

**Exhibit N:**  
**Draft Collina at Springbrook Design Guidelines**

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**C O L L I N A**  
**AT SPRINGBROOK**

ARCHITECTURAL CONCEPTS  
AND  
DESIGN GUIDELINES

# INTRODUCTION TO COLLINA AT SPRINGBROOK

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## THE ARCHITECTURE & VARIETY OF HOME STYLES

Just minutes from a variety of Newberg’s most popular activities and active outdoor spaces, Collina is a community that offers multiple housing types for all walks of life, ranging from detached alley-loaded homes, cottages homes and traditional front-loaded homes. The size and style of homes also cover a large spectrum of options. The architectural vision of Collina is to create a community that has a variety of architectural styles, shapes, sizes, site lines, outdoor spaces and ultimately street scenes that create a lot of interest to the passerby. Collina is not just be another subdivision; it is a complete community with a unique blend of architectural styles.



## THE TRAILS & OPEN SPACES

Collina has large multi-use trails surrounding and spread throughout the community connecting homeowners to abutting neighborhoods, open space and major road networks.



The trails are strategically designed so whether kids are riding their bikes to school, parents are out on a walk with a pet or young child, or someone out on a jog, they all can safely use the path together.



## THE PURPOSE OF ARCHITECTURE DESIGN GUIDELINES

These Design Guidelines are intended to assist future home builder/owner(s), their designer, architect, builder, contractor(s) and/or landscape professional to understand the Design Guidelines regarding the allowable uses and site restrictions in the community of Collina. These Design Guidelines are intended to ensure that Collina is developed and maintained to the highest practical aesthetic standards and carry out the vision of the community described above. The Architectural Review Committee (ARC) has been established pursuant to the CC&Rs for Collina in order to implement and administer the Design Guidelines. The ARC exists for the purpose of maintaining the level of design quality for the community and overseeing appropriate building and property use throughout the community. The ARC will review submittals and make rulings based on carrying out the vision of the overall community. These guidelines and rulings supersede the City of Newberg design code and any other related codes or design guidelines. In addition to establishing an overall vision for Collina, these Design Guidelines are also intended to protect the value of all homes and lots within Collina.

Included in this document are the Construction Approval Process, Submittal Requirements and the Design Guidelines. **Please note, no improvement shall be commenced, erected, placed or altered on any lot until the construction plans and specifications showing the nature, shape, heights, materials, colors and proposed location of the improvement have been submitted to and approved in writing by the ARC.**

It is the intent and purpose of these guidelines to ensure quality of workmanship, materials and design harmony with the topography and finished grade elevations, as well as compliance with the setback requirements established for Collina to complete the overall architectural vision of NE Newbergs newest complete community.

The ARC is not responsible for determining compliance with any applicable structural and building codes, solar ordinances, zoning codes or any other governmental regulations, all of which are the responsibility of the applicant. The procedure and specific requirements for review and approval of construction may be set forth in updated Design Guidelines adopted from time to time by the ARC.

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# **THE ARCHITECTURAL REVIEW COMMITTEE, PROCESS & REQUIREMENTS**

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The application of these Design Guidelines shall be subject to the approval of the Collina Architectural Review Committee (ARC) which shall also approve the installation of all buildings, fences, landscaping (including water features), exposed solar heating, air conditioning, lighting, mechanical equipment, antennas, satellite dishes, utility meters, and all other exposed site and building components. The ARC reserves the right to amend or alter the Design Guidelines as needed.

## **ARC APPLICATION AND SUBMITTAL REQUIREMENTS**

The Construction Submittal Form and Application are available online at [www.CrystalLakecm.com](http://www.CrystalLakecm.com) at the Collina website. The login is “HOA” and password is “Neighbor” with a capital N.

## **RESPONSIBILITIES**

It is the responsibility of each Collina builder, landowner and/or his agent(s) to read and understand the Declaration of Covenants, Conditions and Restrictions (CC&Rs) for Collina; ARC Construction Submittal Form and Application City and other governing restrictions; and these Design Guidelines.

## **ARCHITECTURAL REVIEW COMMITTEE**

Pahlisch Homes at Collina Limited Partnership has established the Collina ARC to implement and administer these Design Guidelines. The ARC shall exercise the functions for which it is given responsibility by Collina, as provided in the Declaration of CC&Rs for Collina and for the modifications, circulation, and enforcement of its rules governing the use and maintenance of home sites and the improvements thereon.

## **COMMITTEE MEMBERSHIPS**

The ARC shall consist of members who shall be appointed by the Declarant, Pahlisch Homes at Collina Limited Partnership. Members of the ARC may be removed and replaced at any time by Pahlisch Homes at Collina Limited Partnership. Except as otherwise provided herein; any quorum of members of the ARC shall have the power to act on behalf of the ARC without the necessity of a meeting and without the necessity of consulting with the remaining members of the ARC.

## **ARC PURPOSE & DESIGN GUIDELINES**

The ARC exists for the purpose of maintaining high standards and carrying forward the vision in design and overseeing appropriate building and general property use in Collina. The ARC reviews submittals and makes rulings that may supersede other local jurisdictions. In addition to establishing an overall vision for Collina, the Design Guidelines are a framework for building design and are consistent with the master plan PUD-approved documents.

