

## MEMORANDUM

---

TO: Newberg Planning Commission

FROM: Clay Downing, Planning Manager

SUBJECT: Supplemental packet material: Applicant rebuttal presentation materials and revised plans for File No. MAMD323-0001

DATE: June 2, 2023

---

We have received additional materials from the applicant including a rebuttal presentation and revised plans for the Planning Commission for File No. MAMD323-0001 during the Planning Commission meeting on June 8, 2023. According to the applicant, the site plan was revised in four areas to meet the minimum parking requirements.

Please review these additional materials from the applicant and add to your packet.

Attachments:

1. Applicant Rebuttal Presentation for Crestview Crossing PUD/CUP Modification
2. Revised Plan Set for Crestview Crossing PUD/CUP Modification



# SPRING MEADOW AT CRESTVIEW

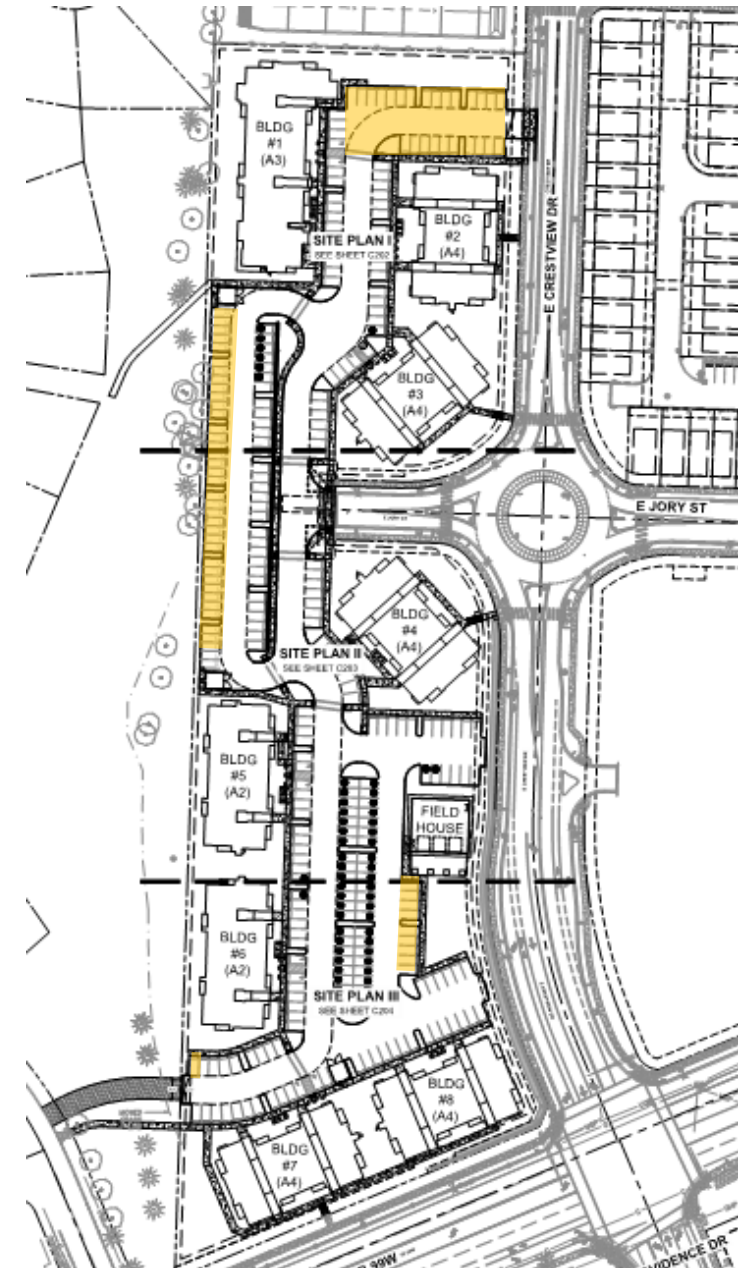
MAJOR MODIFICATION OF A PUD/CUP (MAMD323-0001)





# SITE PLAN PARKING REVISIONS

- **REQUIRED: 294 STALLS**
- **PREVIOUS: 282 STALLS**
- **REVISED: 295 STALLS**
- **38 COMPACT STALLS**
- **PARKING LOT COVERAGE:  
108,413 SF (36%)**
- **RELOCATE NORTHERN  
RESTRICTED ACCESS DRIVE**





# OPEN SPACE

- **REQUIRED: 41,300 SF**
- **PROVIDED: 86,249 SF**
- **EXCEED: 45,129 SF**





# SETBACKS & BUFFERING

## PREVIOUS APPROVAL

- PUBLIC ROAD
- THRU CONNECTION
- 10' SETBACKS
- 3 STORY HOMES

## AS PROPOSED/CONSTRUCTED

- PRIVATE STREET
- DEAD END ROAD (4 HOMES)
- STORM FACILITY
- 15' SETBACK (SF HOME)
- 22' SETBACK (MF HOME)
- 1 STORY SF HOMES
- 3 STORY MULTI-FAMILY





# SETBACKS & BUFFERING

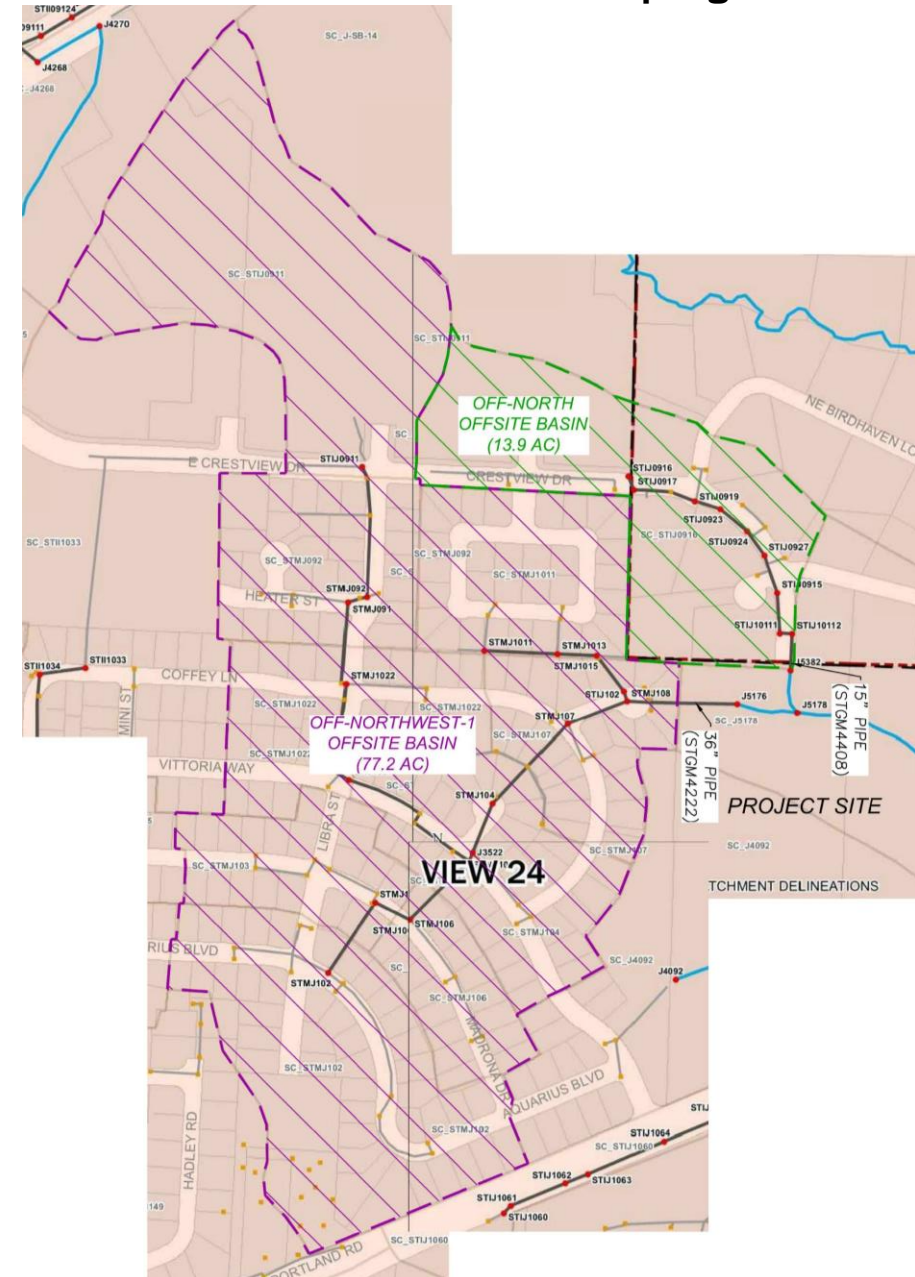
- 55-FT BETWEEN HOMES
- 45-FT HOME TO ROAD END
- 15-FT ROAD TO PROPERTY LINE
- 55-FT HOME TO STORM POND
- 85-FT HOME TO APARTMENT BUILDING





# SPRINGBROOK STORMWATER BASIN

- **UNTREATED STORMWATER DISCHARGING ON SITE**
- **SWALE TREATS 77.2 ACRE OFFSITE STORM BASIN AND 4 HOMES ON SITE**
- **LOSS OF 4 LOTS**





PHASE 1  
(AS-BUILT)

E WILLAKENZIE ST

**THANK YOU**

PHASE 1  
(AS-BUILT)

PHASE 1  
(AS-BUILT)

E JORY ST



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-COVER SHEET.DWG

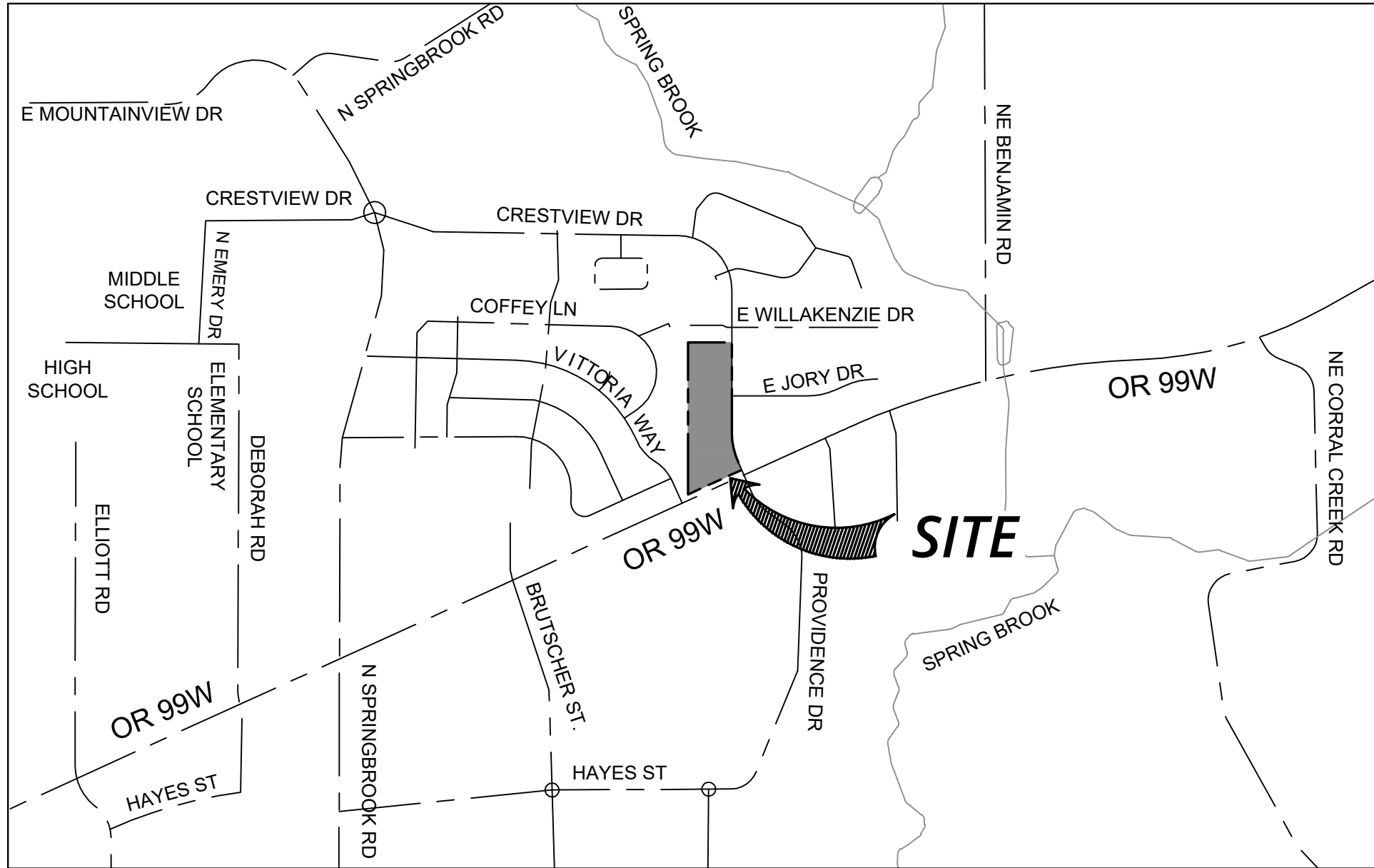
LAND USE SET

FOR

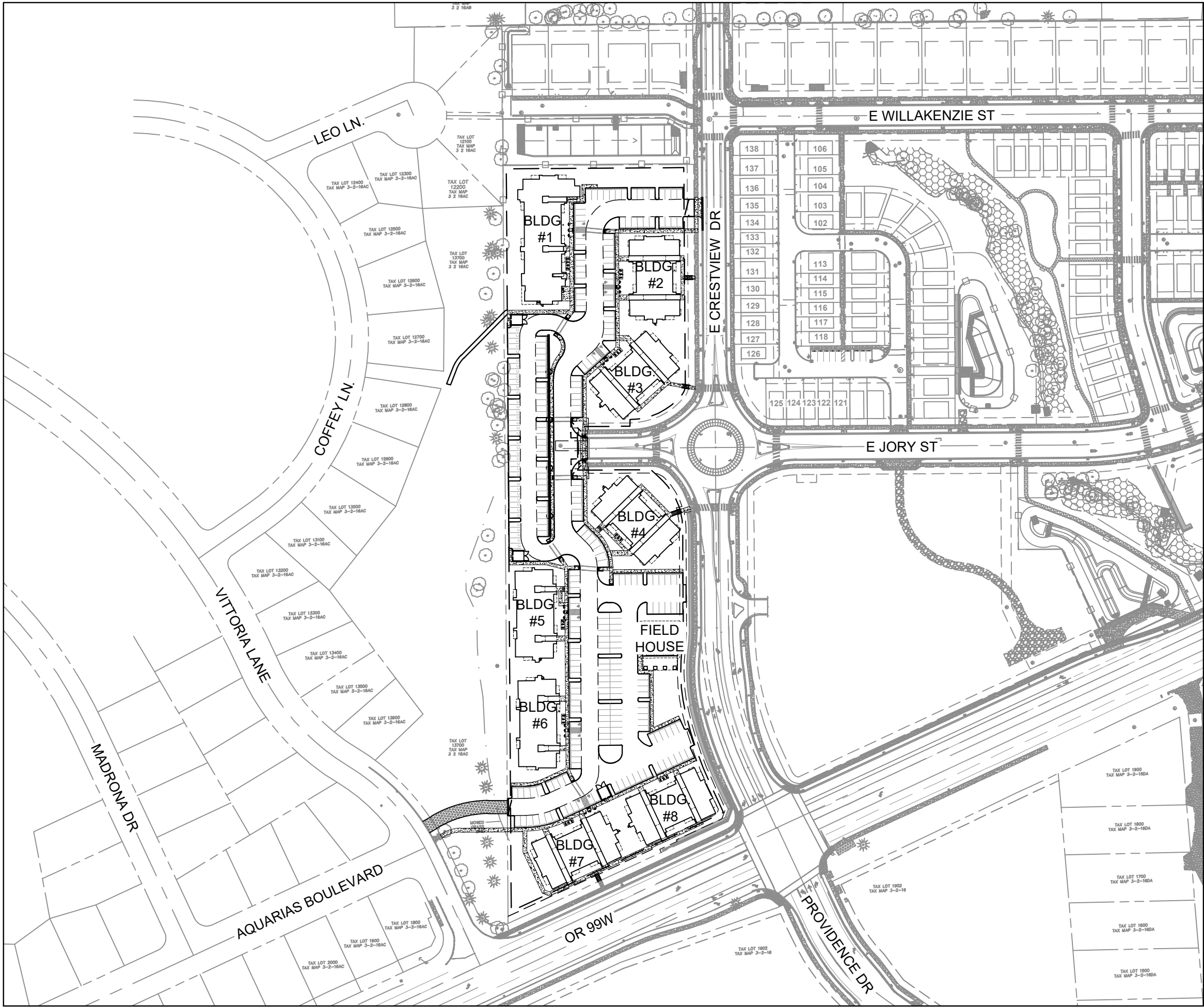
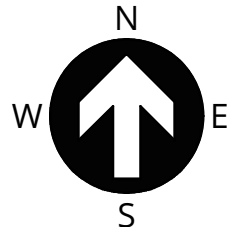
CRESTVIEW CROSSING APARTMENTS

