

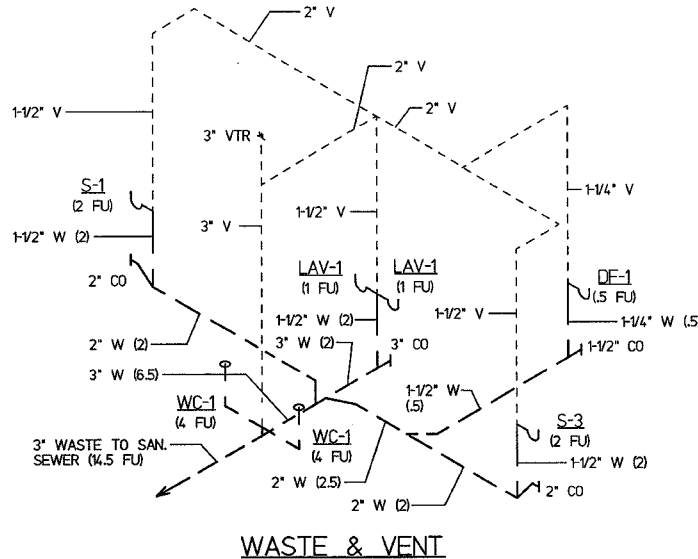
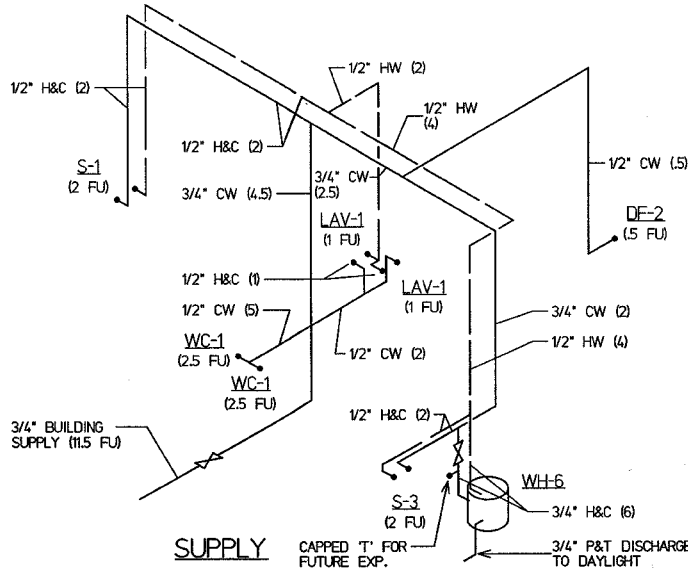
NEWBERG, OREGON