## ARC REVIEW SUBMITTAL PROCESS

1. The applicant must first thoroughly prepare for the review. This preparation shall include:
  - a. The Collina Design Guidelines are available online at [www.CrystalLakecm.com](http://www.CrystalLakecm.com) at the Collina website. The login is “HOA” and password is “Neighbor” with a capital N.
  - b. Download a current copy of the Collina ARC Construction Submittal Form and Application. The most recent copies will be available online at [www.CrystalLakecm.com](http://www.CrystalLakecm.com).
  - c. Read and understand the Collina CC&Rs, Design Guidelines, the ARC Construction Submittal Form and Application. If you have any questions on downloading the information you can email [Community@CrystalLakeCM.com](mailto:Community@CrystalLakeCM.com) or call (541) 617- 7006.
2. \*The second step is formation of your **complete** application. This normally includes formation of your building concept in consideration of the Collina Design Guidelines, all codes and ordinances as adopted by the State of Oregon, Yamhill County, City of Newberg and all other pertinent codes, rules and/or regulations.
3. \*A Color/Material Sample Board is required to be submitted containing roof, siding, stone (if any) and paint and trim colors. These are best assembled at the time of the full construction submittal, but owners/builders are permitted to submit them at a later date for review and written approval. The Color/Material Sample Board will need to include the following:
  - Color submittal identifying materials and color
  - Exterior window, siding, roofing colors and materials
  - Exterior light fixture catalog cuts or drawings
  - Masonry and paver samples
4. \*The third step is the ARC review. *After a complete and accurate application including fees is received* the ARC will complete the review within a 30-day period and submit a report of their findings to the applicant. The ARC committee may require additional information to provide a decision on the ARC request. The ARC will then review the revised ARC request within 14 days of the additional information being submitted.

\* Note: Declarant may choose to skip steps 2-4

### PRE-APPLICATION REVIEW & ARC REVIEW MEETINGS

ARC meetings are closed—only ARC members and a representative(s) of Collina may be present at the ARC meeting when your project is reviewed. **However, pre-application reviews are encouraged.** Pre-applications can be sent at any time and are free of charge. The purpose of a pre-application review is to help the applicant determine if the general scope and/or vision of their project is heading down the correct path prior to completing a full application. Although the review is not a formal review, it can help the applicant save time and energy early on.

### **FOLLOWING ARC REVIEW**

Following the ARC meeting a response will be prepared, which lists any ARC suggestions, comments, requirements, concerns and/or conditions of approval.

The builder/owner(s) must respond to the ARC review comments in writing prior to any construction activity done on site. Additionally, if there are specific areas of concern or a requirement for more information, the builder/owner may be required to meet with a representative of the ARC to discuss these issues and/or deliver revised drawings or provide the supplemental information before the ARC will issue a final approval allowing construction to begin.

**Excavation and construction may begin only after: 1) All issues (if any) are resolved; 2) a final ARC approval has been granted and ARC fees and construction deposit have been received.**

If no construction, modification, changes, etc. has commenced within 12 months or approval date, the approval and application will automatically expire and the original construction deposit will be refunded.. Should an application expire a new application and construction deposit is required to be re-submitted. The new application will be reviewed, and it should not be assumed to be automatically approved, even if the same application was approved originally.

### **APPEALS**

Appeals to the ARC will only be considered by the ARC based on the merit of the request and must be received in writing within 14 days of ARC written decisions.

### **ENFORCEMENT**

Upon receipt of an application and submittal to build, the Collina Architectural Review Committee (ARC) and/or its representative(s) are authorized to make onsite inspections of the lot or home site and proposed construction at any time pursuant to the Collina CC&R's. Violations of these Design Guidelines, which are discovered during an inspection, will be forwarded to the lot or home site builder/owner. The ARC and /or its representative(s) shall provide written notice of non-compliance and if the lot or home site builder/owner fails to comply with the time period specified, the ARC and /or its authorized representatives may proceed with enforcement.

As provided by the Collina CC&Rs, any breach of the CC&Rs, including these Design Guidelines, shall subject the breaching party to any and all legal remedies, including damages or the destruction, removal or the enjoining of any offending improvement or condition.

### **CONSTRUCTION DEPOSITS & APPLICATION FEE**

The Applicant will be required to submit a construction deposit prior to beginning work at the project site. The construction deposit shall be in addition to the application fee required by the Design Guidelines. The construction deposit, in whole or in part, at the discretion of the ARC shall be forfeited if a finding is made by the ARC that the Applicant, builder, contractor, design professional, etc., has violated any provision of the Design Guidelines or the CC&Rs and refuses to remedy the situation within 30 days of notification. The construction deposit shall be released to the builder,



contractor or design professional within 14 days of written notice by the ARC of the satisfactory completion of the last home applied for. Application Fees are to cover costs associated with administration and design review fees and are non-refundable.

#### **NON-CONFORMING USES**

If a builder/owner has any improvement, condition or use not in compliance with the Design Guidelines as adopted and amended, even though said improvements existed prior to the adoption or amendment of these rules, the builder/owner will be granted a reasonable time as determined by ARC from the date of notification by the ARC to modify or remove the non-conforming improvement, condition, or use. If not remedied prior to a certain date given by the ARC, the construction deposit will be forever forfeited to the HOA.

#### **NON-WAIVER**

Consent by the ARC to any situation to it or within its jurisdiction, or failure by the ARC to enforce any violation of the Design Guidelines does not constitute a precedent or eliminate the ARC's right to deny a similar application submitted to it, for consent or to enforce any subsequent or similar violation of these Design Guidelines.

#### **SEVERABILITY**

If any part of these Design Guidelines is for any reason held by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remaining portions of these Design Guidelines.

## **REQUIREMENTS FOR EACH SUBMITTAL**

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#### **COMPLETENESS & ACCURACY**

**A complete and accurate submittal is required before the ARC can officially start review of the application.** Please refer to the Collina Owners Association Architectural Review New Construction Request Form for more details and the complete application checklist requirements. Information missing from a submittal and/or inaccurate drawings may delay the review and approval process, as the ARC will not review an incomplete submittal and the 30-day review period will not start until the application is deemed complete.