PREPARED FOR

JTSC, LLC



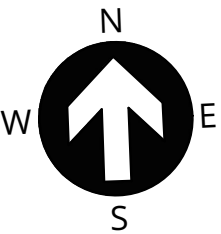
VICINITY MAP  
NOT TO SCALE



SITE MAP

SCALE: 1" = 150'

0 150 300



BENCHMARK

HORIZONTAL DATUM BASED ON OREGON NORTH STATE PLANE COORDINATE SYSTEM NAD 83 (2011) EPOCH 2010.00. UNITS IN INTERNATIONAL FEET.  
VERTICAL DATUM BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON A STATIC GPS SOLUTION DETERMINED BY THE NATIONAL GEODETIC SURVEY (NGS) OPUS REPORT ON CONTROL POINT 1. A MEASURED WASHINGTON COUNTY BENCHMARK BENCHMARK (BM) DESIGNATION 470, WITH STAMPING V 669 1976 WAS ALSO MEASURED. THE PUBLISHED NGVD 29 ELEVATION IS 174.994 FEET AND THE MEASURED NGVD 88 ELEVATION IS 178.56 FEET. THIS PROVIDES THE CONVERSION OF 3.566 FEET BETWEEN DATUMS. THE LOCATION IS THE SW CORNER OF HWY 47 AND TV HWY (PACIFIC AVE) BEING IN THE NW CORNER OF A CONCRETE ISLAND.



CIVIL SHEET LIST	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C100	EXISTING CONDITIONS
C180	PRELIMINARY PLAT
C200	OVERALL PUD SITE PLAN
C201	OVERALL SITE PLAN
C202	SITE PLAN I
C203	SITE PLAN II
C204	SITE PLAN III
C220	GRADING AND EROSION CONTROL PLAN I
C221	GRADING AND EROSION CONTROL PLAN II
C222	GRADING AND EROSION CONTROL PLAN III
C240	UTILITY PLAN I
C241	UTILITY PLAN II
C242	UTILITY PLAN III
C250	OPEN SPACE PLAN
C260	LIGHTING PLAN
C280	SITE CIRCULATION PLAN
FS-1	FIRE PLAN

PROJECT TEAM

OWNER / APPLICANT

JTSC, LLC  
5285 MEADOWS ROAD, SUITE 171  
LAKE OSWEGO, OR 97035  
CONTACT: JESSE NEMEC  
PHONE: (503) 730-8620  
EMAIL: jnemec@tsmithco.com

CIVIL ENGINEER

3J CONSULTING, INC.  
9600 SW NIMBUS AVENUE SUITE 100  
BEAVERTON, OR 97008  
CONTACT: JIM SCHMITT, PE  
PHONE: (503) 946-9365  
EMAIL: jim.schmitt@3j-consulting.com

PLANNING  
CONSULTANT

3J CONSULTING, INC.  
9600 SW NIMBUS AVE SUITE 100  
BEAVERTON, OR 97008  
CONTACT: MERCEDES SERRA  
PHONE: (503) 946-9365  
EMAIL: mercedes.serra@3j-consulting.com

LAND SURVEYOR

AKS ENGINEERING & FORESTRY, LLC.  
12965 SW HERMAN RD, SUITE 100  
TUALATIN, OR 97062  
CONTACT: NICK WHITE  
PHONE: (503) 563-6151 x227  
EMAIL: nick@aks-eng.com

SITE INFORMATION

SITE ADDRESS

LOT NEAR  
E CRESTVIEW DRIVE AND OR 99W  
NEWBERG, OR 97132

TAX LOT(S)

R3216AC LOT 13800

JURISDICTION

CITY OF NEWBERG

FLOOD HAZARD

MAP NUMBER: 41071C0241D  
ZONE 'X' (UNSHADED)

ZONING

COMMUNITY COMMERCIAL  
RESIDENTIAL MULTIFAMILY LOW

LOCATION

SW 1/4 NE 1/4 SECTION 16, T.3S., R.2W.,  
W.M., YAMHILL COUNTY, OREGON

GROSS ACREAGE

6.94 ACRES (EXISTING)  
6.94 ACRES (PROPOSED)

UTILITIES & SERVICES

STORM, SEWER, WATER, ROAD

CITY OF NEWBERG, PUBLIC WORKS  
CONTACT: KAAREN HOFMANN  
PHONE: 503-537-1273  
EMAIL: kaaren.hofmann@newbergoregon.gov

PARKS

CHEHALEM PARKS AND REC. DISTRICT  
PHONE: 503-554-0283

SCHOOLS

NEWBERG OREGON SCHOOL DISTRICT  
PHONE: 503-554-5000

POLICE

NEWBERG-DUNDEE POLICE  
DEPARTMENT  
PHONE: 503-538-8321 NON-EMERGENCY  
CALL 9-1-1 IN CASE OF EMERGENCY

FIRE

TUALATIN VALLEY FIRE & RESCUE  
STATION NUMBER 21  
PHONE: 503-649-8577 NON-EMERGENCY  
CALL 9-1-1 IN CASE OF EMERGENCY

POWER

PORTLAND GENERAL ELECTRIC

GAS

NORTHWEST NATURAL GAS

CABLE

COMCAST

PHONE

FRONTIER COMMUNICATIONS



PUBLISH DATE

MAY 24, 2023

ISSUED FOR

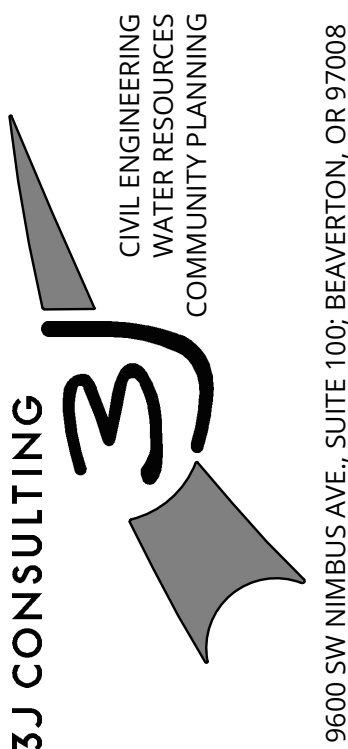
LAND USE SET

REVISIONS

COVER SHEET

SPRING MEADOW AT  
CRESTVIEW

JTSC, LLC  
NEWBERG, OR



PROJECT INFORMATION

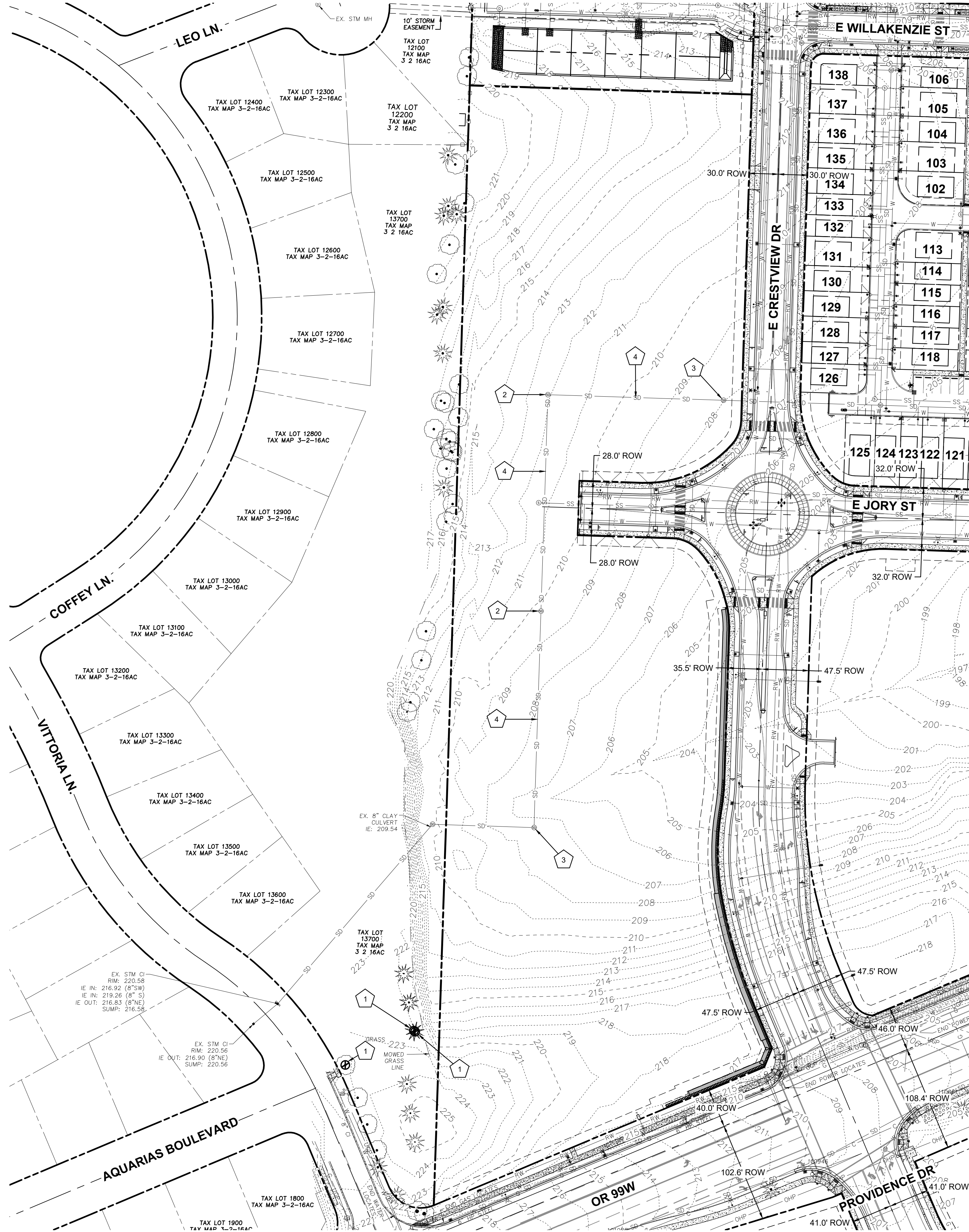
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER

C000



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-EXISTING CONDITIONS.DWG



LEGEND

- PROJECT BOUNDARY
- RIGHT-OF-WAY LINE
- RIGHT-OF-WAY CENTERLINE
- EASEMENT LINE
- EXISTING LOT LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING RETAINING WALL WITH GEOGRID
- EXISTING CURB
- EXISTING FENCE LINE
- EXISTING STRIPING: WHITE
- EXISTING STORM DRAIN
- EXISTING OVERHEAD POWER
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING GAS LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING POWER PEDESTAL
- EXISTING WATER METER
- EXISTING GAS METER
- EXISTING LIGHT
- EXISTING TREE TO BE REMOVED

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING TREE.
- 2 REMOVE EXISTING MANHOLE.
- 3 REMOVE AND RELOCATE EXISTING MANHOLE.
- 4 REMOVE EXISTING STORM LINE. TO BE RELOCATED AND RE-ROUTED.

VERTICAL DATUM

CITY OF NEWBERG BENCHMARK NO. 111  
ELEVATION = 230.11 (NGVD '29)

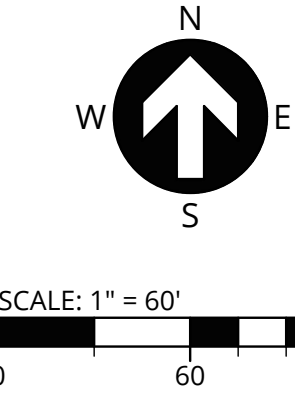
EXISTING CONDITIONS PLAN

THIS PLAN HAS BEEN PREPARED FOR INFORMATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF TOPOGRAPHIC SURVEY DATA PROVIDED BY AKS ENGINEERING & FORESTRY, AERIAL IMAGERY, PUBLIC GIS DATA AND SITE ASSESSMENT/OBSERVATION. NO WARRANTY OR GUARANTEE OF ACCURACY IS EXPRESSED OR IMPLIED.

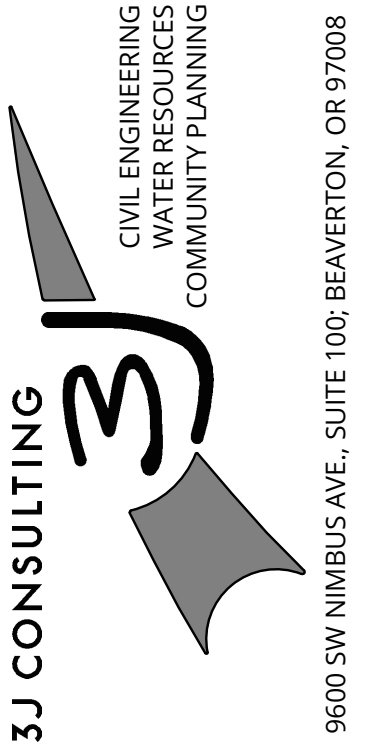
FLOOD HAZARD INFORMATION

**ZONE X (UN-SHADED)** THE SITE IS LOCATED WITHIN ZONE X (UN-SHADED) PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 41071C0241D. FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