PLUMBING DIAGRAMS



SHEET **17** OF 18

2001-KM-47-1



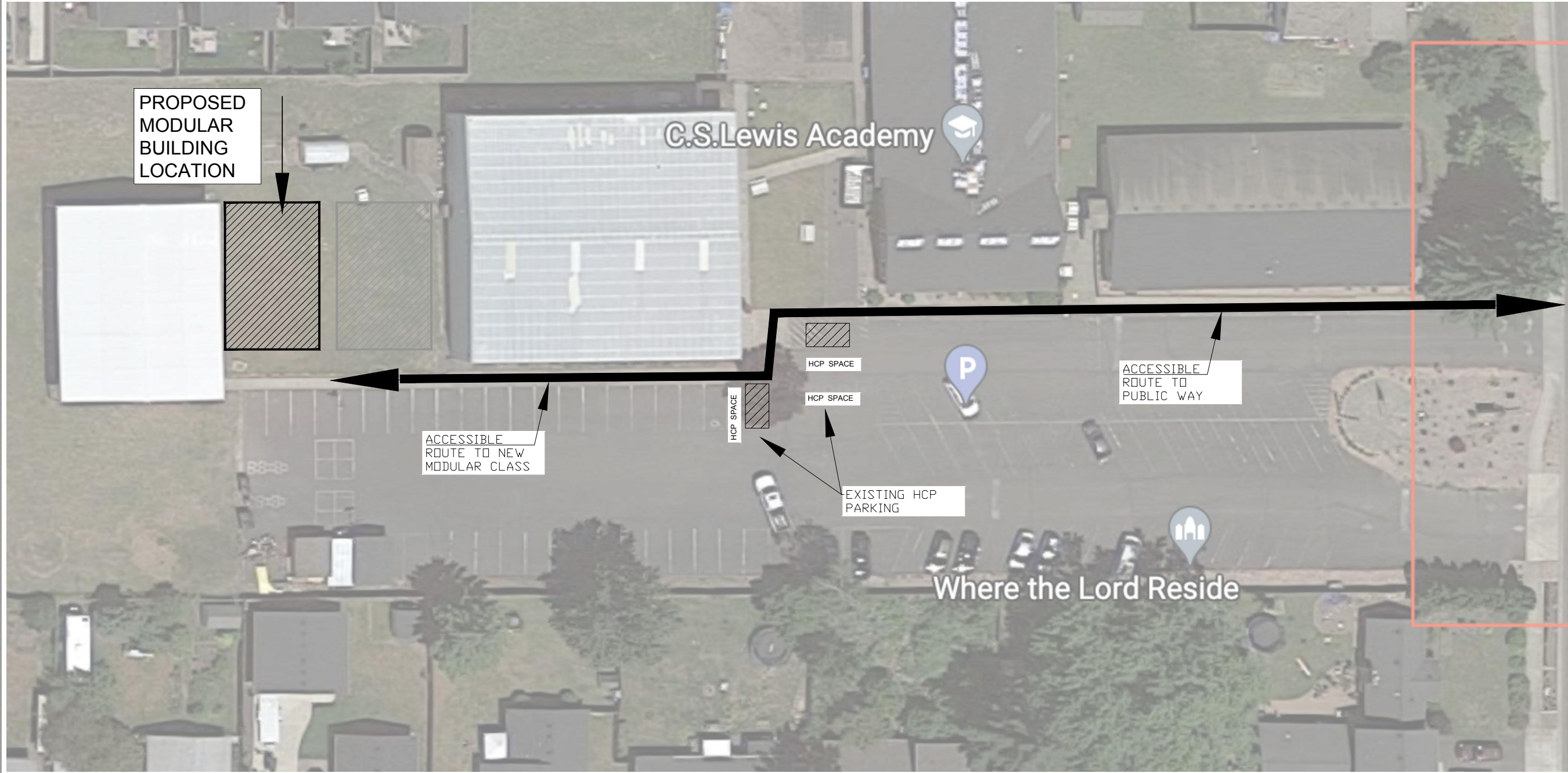
PLUMBING FIXTURE SCHEDULE

WATER CLOSETS							
REFERENCE	DESCRIPTION	STYLE	GPF	MANUFACTURER	MODEL	CONNECTION	VALVE
WC-1	ACCESSIBLE W.C.	TANK	16	GERBER	AQUA-SAVER 21-718	3" CLOSET, 1/2" CW	
LAVATORIES							
REFERENCE	DESCRIPTION	STYLE	GPM	MANUFACTURER	MODEL	CONNECTION	VALVE
LAV-1	WALL-HUNG LAV		2.5	GERBER	PLYMOUTH 12-314	1/2" CW, 1/2" HW, 1-1/4" W	DELTA 520 LEVER
SINKS							
REFERENCE	DESCRIPTION	STYLE	GPM	MANUFACTURER	MODEL	CONNECTION	VALVE
S-1	HAND/BAR SINK	SS	2.5	POLAR	659 16" x 16"	1/2" CW, 1/2" HW, 2" W	DELTA 100 LEVER
S-3	2-BOWL KIT. SINK	SS	2.5	POLAR	332-8 33" x 22"	1/2" CW, 1/2" HW, 2" W	DELTA 100 LEVER
DRINKING FOUNTAINS							
REFERENCE	DESCRIPTION	STYLE	GPM	MANUFACTURER	MODEL	CONNECTION	ELECT.
DF-2	SINGLE DF	ACCESSIBLE		OASIS	P8AM	1/2" CW, 1-1/4" W	110V CORD/PLUG
WATER HEATERS							
REFERENCE	DESCRIPTION	STYLE	WATTS	MANUFACTURER	MODEL	CONNECTION	ELECT.
WH-6	6 GAL. TANK	ELEC.	2000	RUUD	PEP-6-1	3/4"	110V 16.7A

PLUMBING NOTES

- PLUMBING DROP MARKERS (ATTACH & SUSPEND BELOW FLOOR JOISTS):
 COLD WATER - BLUE/WHITE
 HOT WATER - RED
 DRAINS - YELLOW
 ROOF DRAIN - WHITE
 VENT - ORANGE
- STRAP WTR. HTR. TO WALL W/ 26 GA. x 1" SEISMIC STRAP W/ (1) #6 SMST TO TANK AND (1) #3 x 2" BUGLE HEAD SCREW TO WALL EACH END
- LAVS TO MEET OSPSC 414.2
- TRAP PRIMERS TO BE MIN. 12" ABOVE FLOOD RIM PER OSPSC 1007.4
- HANDICAP ACCESSIBLE URINAL CONTROLS NOT TO EXCEED 44" A.F.F.
- SUPPLY PIPING: TYPE M' CU
- WASTE PIPING: ABS - DWV
- SUPPLY PIPE SIZES BASED ON: 100 FT. DEVELOPED LENGTH 46 - 60 PSI