#### **BUILDING REQUIREMENTS**

The City requires that a building permit be obtained prior to beginning construction of any improvement or making additions or changes to an existing structure. It's the applicants responsibility to verify all applicable City regulations with the planning & building departments.

# ARCHITECTURAL GUIDELINES

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**NOTE: These Guidelines Apply to all areas, including commercial and mixed use, unless otherwise noted.**

## **General Building Requirements**

Structures must be of such design and be constructed of such materials as to be unobtrusive and compatible with the scenic qualities of the area.

All structures shall be designed and constructed so that little to no disrupted soil is left exposed when construction is complete.

Clear Vision rules apply per City of Newberg standards, unless otherwise superseded by the Collina ARC

Unless otherwise approved by the ARC, all street facing structures will be required to have additional architectural articulated design elements, including but not limited to offsets in walls, changes in siding and masonry material, and possibly additional glazing requirements.

## **Ancillary Buildings (i.e. Garages, Sheds, and Non-Habitable Structures, etc.)**

All ancillary buildings shall be reviewed prior to be constructed. If allowed, these structures shall be designed to be cohesive with all other structures on the site, including but not limited to, plate heights, roof pitches, siding, trim, fascia, eaves, foundation, windows etc. **No pre-manufactured storage sheds are allowed!** Lean-to type structures must be constructed on site and attached/tie into existing structure. All structures must appear as if it was constructed with the existing home.

## **Accessory Dwelling Units (ADU's):**

ADU's may be allowed with ARC review and written approval and shall conform to the following.

- Preliminary review of the ADU's location on the site as well as its exterior elevations and ADU parking are required.
- ADU submittals may not be approved if the ARC determines the building does not conform to the architecture of the primary building, it is too massive or for other reasons determined by the ARC to be nonconforming to the site, neighborhood, or other relevant circumstances.
- The ADU shall have at least one off-street hard surface parking space (minimum size: 8' wide x 20' long) in addition to the existing spaces for the main residence.
- The ADU's height shall be compatible within the neighborhood and shall comply with all height restrictions and setbacks noted herein.
- A maximum of one ADU is allowed per lot or homesite.
- No for rent signs are allowed.

## **Adjacent Properties**

Adjacent property, if not owned by the same builder/owner, may not be used by any other owner, contractor, subcontractor, etc. for access to or as a parking or staging area for any construction site

without builder/owner’s written approval. In the event of damage to adjacent property, the offending property owner(s) and/or their agent(s), contractors, etc. will be held responsible for restoration of the adjoining affected property and/or may result in a partial forfeiture of the ARC deposit. It is imperative to keep adjoining properties free of construction litter. If adjacent properties are owned by the same owner/builder, they must provide a landscape buffer to minimize auto, bike and pedestrian conflicts. **At a minimum, weekly clean-up is required on all properties.**

**Animal Runs & Restraint Areas**

All animal runs and restraint areas must be reviewed and approved by the ARC before they are built. These areas shall be situated on a lot or home site to be concealed or screened from view from roadways, open spaces and neighboring properties. If a run or animal restraint area cannot be located in a place that can not be seen from the afore mentioned areas, additional landscape screening will be required.

**Awnings (Does Not Apply to Commercial Zone)**

Awnings may only be allowed on builders’ temporary model homes and must be approved prior to installation. Awnings must be removed from model home when no longer being used as a model home. Manual and power operated retractable awnings that open and close are not permitted. However, retractable sunshades that are flush with the home and run down the length of a window may be allowed by the ARC.

**Buildable Area/ Lot Coverage**

Residential Zone	Lot Coverage
Low-Density Residential	Minimum Lot Area: 5,000 sqft Minimum Lot width: 40ft Maximum Lot Coverage: 35% Maximum Parking Lot Coverage: 30%
Townhomes (Revisions to Code Coming Soon)	Minimum Lot Area: 5,000 sqft Minimum Lot width: 40ft Maximum Lot Coverage: 60% Maximum Parking Lot Coverage: 30%

Note: with the lot coverage and setbacks in place, floor area ratio do not apply in any areas of Collina.

**Building Setbacks:**

	Front	Rear	Side	Street Side Yard
Low-Density Residential	Min: 15 feet	Min: 5feet	Min: 5 feet	Min: 15feet
Cottage Cluster (Revisions to Code Coming Soon)	Min: 10 feet	Min: 0 feet	Min: 0feet	Min: 25ft

\*Townhomes have no Rear and Side yard setbacks

## Building Heights

	Maximum Height
All Housing Types	30 feet
Townhouses	35feet
Cottage Clusters	25feet

### Colors and Stains

All exterior colors, including stains are subject to review and approval by the ARC for both original painting and subsequent repainting. Colors appropriate to the character and style of the building and the overall theme of the community are required. Care should be taken to avoid duplicating colors of nearby structures, especially between houses on abutting lots or home sites between homes on a block frontage. Color packages may be repeated if they are at least four (4) lots or more away from another or across the street, see **Exhibit A**. Natural wood siding, decks, railings, fences and natural shakes must be stained or treated.

### Concrete Construction & Wash Out Areas

It is the responsibility of each lot or home site builder/owner to ensure that concrete suppliers' washout on their lot or home site(s) only. If a common lot is used by builder, it must be ODEQ compliant and contained with the owned property. All concrete washout areas must be restored to their original state when no longer in use.