SW 1/4 NE 1/4 OF SECTION 16, T.3S., R.2W. W.M.,  
YAMHILL COUNTY, OREGON



EXISTING CONDITIONS  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

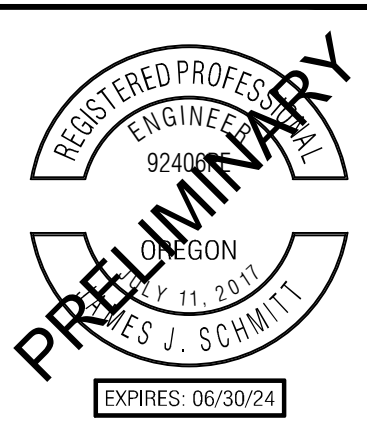
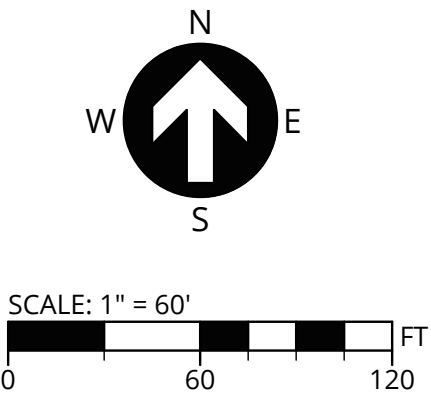
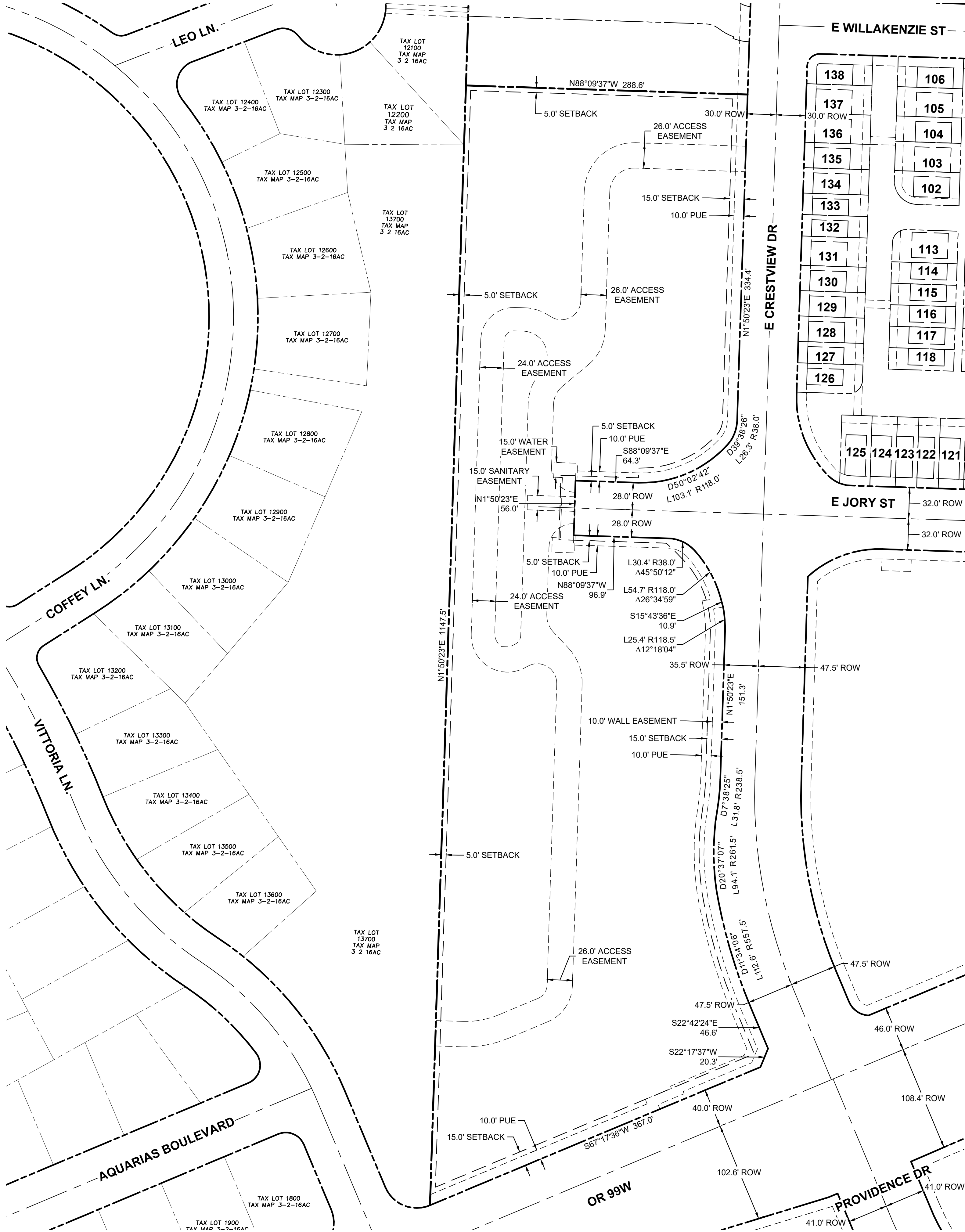
SHEET NUMBER  
**C100**



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

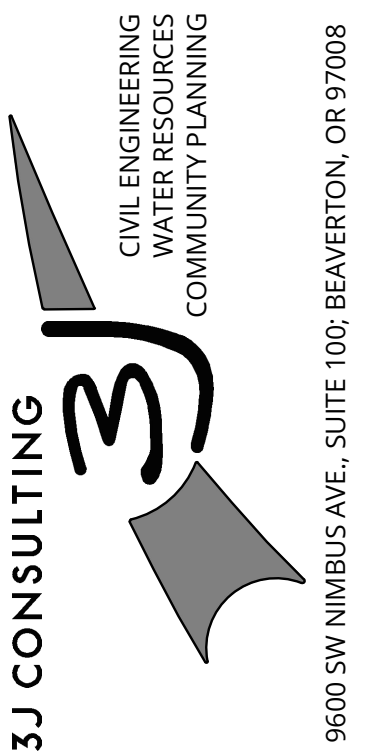


P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-PRELIM PLAT.DWG



PUBLISH DATE  
MAY 24, 2023  
ISSUED FOR  
LAND USE SET  
REVISIONS

PRELIMINARY PLAT  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

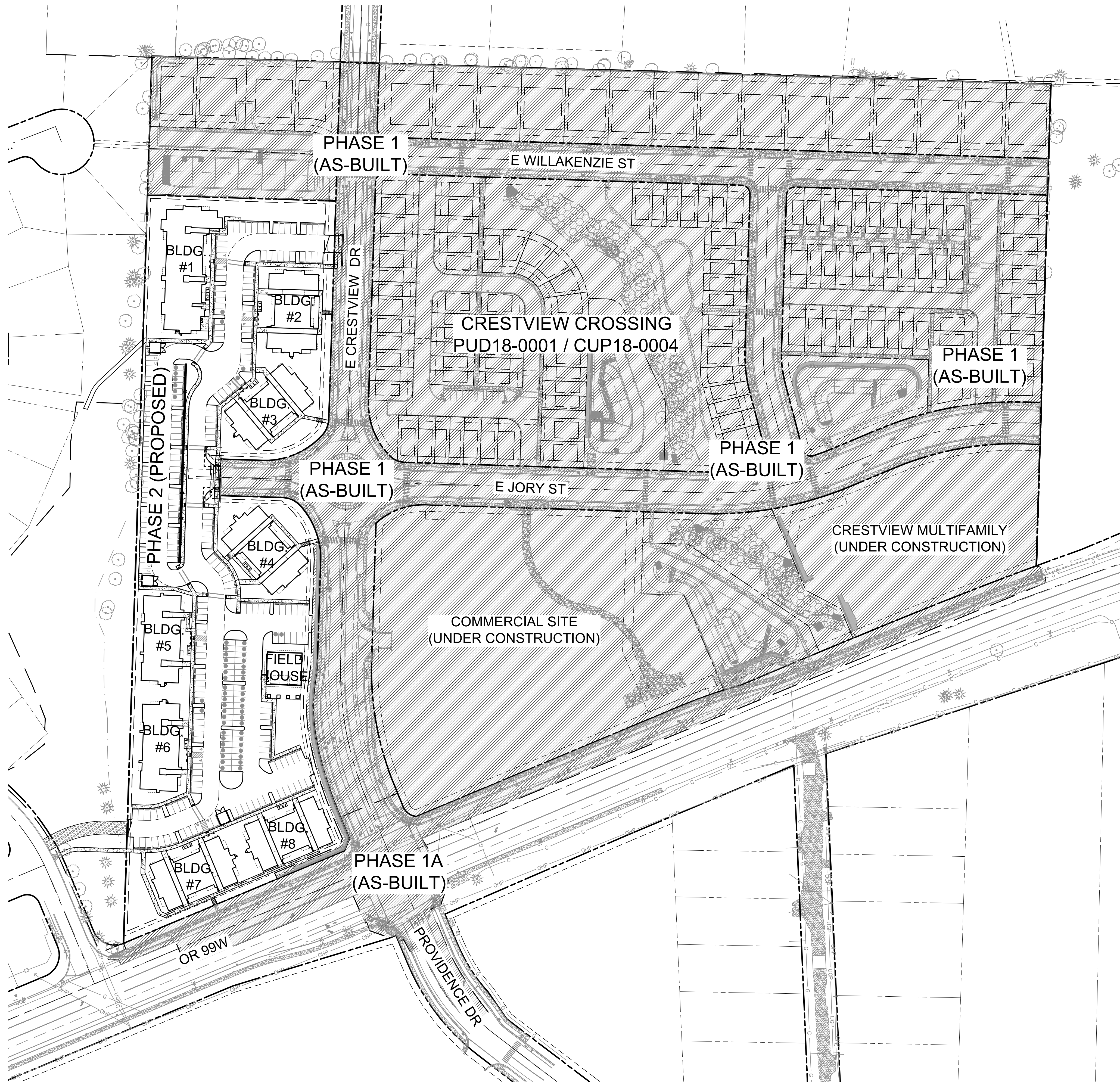


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

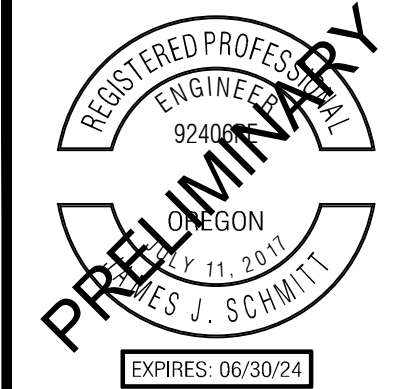
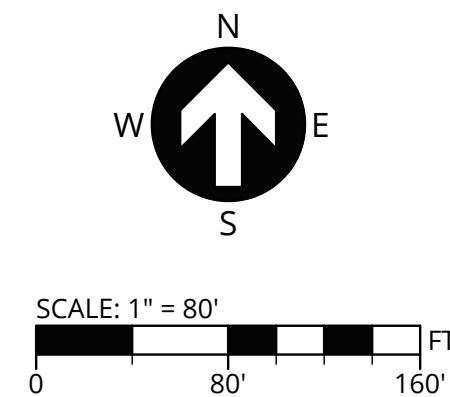
SHEET NUMBER  
**C180**



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DO SHEETS\22829-OVERALL SITE PLAN.DWG

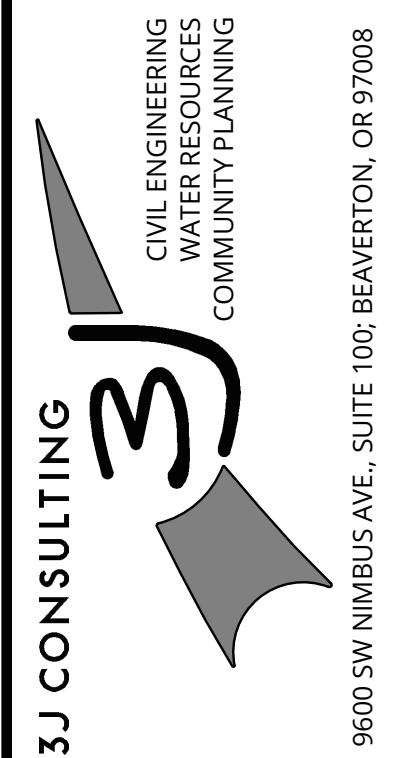


LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING ROW CENTERLINE
	EXISTING EDGE OF ASPHALT
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED CURB
	PROPOSED CONCRETE
	PROPOSED CONCRETE SCORING
	PROPOSED RETAINING WALL
	PROPOSED BUILDING LINE
	PROPOSED STRIPING
	PROPOSED FENCE



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

OVERALL PUD SITE PLAN  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

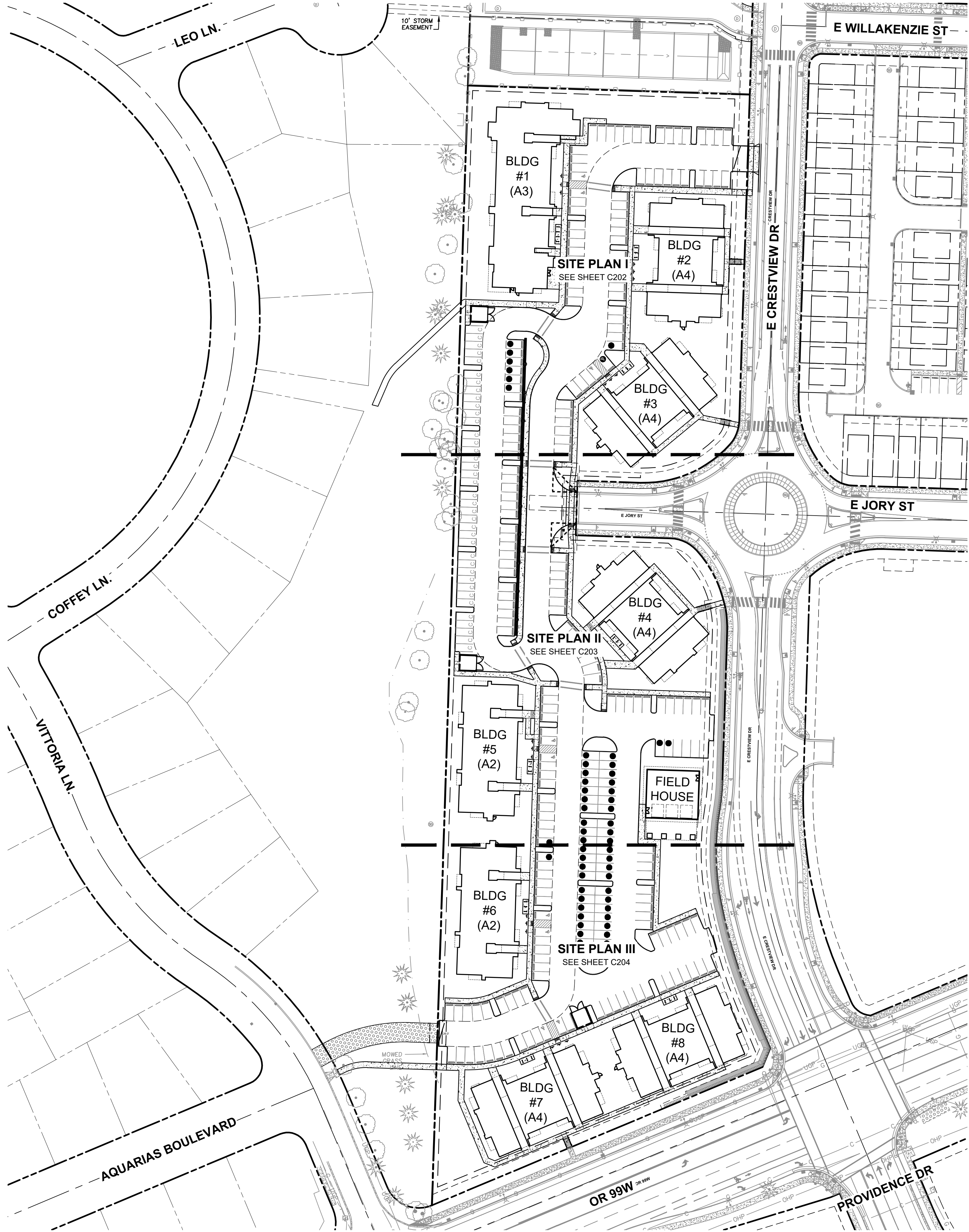


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C200**



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-SITE PLAN.DWG



- LEGEND**
- RIGHT OF WAY
  - CURB AND GUTTER
  - AC PAVEMENT
  - CONCRETE SIDEWALK
  - TRUNCATED DOME STRIP

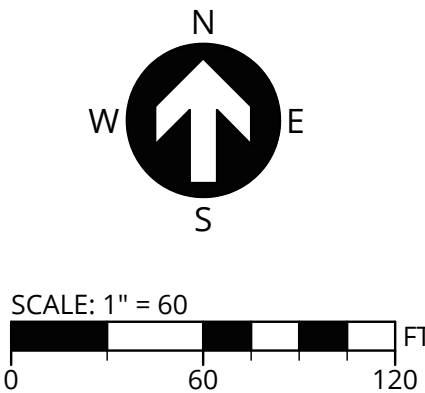
- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING RIGHT OF WAY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING ROW CENTERLINE
  - EXISTING EDGE OF ASPHALT
  - PROPOSED LOT LINE
  - PROPOSED EASEMENT LINE
  - PROPOSED SETBACK LINE
  - PROPOSED CURB
  - PROPOSED CONCRETE
  - PROPOSED CONCRETE SCORING
  - PROPOSED RETAINING WALL
  - PROPOSED BUILDING LINE
  - PROPOSED STRIPING
  - PROPOSED FENCE
  - PROPOSED TRASH ENCLOSURE
  - PROPOSED ADA LANDING
  - PROPOSED STAIRS
  - PROPOSED WHEEL STOP
  - PROPOSED TRUNCATED DOME STRIP
  - PROPOSED BICYCLE RACKS
  - PROPOSED LIGHTING
  - PROPOSED ADA PARKING SYMBOL
  - PROPOSED EV COMPATIBLE PARKING SPACE
  - PROPOSED FIRE GATE