rsmwtdab



ACCESSIBILITY ROUTE
NOT TO SCALE



CS LEWIS ACADEMY
1605 N. COLLEGE ST.
NEWBERG, OR 97132

MODULAR BUILDING ADDITION
ACCESSIBILITY ROUTE

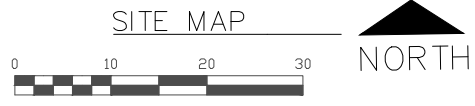
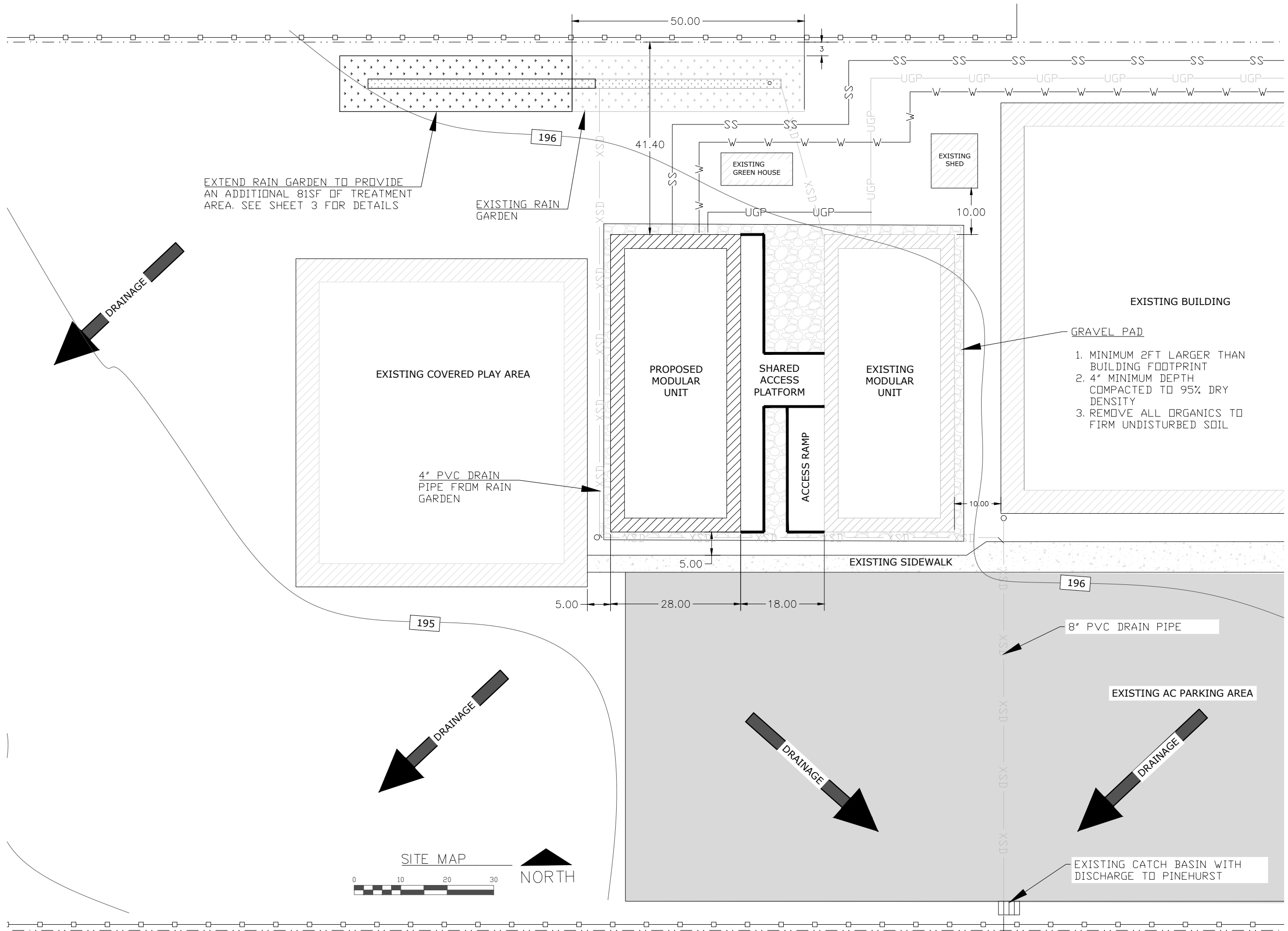
NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

PREPARED BY:
DANIEL DANICIC, PE
YAMHILL LAND DEVELOPMENT SERVICES
PO BOX 1042
NEWBERG, OR 97132
D.DANICIC@YMAIL.COM
503-476-7702

PRELIMINARY

EXPIRES 12/31/23

SHEET
G2



CS LEWIS ACADEMY
1605 N. COLLEGE ST.
NEWBERG, OR 97132

MODULAR BUILDING ADDITION
SITE IMPROVEMENTS

NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

PREPARED BY:
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YAMHILL LAND DEVELOPMENT SERVICES
PO BOX 1042
NEWBERG, OR 97132
DJD.YLDS@GMAIL.COM
503-476-7702

EXPIRES 12/31/23
SHEET

C1

PRELIMINARY

City of Newberg LIDA Sizing Form

(Include this form with plan submittal)

Project Title: CS Lewis Modular Classroom Addition

Project Address: 1605 N College St. Newberg OR 97132

Project Taxlot/ Taxmap#: _____

Project Location: _____

Contact Name/Title/Company: Steve Wallo, Administrator C.S. Lewis Academy

Phone/e-mail: 503.989.18907

STEP 1: Determine Impervious Area Requiring Treatment

Total Gross Site Area (acres): Pre. Dev. Impervious Area (ft): (X)

Proposed Net New Impervious Area (ft): (PA) Post Dev. Impervious Area (ft): (Y)
(PA)= (Y) - (X)

STEP 2: Deduct Impervious Area LIDA Credits

Porous Pavement (sq. ft.): (P)

Green Roof (sq. ft.): (G)

Other Credits as approved (sq. ft.): (O)

Total Credits (sq. ft.): (C)
(C)= (P)+(G)+(O)