### Decks, Porches & Stairs

Decks (and deck railings if applicable) are permitted and must be approved by the ARC prior to installation. The front porch areas of lots and/or unique home sites are a critical aspect of the house design as well as an integral part of the view from neighboring properties. On sloping sites or where any porch area is elevated and suspended above grade, the area under the deck must be treated with the same material as the home and be applied in the same direction, unless otherwise approved by the ARC. Stone masonry and matching siding are allowed materials for skirting of porches and decks. Lattice skirting is not approved. In addition, elevated decks with occupied areas below shall have supports scaled to match the design of the home, but in no case have supports less than 8" x 8" finished dimensions. Built-up wing walls or built-up columns (clad with siding material), both in conjunction with landscape screening are encouraged and, in some cases, will be required. All visible soffits must also be finished with approved details by the ARC.

### Drainage

Provisions for the disbursement of roof, gutter, lot or home site, landscape, walkway and driveway drainage are the property builder/owner's responsibility and must be consistent with the previously approved drainage plan. Builders/owners are responsible for independent professional review of their drainage risk factors and specific on-site solutions. Changes to natural drainage patterns due to any site changes or improvements shall not increase or concentrate runoff onto adjacent home sites, open spaces or amenities. Natural drainage patterns are defined as the condition of the lot or home

site as it existed at the time it was initially purchased from the Declarant. During periods of high precipitation and/or high snowmelt or other conditions or combinations of conditions, there may be significant amounts of surface runoff in the natural drainage patterns. All improvements shall be designed and constructed to avoid potential damage from all surface runoff.

### **Driveways, Walkways, Hardscapes and Public Improvements**

Builders and owners are responsible for the maintenance and reconstruction of all driveway cuts, concrete breakage of curbs, sidewalks, ADA ramps, public improvements and sidewalk aprons abutting their lots or home sites prior to the release of the refundable construction deposit.

Aggregate, color and location must be approved by the ARC prior to installation.

Residential driveways in the front of the home should be consistent with the other homes in the neighborhood. A variety of other hardscapes may be permissible in different zoning areas and must be reviewed and approved by the ARC. All driveways for single family homes must have no apron wider than 24' and must taper from the approach to the structure when the garage is wider than 24'.

### **Duplication (Single Family Detached Homes only)**

Diversity of street view architecture, determined solely by the ARC, is the intent of this standard. Physical separation of duplicate designs is essential and duplication of architecture of multiple adjacent homes is strongly discouraged. Duplication of floor plans and use of the same front façade design in any phase may only be allowed if approved by the ARC. In cases where similarity in building design or appearance is deemed inappropriate by the ARC, modifications to the home may be required to eliminate similarities.

### **Excavation, Grading & Retaining Walls**

All excavation spoils must be removed from the site if the spoils create an adverse effect on adjacent lots owned by others and/or geotechnical conditions require doing so. All areas disturbed during construction must be restored to their original appearance and/or in accordance with an approved landscape plan. Natural area restoration includes replanting native grasses and other native plant materials, and redistributing mulch covering raw earth. An irrigation system may be required to restore areas to a sustainable state. Landscaping shall be designed to minimize the visual impact of excessively sloped areas caused by fill for parking lots and around the foundations of buildings.

To the maximum extent feasible, all grading on the building site shall conform to existing topography or provide a grading and retaining plan that must be approved by the ARC prior to construction. For purposes of drainage, grading must slope away from structures.

All retaining wall materials must be approved by the ARC prior to installation and applicant must provide product type, placement and color with the application. Builders may apply for general approval to be used, as needed, on multiple sites owned by the Builder. All retaining walls over the (code) required height shall be designed by a licensed engineer and approved by the City.

When foundations step due to grading, it is required to provide adequate retaining and steps in the foundation to eliminate the need to step siding applications in mid run of a building frontage.

### **Facades & Design Treatment**

In the design of structures that propose the use of a variety of exterior materials, consideration shall be given to appropriate balance, both in terms of the amount of each material, as well as the specific areas of their use. Structures will be required to have a variety of visible architectural elements to enhance design (see additional Building Requirements section for more details).

Several things must be considered during the design process to effectively address specific site conditions. Careful selection of roof pitches and roof massing can lessen the perception of height and overall building massing. Stepping the building profile also reduces the building mass and will be encouraged through the design review process. Reducing story heights at the end of the building adjacent to neighboring properties can substantially soften end conditions. Prudent use of materials may be effective tools to reduce the height and mass (i.e., masonry wainscoting, base trim boards, frieze boards, windows, and belt courses are a few design alternatives for effectively eliminating long, tall, or otherwise uninterrupted walls).

Building designs must be compatible with the context of the surrounding built environment. Building site builder/owner and/or their agents are strongly encouraged to review ARC files of structures on adjoining sites to aid in window placements and other conditions on side elevations.

The ARC encourages and may require projecting bays, and all other architectural features to be coordinated on complimenting sides of the building. Integrating architectural elements around the building will enhance it as a whole and should augment the architectural character of the building.

Exterior material treatment used on the building walls shall be continuous and consistent on elevations in order to achieve a uniform and complete design and avoid a “veneer” look. Exterior siding material must be carried down to as close to grade as the manufacturer will allow. Only eight inches of exposed foundation is permitted. The ARC will take additional care to review the siding details, including but not limited to, materials, application, scale, massing, proportionality to posts, corbels, cornices etc. All must be approved by the ARC prior to installation.

In most cases, unless the ARC approves otherwise, masonry is to be used in conjunction with other approved siding materials to enhance the architectural style, scale, and appeal of all sides of a building and is required unless the ARC approves otherwise. When masonry is used on the front of a building and it extends to any corner of the structure, it must extend at least 18” around the adjoining side elevation. All masonry must extend to as close to finish grade as manufacturer allows. All exterior rock ornamentation and masonry on the home shall be submitted to the ARC prior to installation and shall be reviewed for product type, placement and color.