PARKING STATISTICS				
PARKING TYPE	STALL COUNT	LENGTH (FT)	WIDTH (FT)	STALL ANGLE
STANDARD	245	18'	9.0'	90°
COMPACT	38	18'	8.0'	90°
EV COMPATIBLE	56	18'	9.0'	90°
ADA ACCESSIBLE	8	18'	9.0'	90°
ADA VAN ACCESSIBLE	4	18'	9.0'	90°

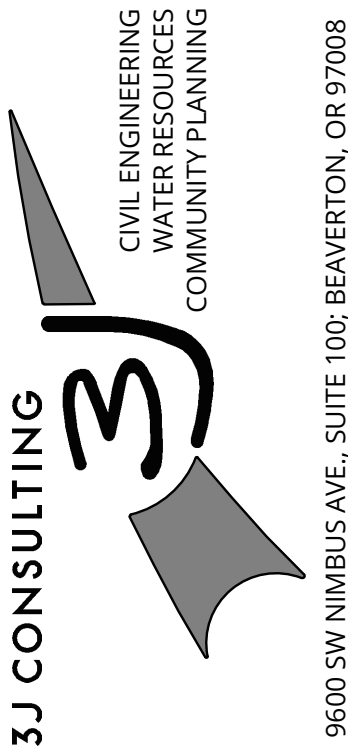
PARKING STATISTICS CONT.	
PRIVATE PARKING STALLS	295
PUBLIC PARKING STALLS	0
TOTAL PARKING STALLS	295
UNIT COUNT	196
PARKING RATIO	1.51

SETBACKS AND PUE	
FRONT BUILDING SETBACK	15'
INTERIOR BUILDING SETBACK	5'
PROPOSED PUE	10'

BICYCLE PARKING	
TOTAL STALLS	50
STALL DIMENSIONS	6' X 2.5'



OVERALL SITE PLAN  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

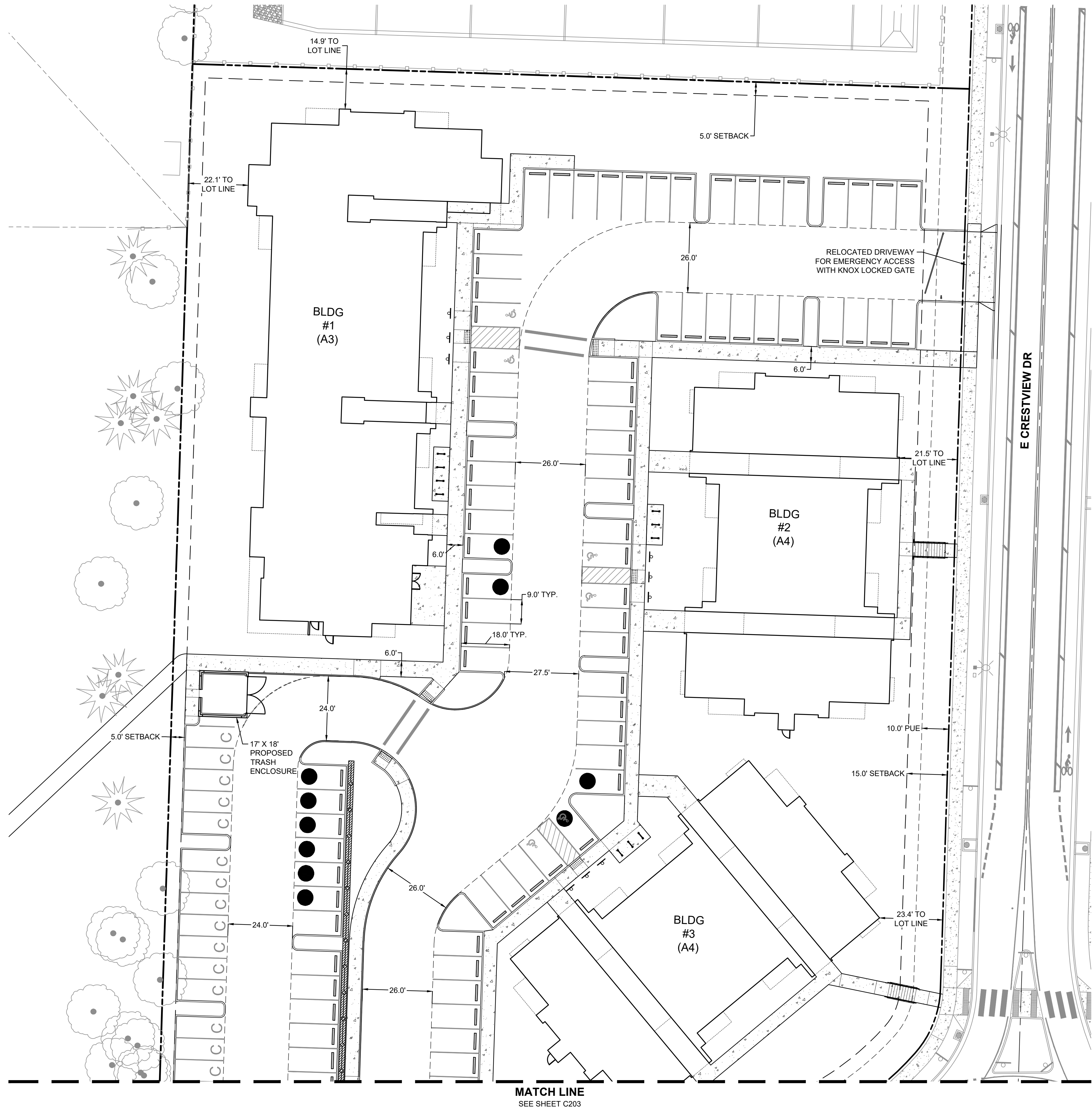
SHEET NUMBER  
**C201**



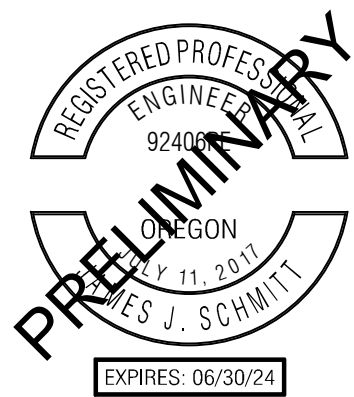
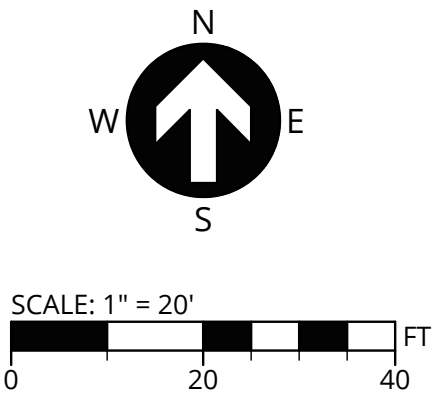
PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS



P:\22829-JTS-CRESTVIEW CROSSING\196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-SITE PLAN.DWG

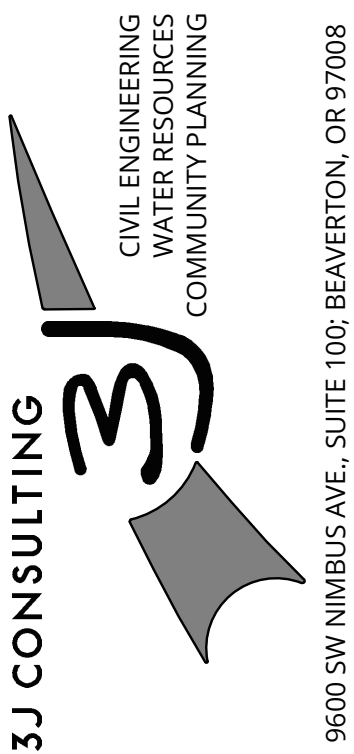


- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING RIGHT OF WAY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING ROW CENTERLINE
  - EXISTING EDGE OF ASPHALT
  - PROPOSED LOT LINE
  - PROPOSED EASEMENT LINE
  - PROPOSED SETBACK LINE
  - PROPOSED CURB
  - PROPOSED CONCRETE
  - PROPOSED CONCRETE SCORING
  - PROPOSED RETAINING WALL
  - PROPOSED BUILDING LINE
  - PROPOSED STRIPING
  - PROPOSED FENCE
  - PROPOSED TRASH ENCLOSURE
  - PROPOSED ADA LANDING
  - PROPOSED STAIRS
  - PROPOSED WHEEL STOP
  - PROPOSED TRUNCATED DOME STRIP
  - PROPOSED BICYCLE RACKS
  - PROPOSED LIGHTING
  - PROPOSED ADA PARKING SYMBOL
  - PROPOSED EV COMPATIBLE PARKING SPACE
  - PROPOSED FIRE GATE



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

**SITE PLAN I**  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

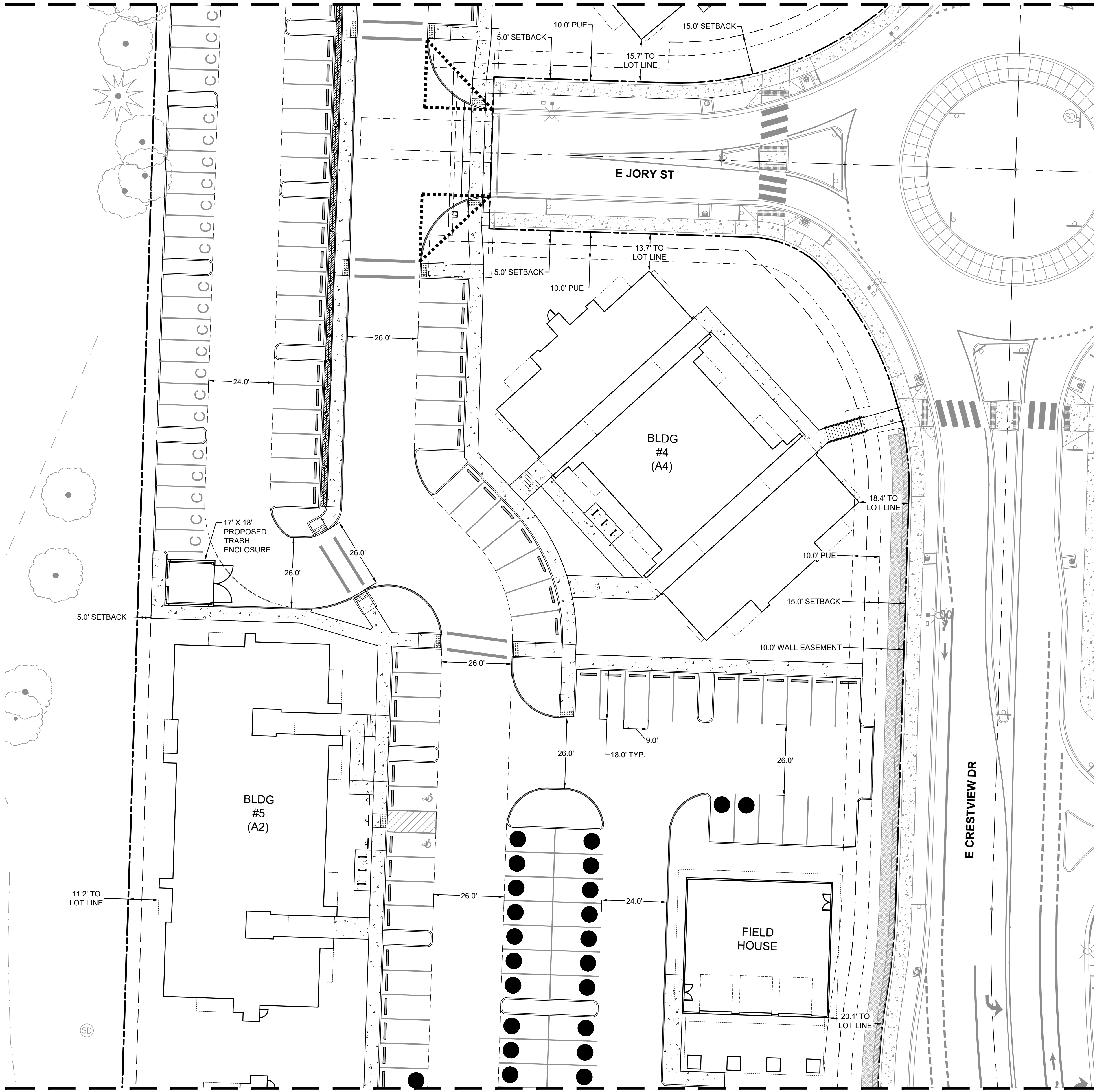


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C202**



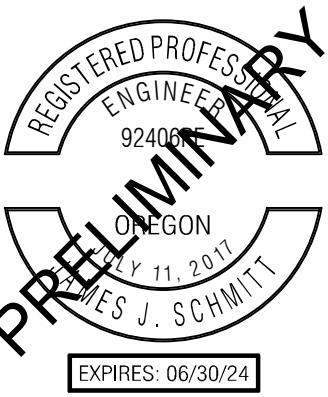
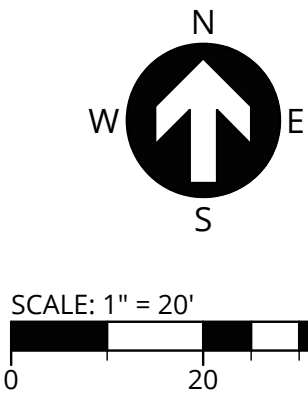
MATCH LINE  
SEE SHEET C202



MATCH LINE  
SEE SHEET C204

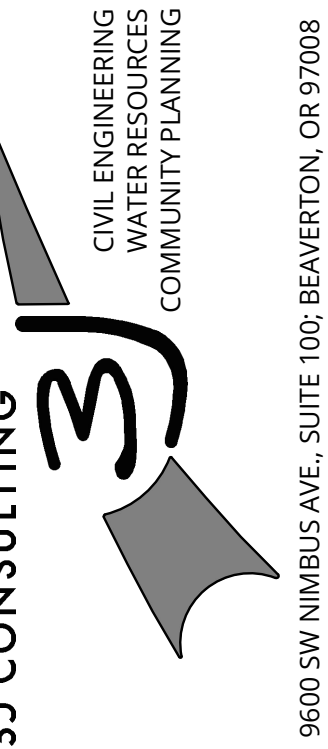
LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING ROW CENTERLINE
- EXISTING EDGE OF ASPHALT
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED CONCRETE
- PROPOSED CONCRETE SCORING
- PROPOSED RETAINING WALL
- PROPOSED BUILDING LINE
- PROPOSED STRIPING
- PROPOSED FENCE
- PROPOSED TRASH ENCLOSURE
- PROPOSED ADA LANDING
- PROPOSED STAIRS
- PROPOSED WHEEL STOP
- PROPOSED TRUNCATED DOME STRIP
- PROPOSED BICYCLE RACKS
- PROPOSED LIGHTING
- PROPOSED ADA PARKING SYMBOL
- PROPOSED EV COMPATIBLE PARKING SPACE
- PROPOSED FIRE GATE
- VISION CLEARANCE TRIANGLE