Impervious Area Requiring Treatment (sq. ft.): (IA)
(IA)= (PA) - (C)

STEP 3: Size LIDA Facilities for Remaining Impervious Area

	Impervious Area Treated (sq. ft.)	SF, Sizing Factor	LIDA Facility Size (sq. ft.)
Infiltration Planters/ Rain Garden	1792	0.045	80.64
Flow-through Planter		0.060	
Public Flow-through Planter		0.060	

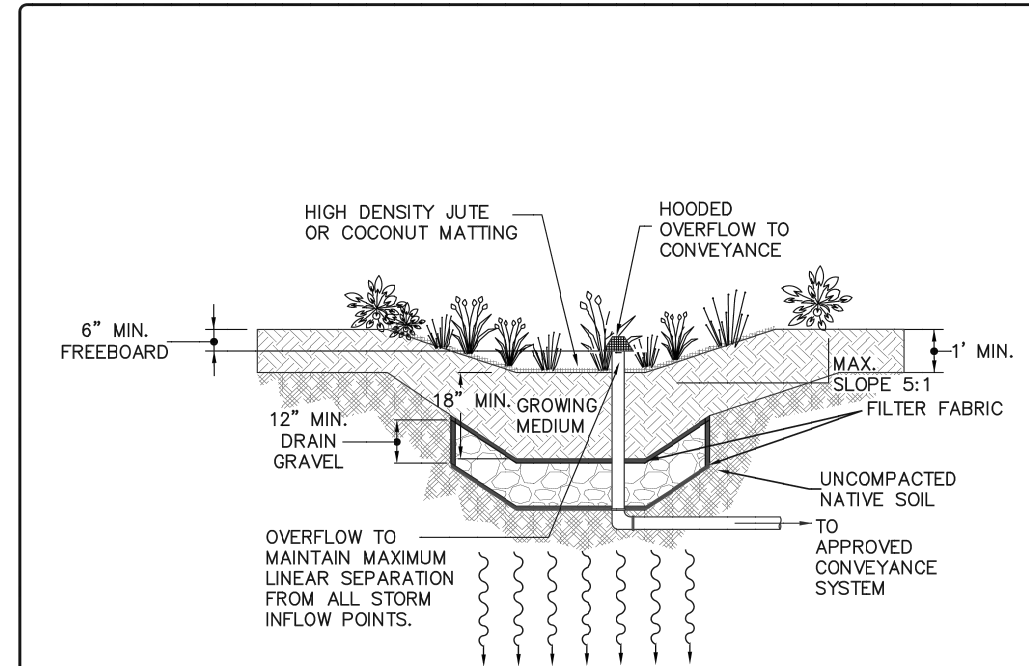
Total Impervious Area Treated (sq. ft.) MUST BE EQUAL TO (IA)



NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

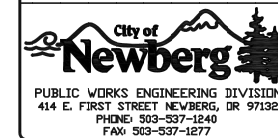
LIDA SIZING FORM

SCALE: N.T.S.
DATE: MARCH 2014
APPROVED BY: JAY H.
STANDARD DRAWING: 451



NOTES:

1. PROVIDE OVERFLOW CONVEYANCE SYSTEM, OVERFLOW CONVEYANCE HEIGHT TO ALLOW 6" MAXIMUM PONDING, PIPING TO A MINIMUM OF THE PLUMBING CODE OR CONVEY THE 25 YEAR STORM.
2. FLOW DISSIPATORS SHOULD BE USED IF ENTRY SLOPE TO THE BASIN IS GREATER THAN 5:1.
3. SEPARATION BETWEEN DRAIN GRAVEL AND GROWING MEDIUM SHALL BE PERMEABLE FILTER FABRIC.
4. TREATMENT AREA SHALL HAVE HIGH DENSITY JUTE OR COCONUT MATTING OVER 18" MINIMUM OF GROWING MEDIUM OR BASE STABILIZATION METHOD AS APPROVED BY THE CITY.
5. REFER TO APPENDIX A OF THE STANDARDS DESIGN MANUAL FOR PLANTING REQUIREMENTS.
6. TOP OF BANK OF FACILITY MUST BE LOCATED 10' FROM ANY STRUCTURE AND 3' FROM ADJACENT PROPERTY LINES.



NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

RAIN GARDEN

SCALE: N.T.S.
DATE: MARCH 2014
APPROVED BY: JAY H.
STANDARD DRAWING: 457

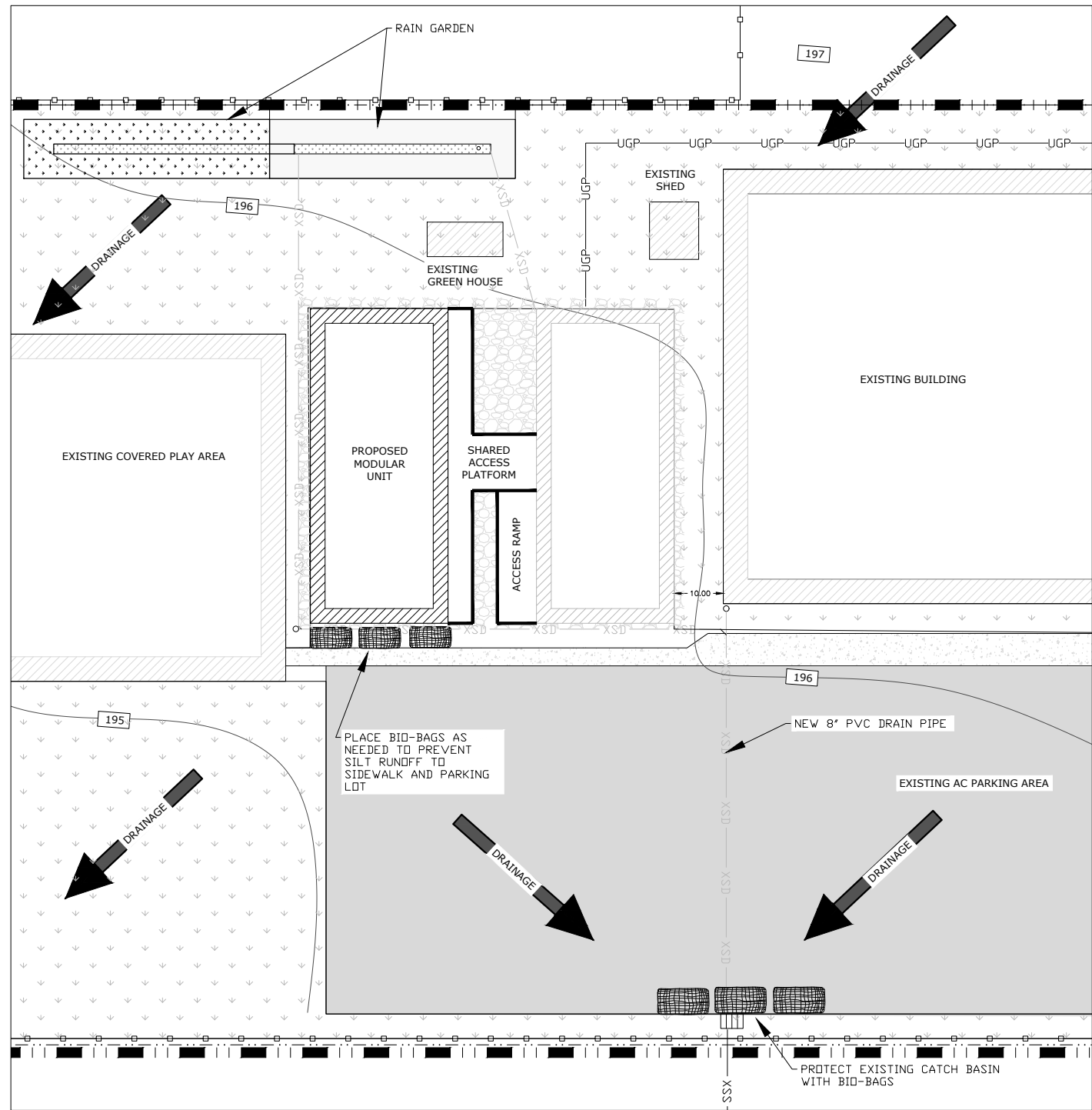
CS LEWIS ACADEMY
1605 N. COLLEGE ST.
NEWBERG, OR 97132

MODULAR BUILDING ADDITION
DETAILS

PREPARED BY:
DANIEL DANICIC, PE
YAMHILL LAND DEVELOPMENT SERVICES
PO BOX 1042
NEWBERG, OR 97132
DJD.YLDS@GMAIL.COM
503-478-7702

PRELIMINARY

EXPIRES 12/31/23
SHEET
02



EROSION CONTROL PLAN



STANDARD EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
3. LONG TERM SLOPE STABILIZATION MEASURES, INCLUDING MATTING, SHALL BE IN PLACE OVER EXPOSED SOILS BY OCTOBER 1.
4. INLET PROTECTION SHALL BE IN PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

GRADING, STREET, AND UTILITY EROSION & SEDIMENT CONSTRUCTION NOTES:

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
 - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
CREEPING RED FESCUE (20% BY WEIGHT)
 - C. STANDARD HEIGHT GRASS MIX (MIN. 100 LB./AC.)
ANNUAL RYEGRASS (40% BY WEIGHT)
TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPING SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN 6' OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPING FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF IN TO THE STORM WATER SYSTEM.
14. USED BMP'S SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

CS LEWIS ACADEMY
1605 N. COLLEGE ST.
NEWBERG, OR 97132

MODULAR BUILDING ADDITION
EROSION CONTROL PLAN

REVISIONS	
NO.	DESCRIPTION
00	03/17/23 TYPE 2 APPLICATION

PREPARED BY:
DANIEL DANICIC, PE
YAMHILL LAND DEVELOPMENT SERVICES
PO BOX 1042
NEWBERG, OR 97132
D.D.DANICIC@GMAIL.COM
503-476-7702

PRELIMINARY

SHEET
ESC 1

**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Daniel Danicic, Yamhill Land Development Services LLC

Address: PO Box 1042

Phone: 503-4767702

Email: djd.ylds@gmail.com

Site Address: 1605 N College St

City: Newberg

Map & Tax Lot #: 322118AD – 6900, 7000 and 7100

Business Name: CS Lewis Academy

Land Use/Building Jurisdiction: Newberg

Land Use/ Building Permit # N/A

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description

Placement of modular classroom unit relocated from Newberg School District, Edwards Elementary onto the CS Lewis Academy site.