### **Prohibited Materials and Conditions:**

- Exposed plain concrete (10” maximum exposure at foundation)
- Plain concrete blocks

- Corrugated metal
- Unarticulated panel siding (e.g., T-1-11, plain plywood, sheet press board)
- Horizontal seams on sheet (plywood or pressboard type) products

### **Exterior Lighting**

Private lighting shall be designed to prevent unnecessary light spillage onto adjoining lots and open spaces. No high output exterior lighting, including, but not limited to mercury vapor and halide lights, may be installed without the specific approval of the ARC. Dark Sky lighting is strongly encouraged and may be required in some situations. No exterior lighting may be installed or maintained on any lot, except as originally installed by the builder of the home and security and fire alarms without the prior consent and approval of the ARC.

Information regarding the design, number and location of all exterior lighting fixtures is required for ARC review and written approval, including (but not limited to) exterior wall, pendant, architectural accent, driveway, walkway and landscape lighting. Lighting submittals require an actual sample or legible drawings and/or catalog cuts for the review process.

The size and design of light standards and fixtures shall be considered by the ARC in its review of plans. In cases where the grade differential is such that portions of the building are elevated above the adjacent property or right of- way, exterior light fixture(s) may require additional shielding to prevent glare or light spill off property.

Seasonal holiday lighting and decorations are permissible if consistent with any applicable rules and regulations and if removed within thirty (30) days after the celebrated holiday.

Driveway, walkway and landscape lighting must be included with the landscape plan, if applicable. All exterior light fixtures installed without ARC review and written approval must be removed or may be removed by the HOA.

### **Fencing**

Fencing guidelines and fence approved colors and/or stains will be provided by ARC on an overall community basis and shall be strictly enforced as approved by ARC. All new construction fencing as well as that added after occupancy must be approved by the ARC prior to installation.

All fences require specific review and written approval from the ARC before they may be installed. A fence is defined as a structural or ornamental barrier separating one exterior space from another. The intent is to create good neighbor fences, enhance "streetscape" appeal and atmosphere.

Where two fences of differing heights meet, the fence that is taller in height must be stepped down to meet the fence that is shorter. For example, when transitioning from a 6' fence to a 4' fence, the section immediately adjacent to the 6' fence will be the same height (6'), the next section will be (5'), and the last adjoining section will be (4'). **Diagram X** Alley fencing, if approved, must transition from 6'-5'- 4' height and must set back 6' from the alley.

The heights or elevations of any fence shall be measured from the existing natural grade of the property at or along the applicable points or lines. “Natural grade” is defined as the site topography which exists at the time a lot or homesite is sold to the first owner by the project developer or builder; fill material subsequently brought to a site does not modify this original grade. The ARC will evaluate each condition on an individual basis.

### **Fire Pits & Open Fires**

Gas fire pits may be approved and must be a safe distance from other combustible material. They also must always have adult supervision while in use. Open wood burning fires and pits is not allowed.

### **Fireplaces & Chimneys**

Wood burning stoves, fireplaces, and/or gas fireplaces are allowed per ARC approval and shall conform to the City & Collina PUD approvals. Vertical chimneys with metal flues must have a decorative cap on the top to cover the metal flue. All decorative caps must be non-glare. Directing the vent of the fireplace out the side of the home may be permitted and must be reviewed and approved by the ARC.

### **Flagpoles/Banners**

Flagpoles, flags and banners require prior ARC review and approval before they may be installed. Size of flag, height and color of the pole, dimensions and placement of banners are also subject to ARC approval. (see Signage)

### **Garages**

Garage conversions to living space are prohibited. Builder/Owner is strongly encouraged to minimize the massing and visual impact of the garage. The space between the top of the garage door(s) and the roof and/or the second-floor plate line shall be kept to a minimum. Unless otherwise approved by the ARC, the garage door must be painted to match the main body color of the home.

### **Garbage, Trash Removal & Enclosures**

The builders/owners are responsible for the garbage and trash removal during and after construction. Construction sites must be kept clean from trash and construction debris. Construction sites that are not kept clean (at least weekly removal of trash and construction debris is required) may be subject to the ARC action of having the trash and construction debris picked up, disposed of and billed to the builder/lot owner. The cost of the removal and disposal of the trash and construction debris shall be the responsibility of the builder/ owner(s) and will include an additional \$250 administrative fee to coordinate.

Trash collection and recycling services are available through local providers. Trash cans and recycle bins, which are taken to the street on pick-up day must be returned to their screened areas or the garage within 24 hours. Trash cans and recycle bins must be stored in an area that is not visible from the street or adjoining lots or home sites. Burning or dumping of garbage, landscape debris or trash anywhere in Collina is prohibited. For commercial sites, trash and recycling enclosures must be reviewed and approved by the ARC.



When not provided by other structures, each building shall have a screened trash enclosure for garbage, recycling, and trash containers, landscape debris, outdoor maintenance equipment and so forth. Trash enclosures may be detached from the building and must be screened from view of other buildings or roadways. Trash enclosures must be constructed and designed to be compatible with the style of the adjacent building and/or neighboring properties. Chain link enclosures are prohibited but solid fencing may be used in some cases on privately owned residential homes.

### **Gazebos, Pergolas, Trellis**

Pre-manufactured gazebos, pergolas and Trellises may be allowed but must be reviewed and approved PRIOR to purchase. Units that are constructed on site and blend into the existing structures on site are strongly encouraged. In no case, should posts be less than 6"X6" and all no material may be left raw. All pressure treated posts must be wrapped.