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

**SITE PLAN II**  
**SPRING MEADOW AT**  
**CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



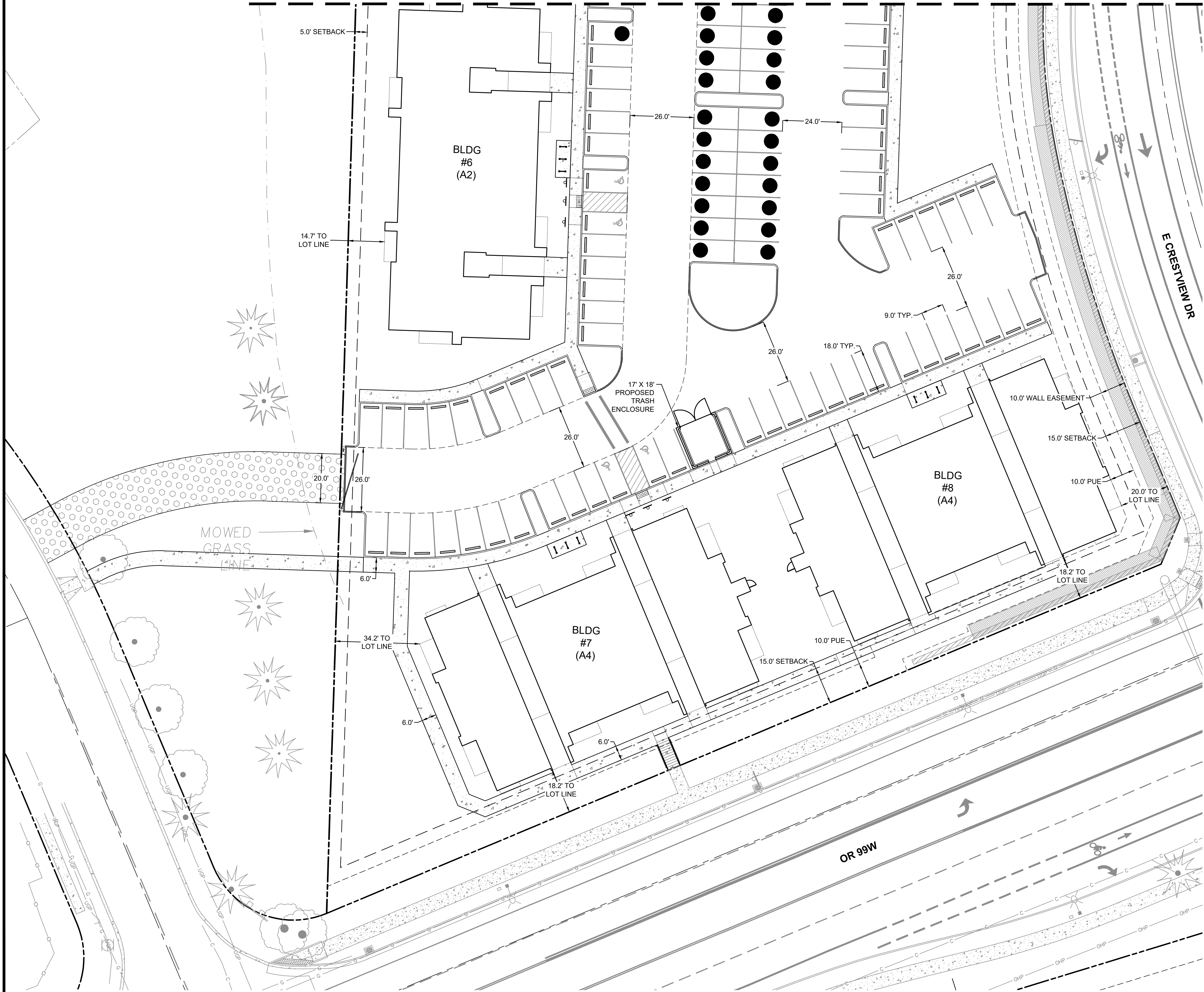
PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C203**



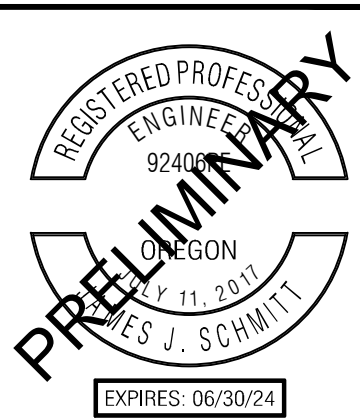
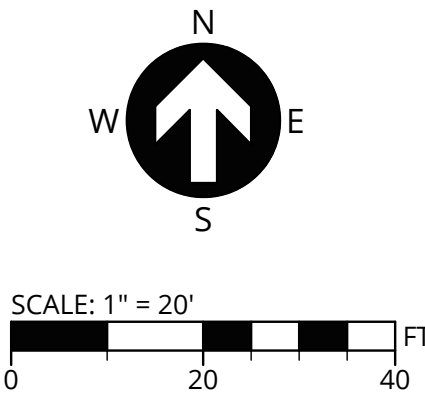
P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-SITE PLAN.DWG

MATCH LINE  
SEE SHEET C203



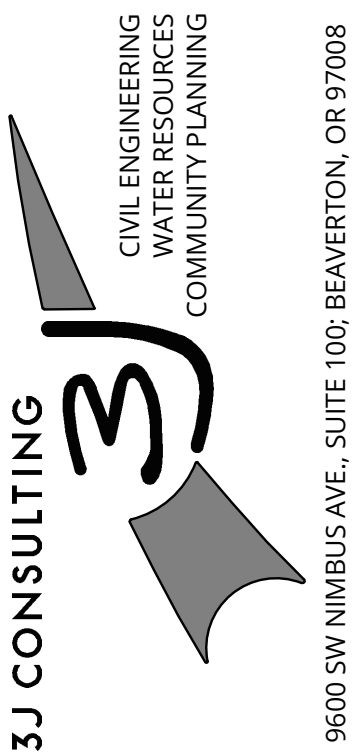
LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING ROW CENTERLINE
- EXISTING EDGE OF ASPHALT
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED CONCRETE
- PROPOSED CONCRETE SCORING
- PROPOSED FIRE ONLY ACCESS DRIVEWAY
- PROPOSED RETAINING WALL
- PROPOSED BUILDING LINE
- PROPOSED STRIPING
- PROPOSED FENCE
- PROPOSED TRASH ENCLOSURE
- PROPOSED ADA LANDING
- PROPOSED STAIRS
- PROPOSED WHEEL STOP
- PROPOSED TRUNCATED DOME STRIP
- PROPOSED BICYCLE RACKS
- PROPOSED LIGHTING
- PROPOSED ADA PARKING SYMBOL
- PROPOSED EV COMPATIBLE PARKING SPACE
- PROPOSED FIRE GATE



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

**SITE PLAN III**  
**SPRING MEADOW AT**  
**CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

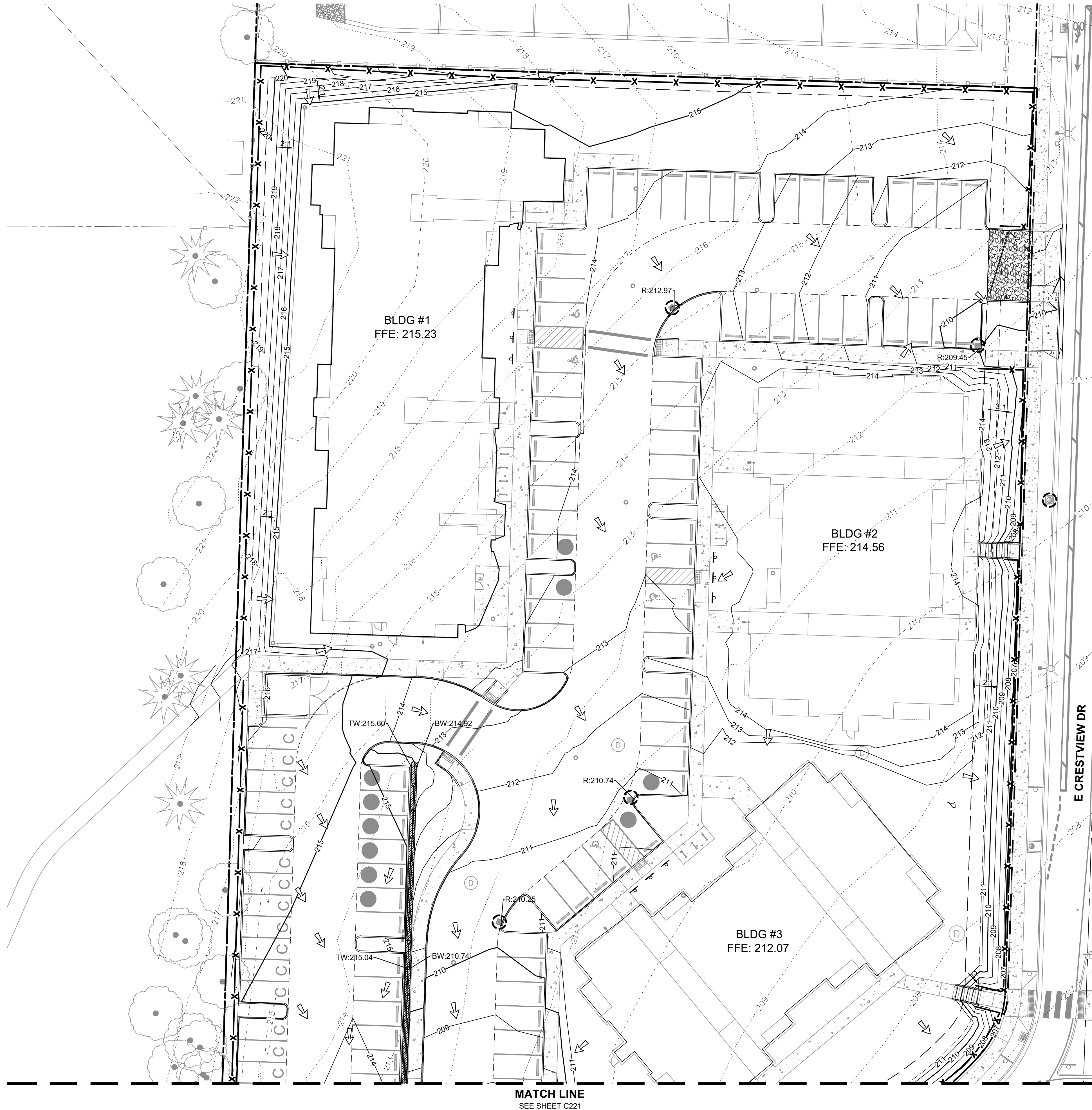


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

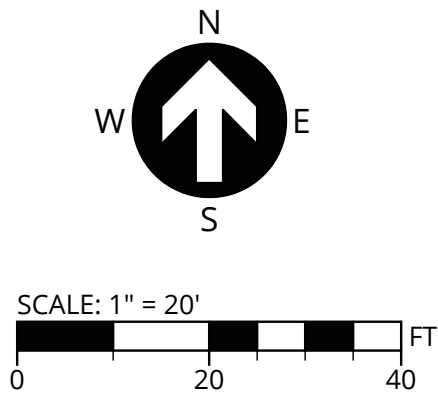
SHEET NUMBER  
**C204**



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-GRADING AND EROSION CONTROL.DWG



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING ROW CENTERLINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SILT FENCING
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION
	SURFACE RUN-OFF FLOW ARROW



GRADING AND EROSION CONTROL PLAN I  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

3J CONSULTING

CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C220**

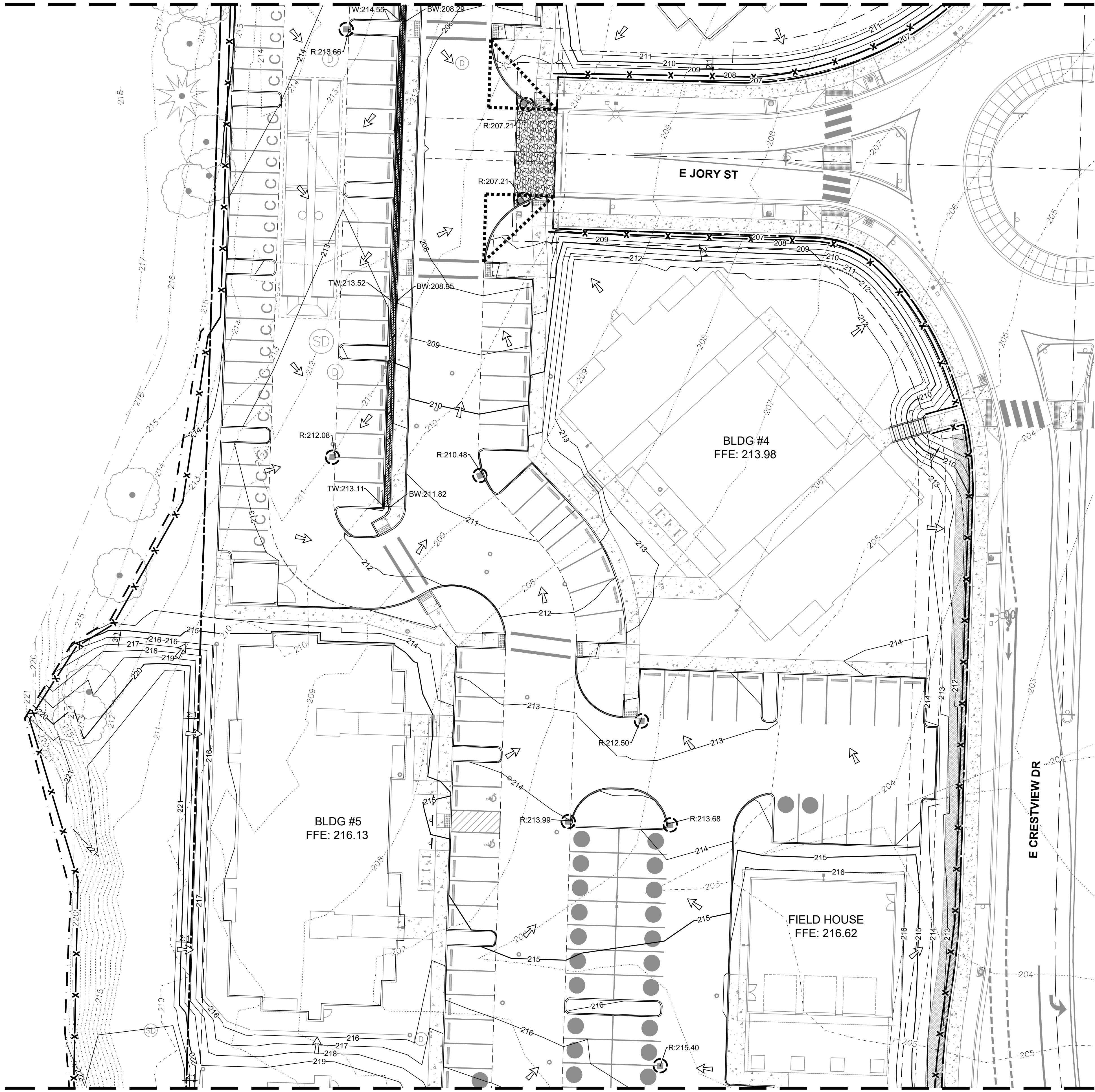
PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