Permit/Review Type (check one):

Land Use / Building Review - Service Provider Permit

Emergency Radio Responder Coverage Install/Test

LPG Tank (Greater than 2,000 gallons)

Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)

* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.

Explosives Blasting (Blasting plan is required)

Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)

Tents or Temporary Membrane Structures (in excess of 10,000 square feet)

Temporary Haunted House or similar

OLCC Cannabis Extraction License Review

Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2023 - 0049

Permit Type: SPP - Newberg

Submittal Date: 4/10/23

Assigned To: DFM Ann

Due Date: NA

Fees Due: Ø

Fees Paid: Ø

Approval/Inspection Conditions
(For Fire Marshal's Office Use Only)

This section is for application approval only

[Signature] 0430 4/10/23
Fire Marshal or Designee Date

Conditions: see attached approved FS plans.

See Attached Conditions: Yes No

Site Inspection Required: Yes No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID _____ Date _____

TITLE PAGE

**CS LEWIS
MODULAR CLASSROOM
INSTALLATION**

1605 N COLLEGE ST
NEWBERG, OR 97132

NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

PREPARED BY
YAMHILL LAND DEVELOPMENT SERVICES LLC
PO BOX 1042 97132
NEWBERG, OR
DUB.UAS@YLDL.COM



APPROVED PLANS
APPROVAL OF PLANS IS NOT AN APPROVAL
OF OMISSIONS OR ERRORS

Tyson O'Neil
Deputy Fire Marshal II

TVFR Permit# 2023-0049

SHEET
G1

PROJECT CONTACTS

CLIENT:
CS LEWIS ACADEMY
1605 N COLLEGE ST
NEWBERG, OR 97132

ENGINEER AND DEVELOPMENT SERVICES LLC
PO BOX 1042
NEWBERG, OR 97132
DANIEL DAMIC, PE
503-495-9732

ENGINEER'S NOTE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

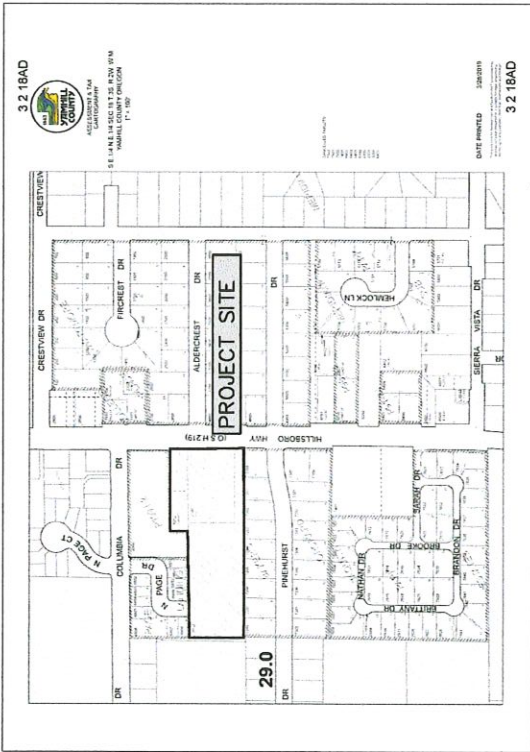
THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PROJECT, INCLUDING BUT NOT LIMITED TO LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

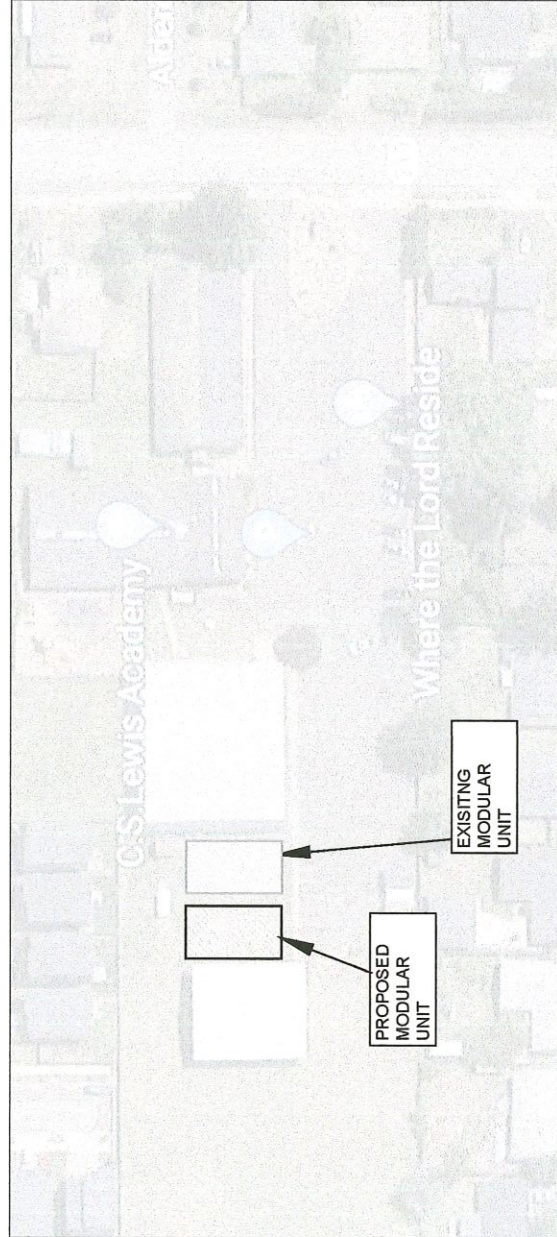
NOTICE TO EXCAVATORS
ATTENTION OREGON LAW REQUIRES THAT ALL EXCAVATION BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN DAR 952-001-0000 THROUGH DAR 952-001-0090. YOU MAY OBTAIN THE OREGON UTILITY NOTIFICATION CENTER NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-628-1987.