### **Gutters and Downspouts**

Gutters may be required on some buildings. All gutters and downspouts shall be designed as a continuous architectural design feature. Exposed gutters and downspouts shall blend in with the surface to which they are attached.

### **Heating and Cooling Systems**

All exterior elements of heating and/or cooling systems must be screened behind a fence, adequate landscaping and/or other ARC approved mitigation effort.

### **Hot Tubs**

Hot tubs are allowed and must be screened from neighboring properties and open space. They must be working and in good condition or they may be required to be removed.

### **Landscaping, & Water Features**

As part of the vision for Collina, the ARC encourages a variety of plant sizes and colors, with a combination of deciduous and evergreen trees to be strategically located. For a cohesive appearance throughout the community, the street strip between the sidewalk and street, will be required to follow the street strip landscape plan as shown in **Exhibit D**. Landscaping of the front yard shall be in place prior to or at the time of construction completion, with the back yard, in RS & RM zones must be completed within six (6) months of occupancy per the Collina CC&Rs. The ARC may approve an extension for landscape completion due to inclement weather. Plans for water features and locations must be approved by the ARC prior to installation.

### **Mailboxes**

Individual mailboxes are prohibited. Group mailboxes are provided throughout Collina.

### **Masonry**

In most cases, unless the ARC approves otherwise, masonry is to be used in conjunction with other approved siding materials to enhance the architectural style, scale, and appeal of all sides of a building and is required unless the ARC approves otherwise. When masonry is used on the front of a

building and it extends to any corner of the structure, it must extend at least 18” around the adjoining side elevation. All masonry must extend to as close to finish grade as manufacturer allows. All exterior rock ornamentation and masonry on the home shall be submitted to the ARC prior to installation and shall be reviewed for product type, placement and color.

### **Metals and Plastics**

All exterior metals and plastics (vents, flashing, gutters, etc.) must be screened from view, painted or treated to blend in with the adjacent surrounding material. Metal roofing is allowed on a case by case basis.

### **Parking and Screening**

A minimum of two (2) off street parking (including garage) places shall be required for each single-family lot or homesite.

No parking whatsoever shall be allowed in access easements. It is each builder/owner’s responsibility to ensure that their guests, invitees, and lessees abide by this condition.

Except for commercial areas and except as may otherwise be provided in the rules and regulations of the Association, boats, trailers, motorcycles, campers or other recreational or commercial vehicles or equipment with a gross vehicle weight in excess of 9,000 lbs. are prohibited from overnight parking on public or private streets, or on any portion of the Property with the following exceptions. (1) Within the confines of an enclosed garage, or (2) Placed behind lot fencing with no portion of the vehicle projecting beyond the fencing. (Lots 11-41 will not be allowed parking of outside of the enclosed garage).

If there is no rear or side fencing and the vehicle could be seen from a roadway outside the Lot other than from the front yard, or by an adjoining lot owner, then the vehicle must also be screened from view with fencing or landscape screening, as approved by the ARC, from that direction as well. Vehicles with a height in excess of 10’ from ground to top shall not be parked within the Property except under exception 1 or 2 above. Vehicles may not be used for storage of materials for more than forty-eight (48) hours without approval from the ARC. All enclosures must be designed and constructed to be architecturally consistent with the home. The ARC must approve all such vehicle/trailer enclosures prior to construction.

### **Pets**

During construction all contractors, subcontractors and affiliated trades workers shall confine pets to their vehicles and clean up after the pet’s feces. All damage and liability will be the responsibility of the pet owner. No farms animals or breeding is allowed within Collina without approval.

### **Play Equipment, Swing Sets, Sport Courts, Trampolines, etc.**

Plans must be submitted for review by the ARC prior to installation. Height of the play structures cannot exceed 14’ or the height of the home. Installation may be allowed in the back yard of the lot but shall not be installed over easement areas. Due to its nature, impact and visibility, the ARC may require review and acceptance by the surrounding home builder/owner. Play equipment, structures

and outbuildings, etc., are required to be heavily screened with approved trees/vegetation, as approved by the ARC.

### **Pools**

Private pools may be allowed but must be professionally constructed on site. No pre-manufactured above ground pools are allowed.

### **Roofing**

Slate, concrete tiles, metal, and composition roofing should blend with the architectural theme and are considered as acceptable roofing applications but still require submittal of product cut sheet and approval of the ARC. Wood shakes/shingles are prohibited. Roofing applications will be reviewed on a case by case basis.

### **Satellite Dishes and Antennas**

No exterior satellite receivers or transmitters, television antennas, radio antennas, or other receiving device shall be placed on any lot, home or building without the prior consent of the ARC. Whenever possible, they shall be installed on the rear of the structure, as low as possible, and not on the roof so that it minimizes visibility from the street or front of the residence. No dish may exceed 18” in diameter. Should a location placement be needed, that is not pre-approved, ARC approval prior to installation is required.

### **Signs, Flags, Monumentation**

No signs, flags or monumentations shall be erected or maintained on any site except signs that are approved as to appearance and location by the ARC prior to installation, as stated below.

All signs that are considered ‘Short Term’ signage still need approval by the ARC and are to be used only during the construction or sale of a home, site or building and must be removed upon occupancy or when the sale is complete, (unless otherwise part of a Builder’s sales and marketing plan).