REGISTERED PROFESSIONAL ENGINEER  
OREGON  
JES J. SCHMITT  
EXPIRES: 06/30/24

**PRELIMINARY**



MATCH LINE  
SEE SHEET C220



- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING RIGHT OF WAY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING ROW CENTERLINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED EASEMENT LINE
  - PROPOSED SETBACK LINE
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SILT FENCING
  - PROPOSED LIMITS OF DISTURBANCE
  - PROPOSED CONSTRUCTION ENTRANCE
  - PROPOSED INLET PROTECTION
  - SURFACE RUN-OFF FLOW ARROW



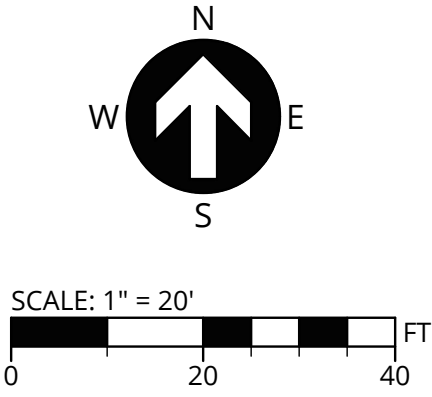
PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

**GRADING AND EROSION CONTROL PLAN II**  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

**3J CONSULTING**  
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING  
9000 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C221**



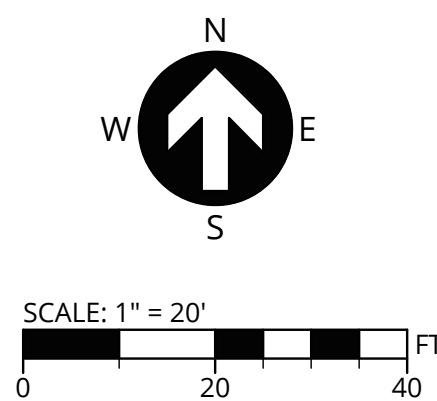
MATCH LINE  
SEE SHEET C222



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-GRADING AND EROSION CONTROL.DWG



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING ROW CENTERLINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SILT FENCING
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION
	SURFACE RUN-OFF FLOW ARROW



GRADING AND EROSION CONTROL PLAN III  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

3J CONSULTING

CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION	
3J PROJECT #	22829
TAX LOT(S)	R3216AC LOT 13800
LAND USE #	TBD
DESIGNED BY	JJS, SRC, JGW
CHECKED BY	AJM

SHEET NUMBER  
**C222**

REGISTERED PROFESSIONAL ENGINEER  
OREGON  
JES J. SCHMITT  
EXPIRES: 06/30/24

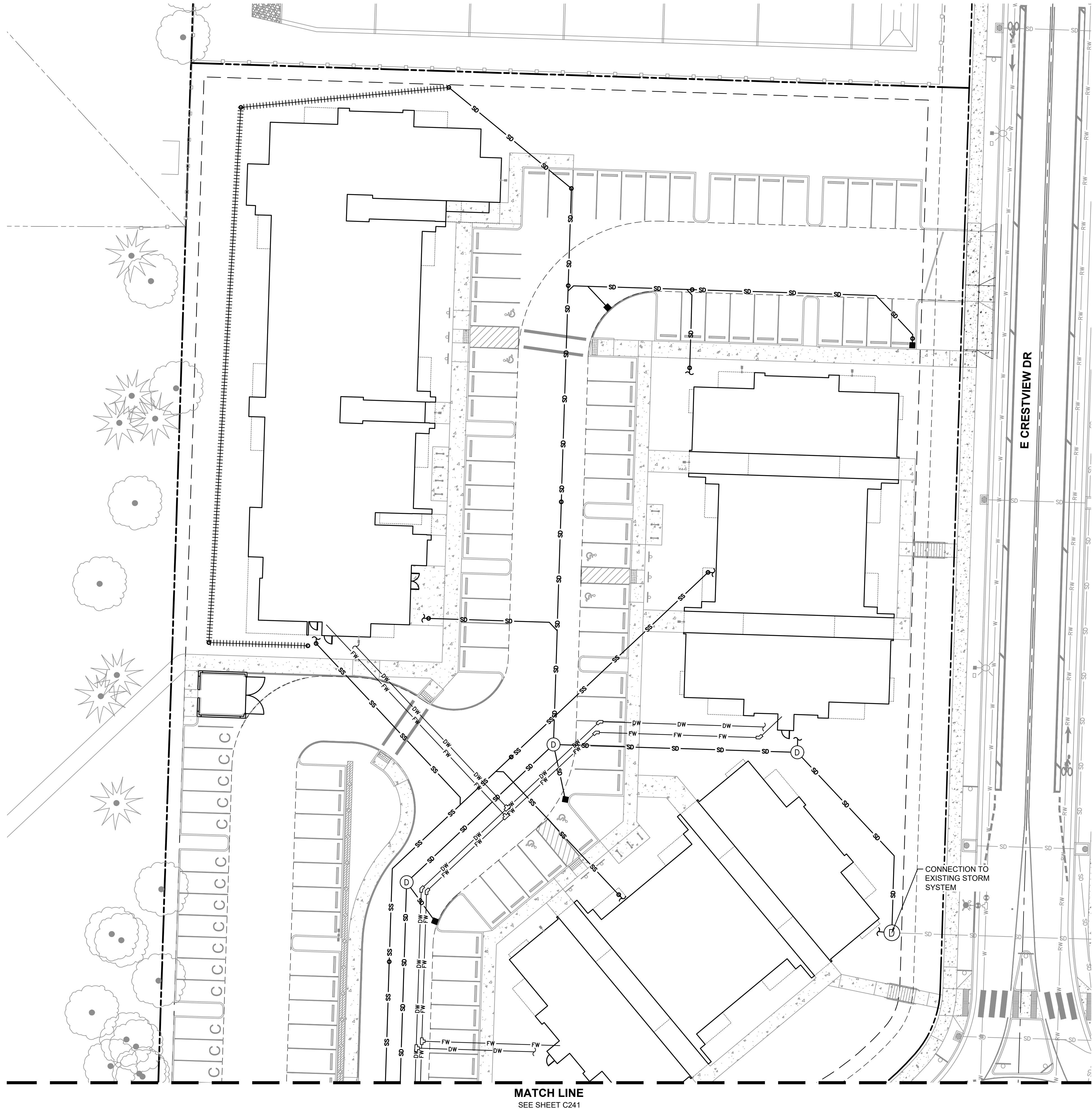
PUBLISH DATE  
**MAY 24, 2023**

ISSUED FOR  
**LAND USE SET**

REVISIONS

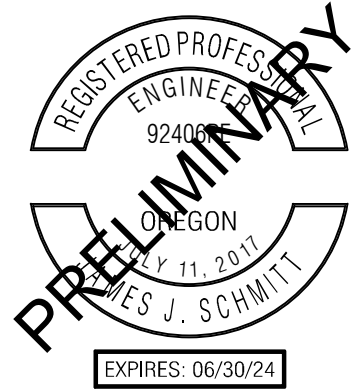
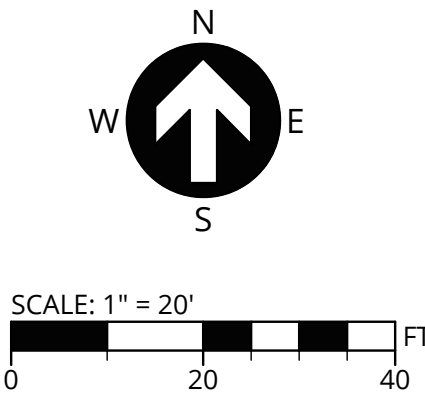


P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-UTILITY PLAN.DWG



LEGEND

- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED RIGHT OF WAY
- PROPOSED CENTERLINE
- PROPOSED STORM PIPE
- PROPOSED FRENCH DRAIN
- PROPOSED SANITARY PIPE
- PROPOSED FIRE WATER SERVICE
- PROPOSED DOMESTIC WATER SERVICE
- PROPOSED DCDA
- PROPOSED DC
- PROPOSED WATER METER
- FIRE DPT. CONNECTION
- FIRE DPT. CONNECTION VAULT
- POST INDICATOR VALVE
- PROPOSED GATE VALVE
- PROPOSED REDUCER FITTING
- PROPOSED STORM MANHOLE
- PROPOSED CLEANOUT
- PROPOSED TRAPPED CATCH BASIN
- PIPE CONTINUATION



PUBLISH DATE

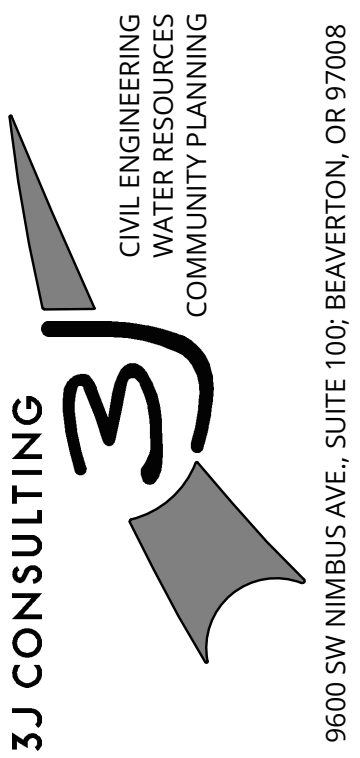
MAY 24, 2023

ISSUED FOR

LAND USE SET

REVISIONS

UTILITY PLAN I  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



PROJECT INFORMATION

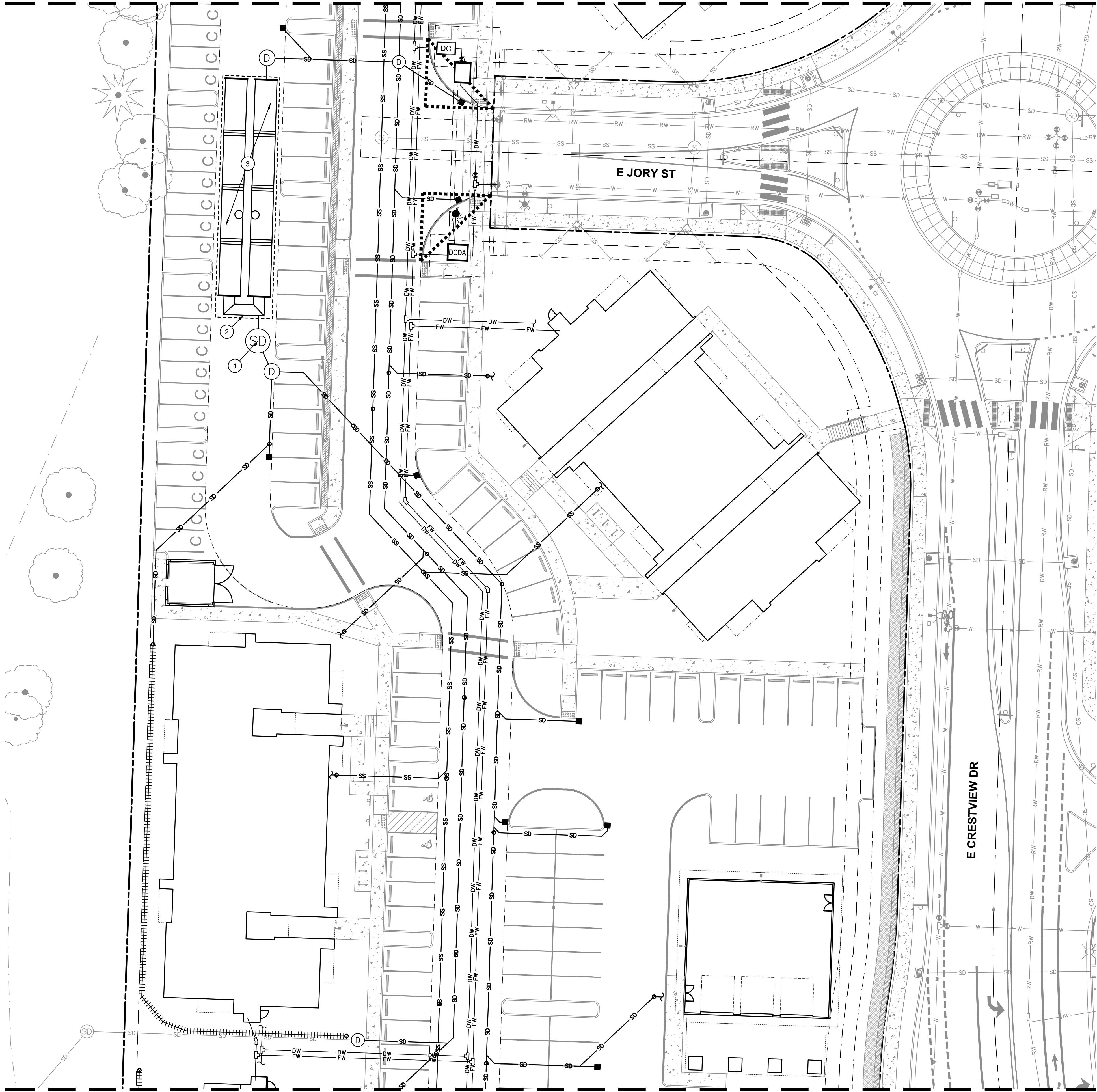
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER

C240



MATCH LINE  
SEE SHEET C240



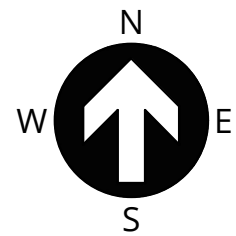
MATCH LINE  
SEE SHEET C242

LEGEND

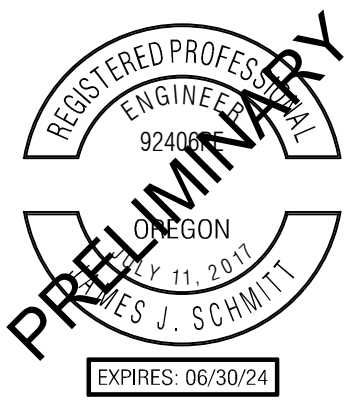
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED RIGHT OF WAY
- PROPOSED CENTERLINE
- SD PROPOSED STORM PIPE
- SS PROPOSED FRENCH DRAIN
- SS PROPOSED SANITARY PIPE
- FW PROPOSED FIRE WATER SERVICE
- DW PROPOSED DOMESTIC WATER SERVICE
- DCDA PROPOSED DCDA
- DC PROPOSED DC
- PROPOSED WATER METER
- FIRE DPT. CONNECTION
- FIRE DPT. CONNECTION VAULT
- POST INDICATOR VALVE
- PROPOSED GATE VALVE
- PROPOSED REDUCER FITTING
- PROPOSED WATER TREATMENT MANHOLE
- PROPOSED STORM DETENTION SYSTEM
- PROPOSED STORM MANHOLE
- PROPOSED CLEANOUT
- PROPOSED TRAPPED CATCH BASIN
- PIPE CONTINUATION