POTENTIAL UNDERGROUND FACILITY OWNERS
Dig Safely.
Call the 1-800-ONE-Call Center
DIAL 811 or 1-800-332-2344

- SHEET INDEX**
- G1 TITLE PAGE
 - C1 SITE PLAN
 - B1 FLOOR PLAN
 - FS1 FIRE SERVICE PLAN



VICINITY MAP
NOT TO SCALE
NORTH



SITE MAP
NORTH

SITE PLAN

CS LEWIS
MODULAR CLASSROOM
INSTALLATION
1605 N COLLEGE ST
NEWBERG, OR 97132

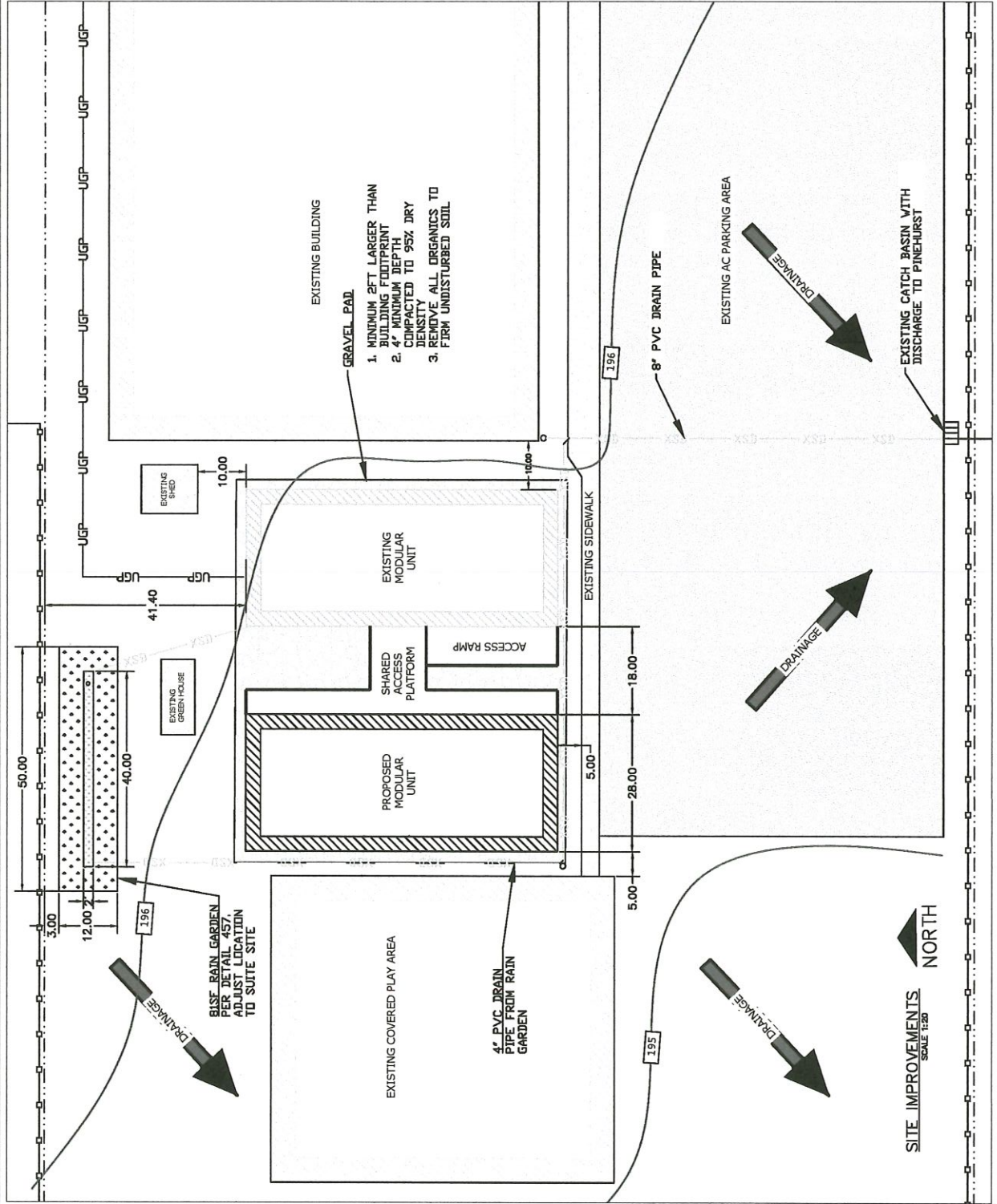
NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