- No “For Rent” or “For Lease” signs are allowed in the RS and RM zones.
- Open house signs or sandwich boards are permitted (on the subject lot or homesite) during the course of an open house event but must be removed at the conclusion of the open house event and/or whenever the house is not “staffed”. The open house signs shall be limited in size to 24” x 24”.
- Directional signs or banners may not be used without prior ARC approval. Open house signs may be displayed during the actual hours of the open house only.
- Offsite signage within the development is not permitted without prior ARC approval.
- All signs must be removed upon occupancy or when the sale (closing) is complete.
- Architect/designer identification may be incorporated into a sign.

### **Skylights and Solar Devices**

All glass, plastic, transparent skylight or solar devices, including solar panels, sunroofs, sun tunnels, etc. shall be subject to ARC review and approval. Clear, bronze or gray glazing is required. Skylights

must be bronze anodized (white or other colored skylights are prohibited). Flat skylights are required.

Solar collectors are encouraged at Collina; however, the collectors must be flat to the roof unless otherwise approved by the ARC. In addition, the mechanical portion of the system must be contained within the structure and may only be positioned on the roof in commercial and apartment structures. Preliminary and final ARC approval is required for all solar collection systems.

### **Staging Area**

Each construction approval submittal must designate an adequate material staging area, subject to approval by the ARC. Each staging and construction area must be kept clear of trash and debris. Weekly cleanup is required at a minimum. Construction materials and equipment may not be stored or staged in any right-of-way or easement.

### **Utilities and Utility Meters**

All connections from trunk lines to individual structures must be underground; exposed plumbing, electrical, all other utilities and utility meters and services should be located on a wall perpendicular to the right-of-way.

- All areas of excavation for site utility work must be restored. (see Landscaping)
- All connections from trunk lines to individual structures must be underground
- Exposed wiring or cables entering a home are prohibited.
- All phone and TV cable junction boxes must also be strategically located to minimize the visual impact. Similar consideration should also be used for irrigation control wires. All exposed equipment shall be painted to match the adjacent exterior house color.

### **Windows**

An adequate number and sizing of windows will be required to compliment the architecture, mass and scaling of the home.

Aluminum windows, doorframes and skylights must be bronze anodized or black. Color of exterior window and doorframes must blend in with exterior color of home. (bronze, black, clay or almond). White vinyl windows may only be approved with painted white trim exteriors. All windows must be reviewed and approved by the ARC.

**Community Owners Association  
ARC Request Checklist and Design Standards**

**(If you need a Site Plan to mark-up, one may be provided by your Community Manager upon request)  
("Cut Sheet":**

**□ Awning (only retractable models permitted)**

Site Plan: location and dimensions (L x W-open x H-from grade) of the proposed awning in relation to the home Product cutsheet including mounting method and colors Include context photo(s) of location of installation Shall be retracted when not in use Shall be tucked under eaves where applicable Shall be installed by licensed contractor  
Fabric Color: neutral/solid (no stripes) to match roof, body, or trim  
Fabric Valance: if not concealed- shall be straight  
Frame Color: match surface color to which it is attached  
Frame: semi cassette or ARC approved alternative due to install constraints



YES: SEMI CASSETTE, FABRIC ENCLOSED



NO: OPEN AWNING  
NONSTRAIGHT  
VALANCE  
BRIGHT COLORS

**Deck**

- o Site Plan: location and dimensions (LxWxH) of the proposed deck in relation to the home, setbacks, property lines, and existing fences Construction plan describing
- o how the deck will be installed, materiality, and color Include photo(s) of the areas
- o that will be modified - wide shots are helpful visuals

***specific product being purchased with model number and specifications, typically found on web***

**□ Exterior Paint Color (Color No. and Name)**

- o Brand: \_\_\_\_\_ o Trim Color: \_\_\_\_\_
- o Body Color: \_\_\_\_\_ o Accent Color: \_\_\_\_\_
- o Include photo of existing property for reference (show location of body, trim and accent) - You may be asked to submit paint chips, or paint sample sections on the home

**Fencing & Gates- (See Fence Standards)**

- o Site Plan: heights and location of proposed fence & gate(s) in relation to the home setbacks, property lines, and existing fences
- o Fence Style: \_\_\_\_\_
- o Fence Stain: \_\_\_\_\_
- Stain shall be community standard- see **ARC Request Form**
- Gates shall match fence height and match trim conditions
- Metal posts shall be obscured and sheathed
- Shall step where required and to meet existing fence heights
- If fence is changing in height, fencing is required to follow the step diagram (see **Diagram X**)

## Community Owners Association ARC Request Checklist and Design Standards

### □ Gazebo/Pergola/Arbor/Trellis

- o Site Plan: location and dimensions of proposed structure in relation to the home, setbacks, property lines, and existing fences
- o Construction Plans/Shop Drawings: layout (LxWxH), all lumber dimensions, joinery, materiality, and color (recommend this be completed by licensed contractor or design professional) o Include photo example if applicable
- Wood is preferred, vinyl is discouraged. White vinyl is prohibited.
- Shall be painted or stained to match home or fence

### □ Hot Tub

- o Site or Landscape Plan: location and dimensions (LxWxH) of proposed hot tub on hardscape surface in relation to the home, setbacks, property lines, and existing fences (screening)
- o Provide exact product cut sheet- include color of product and cover
- o Provide context photo (existing fence/landscape screening in relation to location if applicable)
- Hot tubs must have a locking cover when not in use
- Hot tubs must be located on a concrete pad, deck, or patio designed to accommodate weight of filled tub
- Additional screening may be required (natural or constructed). Propose new or indicate existing vegetative screening on Landscape Plan if applicable.