STORM DRAIN KEY NOTES

- 1 PROPOSED WATER TREATMENT MANHOLE
- 2 PROPOSED STORM MANIFOLD
- 3 PROPOSED UNDERGROUND DETENTION



SCALE: 1" = 20'  
0 20 40 FT

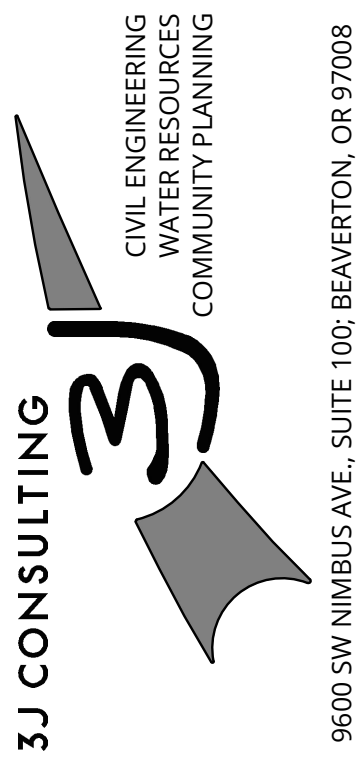


PUBLISH DATE  
MAY 24, 2023

ISSUED FOR  
LAND USE SET

REVISIONS

UTILITY PLAN II  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



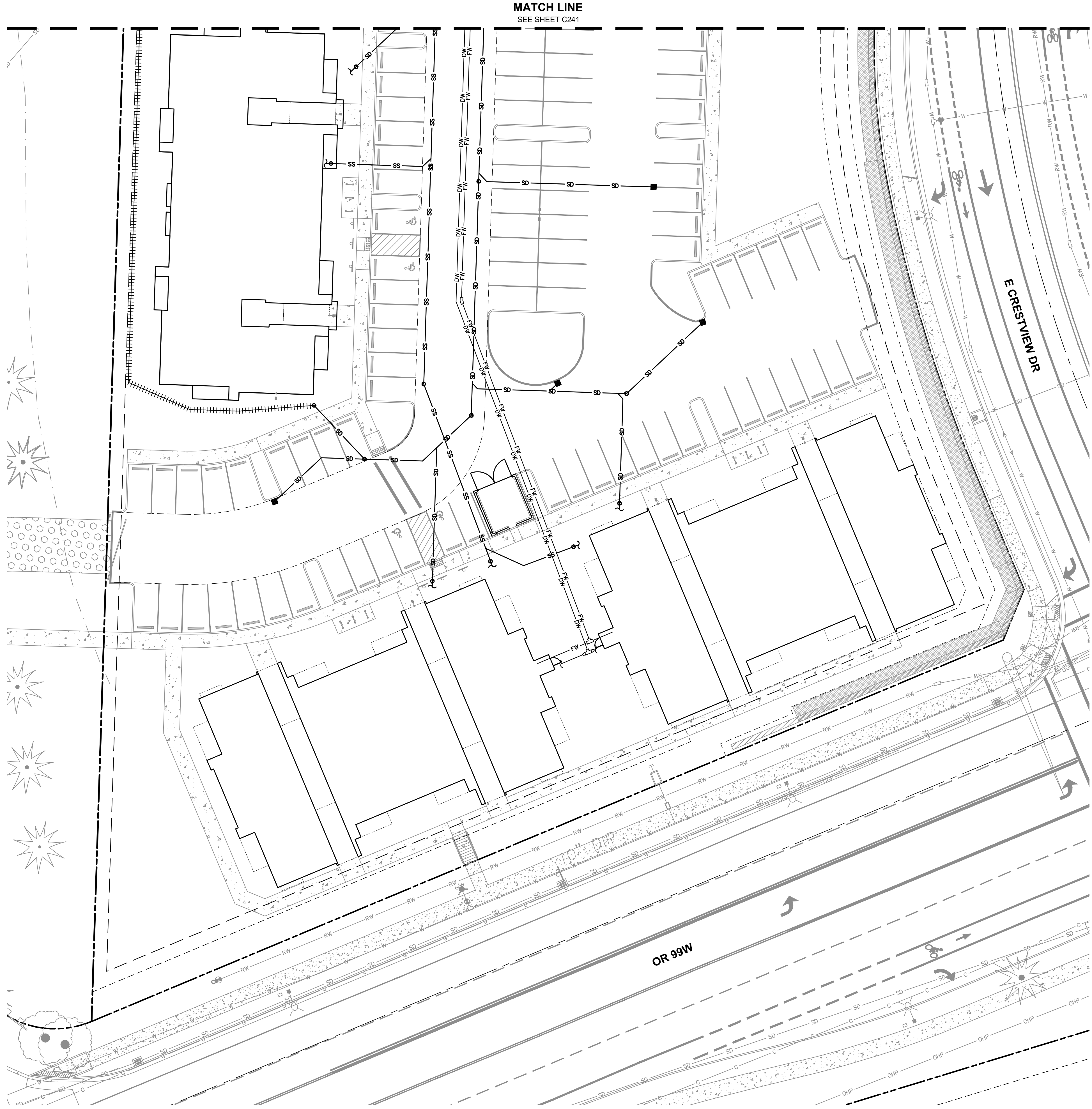
PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER

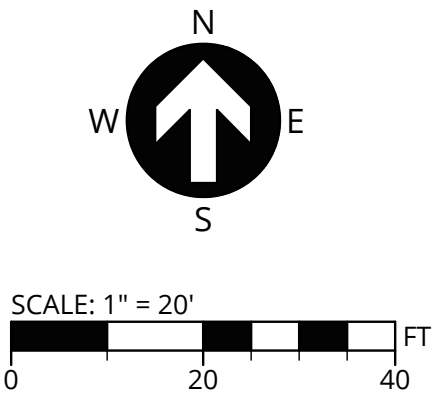
C241



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-UTILITY PLAN.DWG

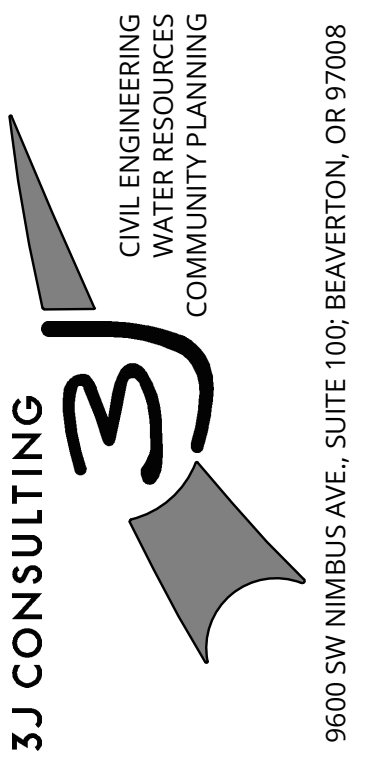


LEGEND	
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	PROPOSED RIGHT OF WAY
	PROPOSED CENTERLINE
	PROPOSED STORM PIPE
	PROPOSED FRENCH DRAIN
	PROPOSED SANITARY PIPE
	PROPOSED FIRE WATER SERVICE
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED DCDA
	PROPOSED DC
	PROPOSED WATER METER
	FIRE DPT. CONNECTION
	FIRE DPT. CONNECTION VAULT
	POST INDICATOR VALVE
	PROPOSED GATE VALVE
	PROPOSED REDUCER FITTING
	PROPOSED CLEANOUT
	PROPOSED TRAPPED CATCH BASIN
	PIPE CONTINUATION



PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS

UTILITY PLAN III  
**SPRING MEADOW AT CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

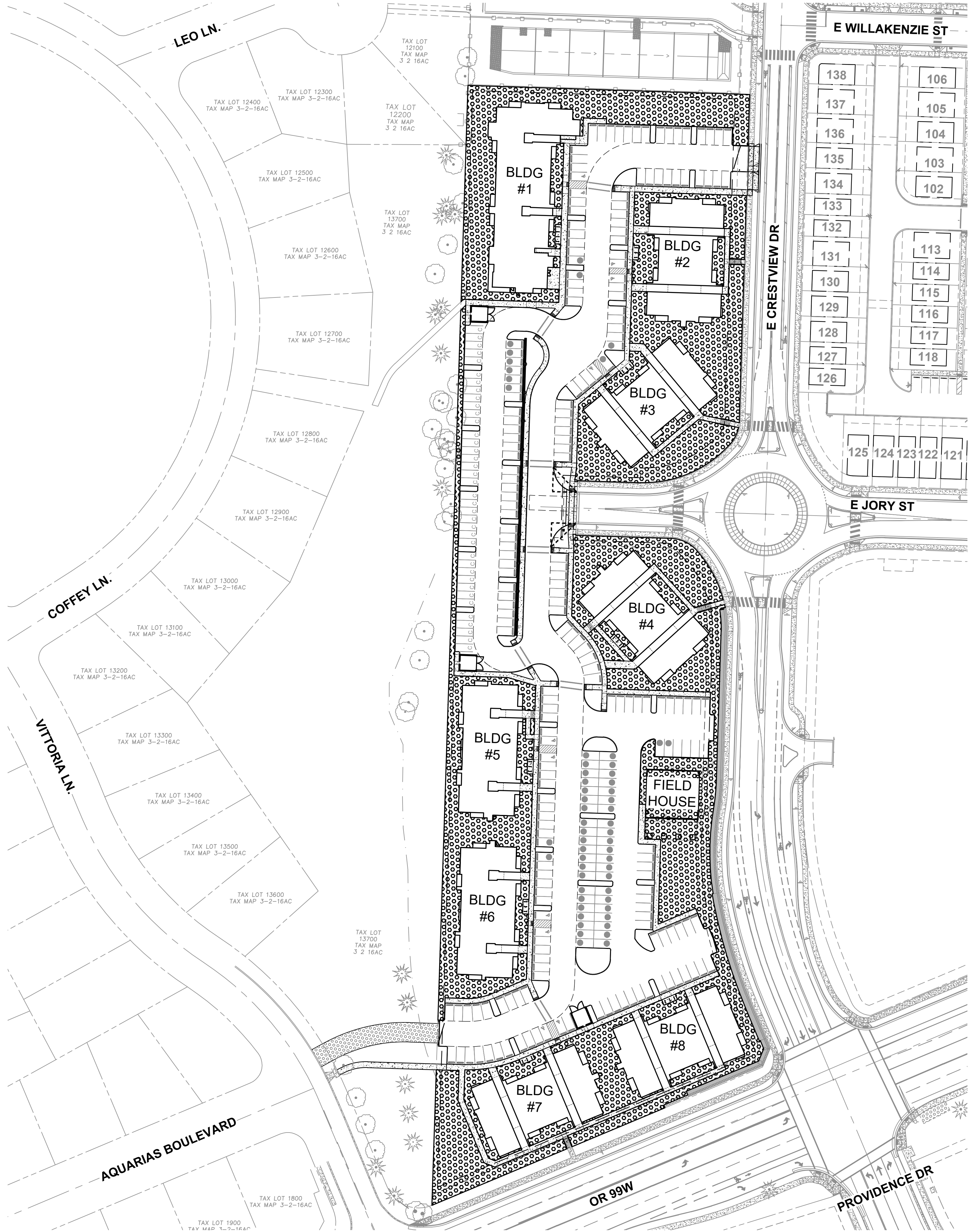


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C242**



P:\2829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\2829-OPEN SPACE PLAN.DWG

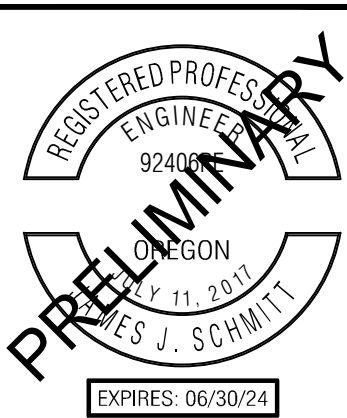
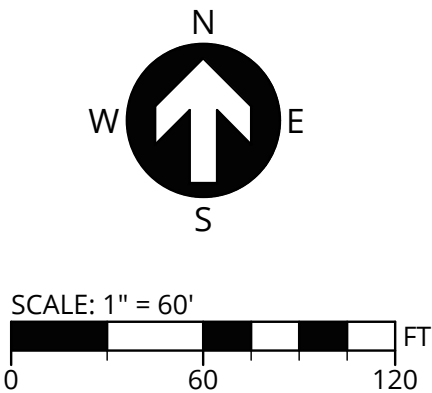


LEGEND

 OPEN SPACE AREA

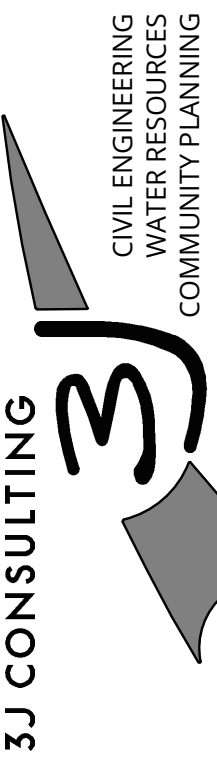
SITE STATISTICS

SITE AREA	6.94 ACRES
OPEN SPACE AREA	1.98 ACRES
- OPEN SPACE PERCENTAGE	29%



PUBLISH DATE  
MAY 24, 2023  
ISSUED FOR  
LAND USE SET  
REVISIONS

OPEN SPACE PLAN  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR



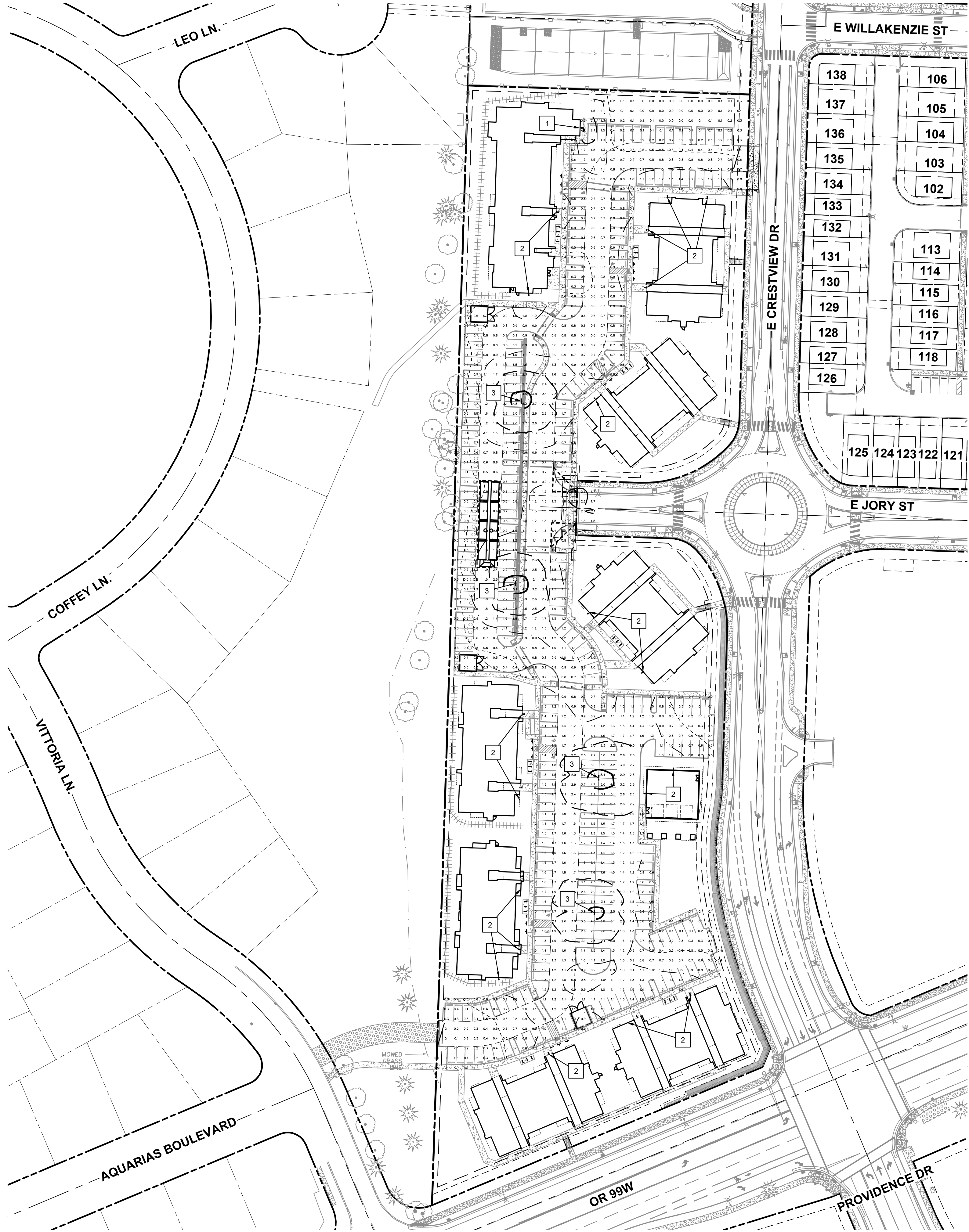
PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
**C250**