PREPARED BY
YAMHILL LAND DEVELOPMENT SERVICES LLC
1605 N COLLEGE ST
NEWBERG, OR 97132
DANIEL BRANCK
DUB@YLDSPRIMAL.COM



APPROVED PLANS
APPROVAL OF PLANS IS NOT AN APPROVAL
OR OMISSIONS OR OVERTIGHTS.
Tyson O'Neil
Deputy Fire Marshal II
TVFR Permit# 2023-0049

SHEET
C1



FIRE SERVICE PLAN

CS LEWIS
MODULAR CLASSROOM
INSTALLATION
1605 N COLLEGE ST
NEWBERG, OR 97132

NO.	DATE	DESCRIPTION
00	03/17/23	TYPE 2 APPLICATION

PREPARED BY
YAMHILL LAND DEVELOPMENT SERVICES LLC
PO BOX 1642
NEWBERG, OR 97132
DANIEL DANICS, PE
DAN@YLDSDS.COM



TVFR
Tualatin Valley
Fire & Rescue
APPROVED PLANS

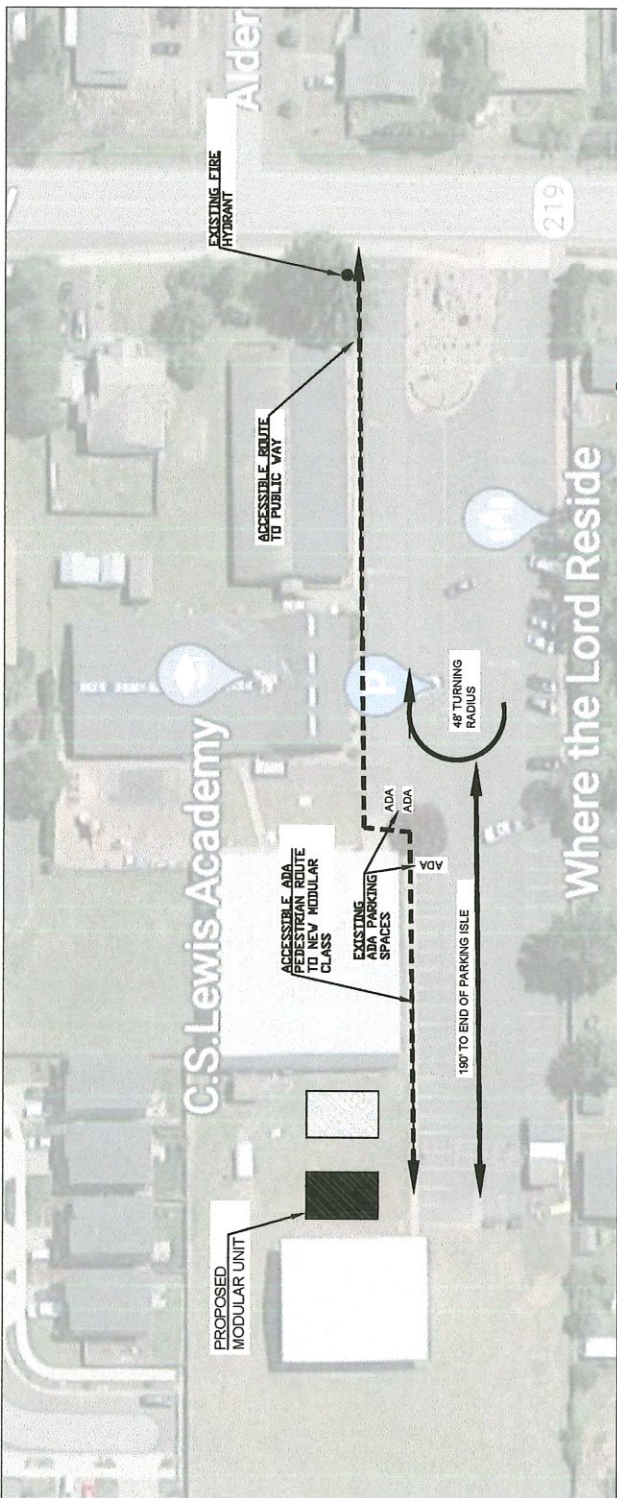
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OF OMISSIONS OR OVERSIGHTS.

Tyson
Tyson Fire Marshal II
Deputy Fire Marshal II

TVFR Permit# 2023-0049

SHEET

FS1



Fire Hydrant Fire Flow

PROJECT	CS Lewis
ADDRESS	1605 N College St Newberg, OR 97132
CROSS STREET	
FLOW	
HYDRANT LOCATION	1605 N College St
STATIC	86
PITOT RESIDUAL	27
GPM	1954
GPM AT 20 PSI	7132 7% drop
DATED	07/12/21
MONITOR	
HYDRANT LOCATION	N College St & Pinehurst Dr
STATIC	86
RESIDUAL	80
DATED	07/12/21
WITNESS	
WITNESSED BY	
TITLE	
ORGANIZATION	City of Newberg
SIGNATURE	
PERFORMED BY	Jack Gardiner