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008



P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-LIGHTING PLAN.DWG



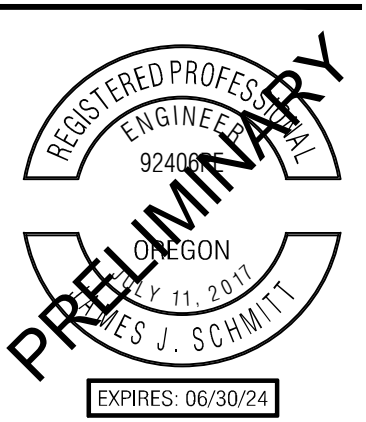
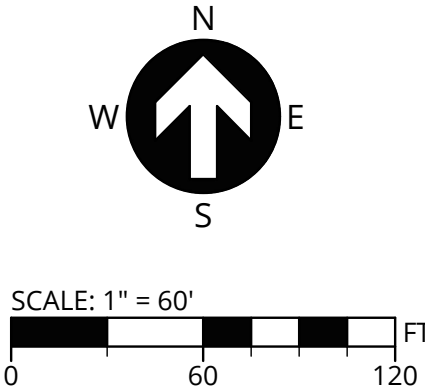
- LEGEND
- 4.0 FOOT-CANDLE ISOLINE
  - 2.0 FOOT-CANDLE ISOLINE
  - 1.0 FOOT-CANDLE ISOLINE
  - 0.5 FOOT-CANDLE ISOLINE

- ILLUMINATION GENERAL NOTES
- ELECTRICAL BY OTHERS
  - ALL ILLUMINATION CALCULATIONS AND ISOLINES DEVELOPED USING DESIGN MASTER PHOTOMETRICS SOFTWARE.
  - LIGHT POLES SHALL BE ALUMINUM, NATURAL FINISH, AND ELLIPTICAL MAST ARMS.
  - LUMINAIRES SHALL BE LED LIGHT SOURCE WITH NO LESS THAN 30 LEDS AND NO LESS THAN 7000 LUMENS, WITH GREY COLORED "COBRAHEAD" STYLE HOUSINGS.

- CONSTRUCTION KEY NOTES
- INSTALL 34W LED TYPE 2 WALL PACK LIGHT MOUNTED 15' HIGH. (7000 LUMENS, 30 LEDS). LUMINAIRE: GALLEON WALL LUMINAIRE GWC-SA1A-730-U-SL2 OR CITY APPROVED EQUIVALENT.
  - INSTALL 34W LED TYPE 3 WALL PACK LIGHT MOUNTED 25' HIGH. (7000 LUMENS, 30 LEDS). LUMINAIRE: GALLEON WALL LUMINAIRE GWC-SA1A-730-U-SL3 OR CITY APPROVED EQUIVALENT.
  - INSTALL 96W LED TYPE T4FT DOUBLE SHOEBOX ON A 25' MH STEEL POLE AT 180 DEGREES IN DOUBLE ARM ARRANGMENT, 6' ARMS. LUMINAIRE: GALLEON AREA AND ROADWAY LUMINAIRE GLEON-SA3A-730-U-T4FT OR CITY APPROVED EQUIVALENT. POLE: VALMONT 2MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.

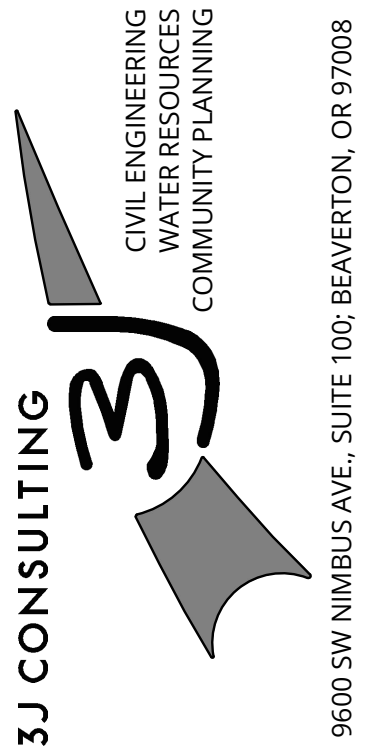
LIGHTING ZONE CALCULATIONS

APARTMENTS PARKING LOT (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	N/A	1.14



PUBLISH DATE  
MAY 24, 2023  
ISSUED FOR  
LAND USE SET  
REVISIONS

LIGHTING PLAN  
SPRING MEADOW AT  
CRESTVIEW  
JTSC, LLC  
NEWBERG, OR

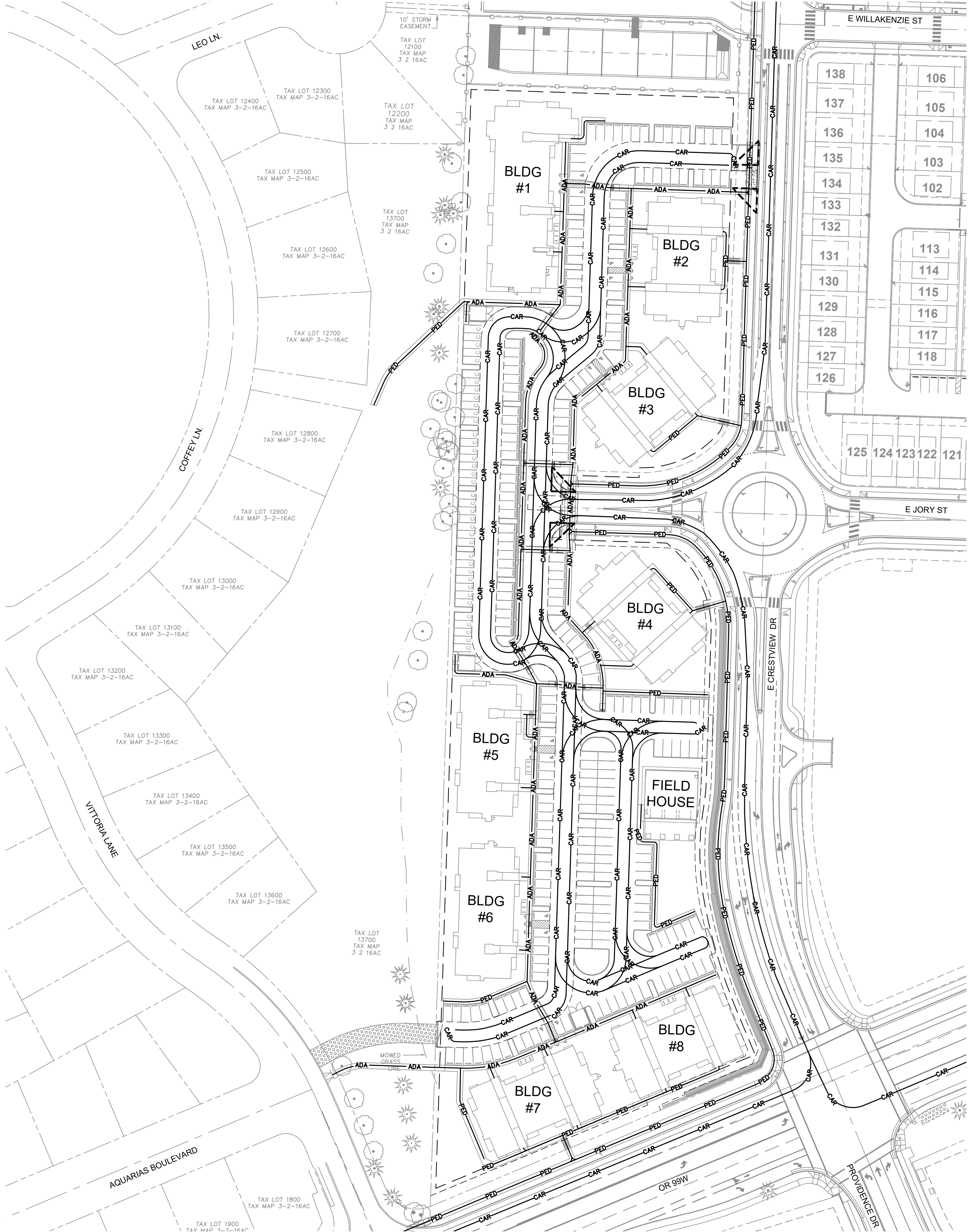


PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER  
C260

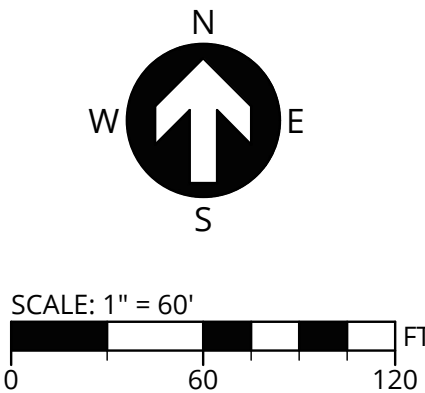


P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-CIRCULATION PLAN.DWG



LEGEND

- PED PEDESTRIAN PATHWAY
- ADA ADA PATHWAY
- CAR VEHICLE PATHWAY
- VISION CLEARANCE TRIANGLE



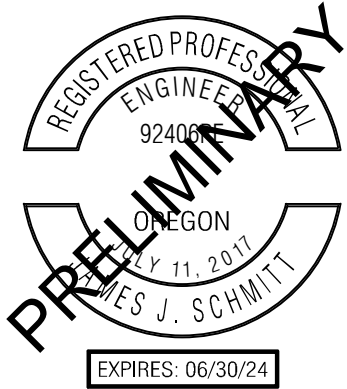
SITE CIRCULATION PLAN  
**SPRING MEADOW AT  
CRESTVIEW**  
JTSC, LLC  
NEWBERG, OR

PROJECT INFORMATION  
3J PROJECT # | 22829  
TAX LOT(S) | R3216AC LOT 13800  
LAND USE # | TBD  
DESIGNED BY | JJS, SRC, JGW  
CHECKED BY | AJM

SHEET NUMBER

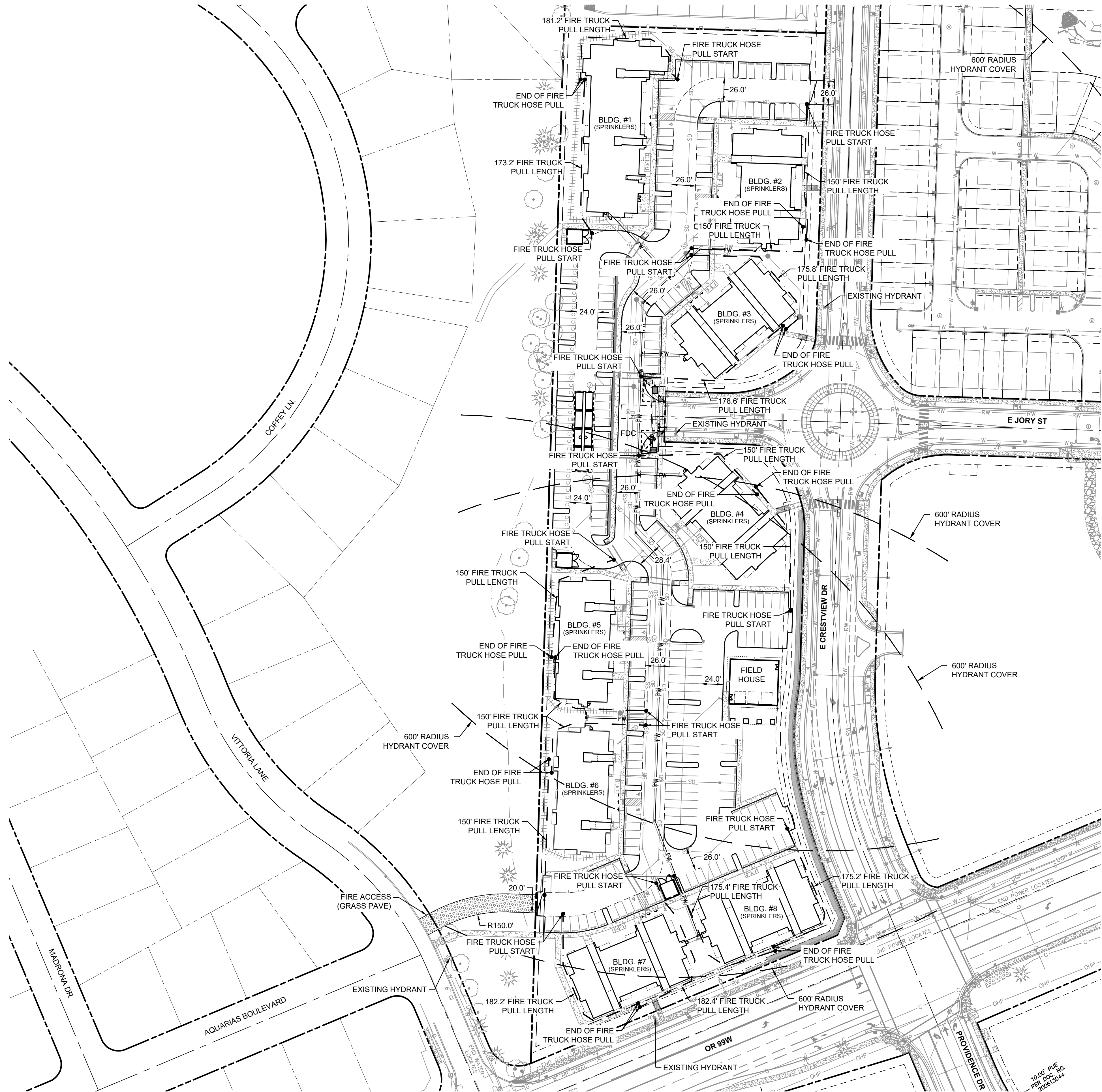
**C280**

PUBLISH DATE  
**MAY 24, 2023**  
ISSUED FOR  
**LAND USE SET**  
REVISIONS





P:\22829-JTS-CRESTVIEW CROSSING 196-APARTMENTS\CAD\SHEETS\REVISED DD SHEETS\22829-FIRE PLAN.DWG



**LEGEND**

- PROJECT BOUNDARY
- RIGHT-OF-WAY LINE
- RIGHT-OF-WAY CENTERLINE
- EASEMENT LINE
- EXISTING LOT LINE
- PROPOSED CURB FACE
- FIRE TRUCK HOSE PULL
- FIRE HOSE PULL START/STOP
- PROPOSED FIRE ONLY ACCESS DRIVEWAY
- PROPOSED GATE
- 600' RADIUS HYDRANT COVER

SCALE: 1" = 60'

0 60 120 FT

N  
W ↑ E  
S

**811**

Know what's below.  
Call before you dig.

REGISTERED PROFESSIONAL ENGINEER  
OREGON  
JES. J. SCHMITT  
EXPIRES: 06/30/24

**PRELIMINARY**

PUBLISH DATE  
**MAY 24, 2023**

ISSUED FOR  
**LAND USE SET**

REVISIONS

**FIRE PLAN**

**SPRING MEADOW AT CRESTVIEW**

JTSC, LLC  
NEWBERG, OR

3J CONSULTING

CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION

3J PROJECT # | 22829

TAX LOT(S) | R3216AC LOT 13800

LAND USE # | TBD

DESIGNED BY | JJS, SRC, JGW

CHECKED BY | AJM

SHEET NUMBER

**FS-1**