### Landscaping - (See *Landscape Material Standards*)

- o Landscape Plan: identify all proposed modifications - clearly differentiate between existing and proposed elements
- o Plan shall include plant locations, species, sizes, and quantities o Include photo(s) of the areas that will be modified - wide shots are helpful visuals - Bark mulch shall be community standard- see **ARC Request Form**

### Lighting, Exterior

- o Photo of proposed location o Provide product cut sheet or photo
- String lights shall be limited to rear yards and out of public view
- String lights shall be strung under eaves or below fence line
- Light bulbs shall be limited to 60 watts, shielded to 30 degree angle, floodlights are prohibited



### □ Lighting, Landscape

- o Landscape or Site Plan: locations and type(s) o Provide product cut sheet(s)
- No solar lights permitted - lighting must be hardwired
- Downlights preferred, limited uplights considered - must be directed at trunk or into canopy

**Community Owners Association  
ARC Request Checklist and Design Standards**

□ **Path or Driveway Extension- (See Landscape Material Standards)**

o Site Plan: location to scale or dimensioned, identify material

- Generally, ~3' wide, permeable preferred
- If driveway extension, may not connect to sidewalk or street, shall provide ~3' plant bed between extension and sidewalk or street



□ **Play Equipment/Swing Sets**

o Site Plan: location and dimensions of proposed structure and fall zone/play surface in relation to the home, setbacks, property lines, and existing fences

o Photo example or cut sheet of exact requested structure including materials and colors

- Additional screening may be required (natural or constructed). Propose new or indicate existing vegetative screening on Landscape Plan if applicable.


□ **Roofing**

- o Brand: \_\_\_\_\_ o Include photo of existing property
- o Material: \_\_\_\_\_ for reference
- o Color: \_\_\_\_\_

□ **Satellite Dish - (See Pre-Approved Locations)**

- Submittal, review, and approval only required if dish installation does not fit within preapproved locations

**Security**

- o  Product cut sheet
- o Color: \_\_\_\_\_
- o Context photo for install location

**NO: FLOODLIGHTS**



**NO: VISIBLE SOLAR PANEL**

- Shall be installed in inconspicuous location/ tucked under eave if occurs, generally out of site
- Color to blend with material to which it's attached
- Floodlight attachment not permitted
- Shall be hardwired or battery operated- no visible solar panel adaptor

**Camera**

□ **Shed Prefabricated Structure/Temporary Storage**

***If the shed/temporary structure is NOT free from public view (can be seen from public view***

## Community Owners Association ARC Request Checklist and Design Standards

from sidewalks, streets, trails, open space, over or through fences), **they are NOT permitted**. Shed/temporary structure shall always remain free from public view

### □ **Shed - Custom Permanent Structure**

o Site Plan: location of proposed shed in relation to the home, setbacks, property lines, fences o Custom Shed Construction Plans: dimensioned layout & elevation plans with materiality, lumber dimensions, trim detailing, and colors (**see *Shed Drawings*** for submittal template)

- Sheds must match the home in style, materiality, exterior paint color(s) or stain, trim detailing, and roof pitch.
- Sheds must be built on a 4" min. concrete pad

### **Solar Panels**

o Roof Plan o Product cut sheets

- Shall be low-profile, mounted parallel to roof on rear and side facing roofs when possible
- Shall be installed by a Certified Solar Professional
- Composed of non-glare/non-reflective material
- Black-on-black models preferred, alternative products considered if product proves to provide a substantial energy benefit over standard aesthetic.

### **Storm Door**

o Product cut sheet

o Color: \_\_\_\_\_

o Photo of front entry

- Screen doors are generally not permitted (2 panel active permitted w/ **retractable** screen)
- Door shall be painted/match trim or front door color
- Barred "Security Doors" are not permitted



YES: RETRACTABLE  
SCREEN





YES: FULL VIEW



YES: FULL VIEW



YES: MID VIEW

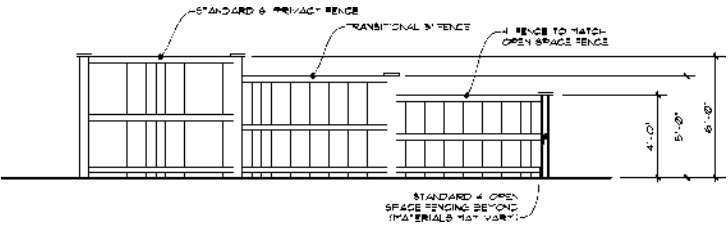


YES: HIGH VIEW

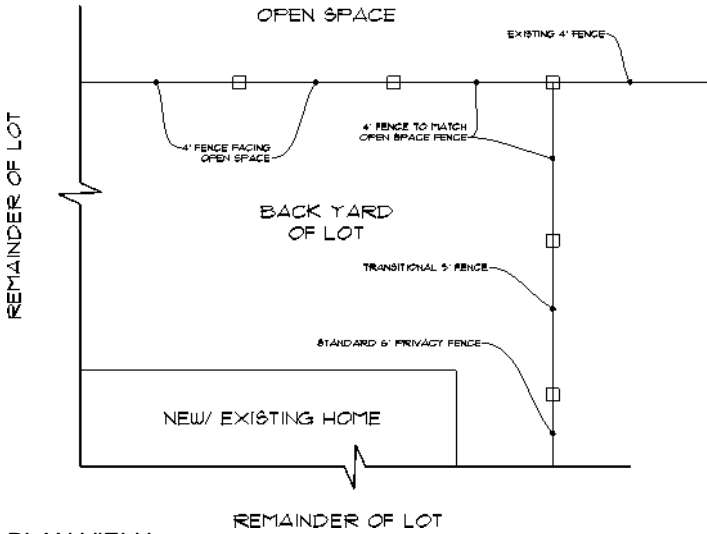


NO: PERMANENT

# DIAGRAM: X

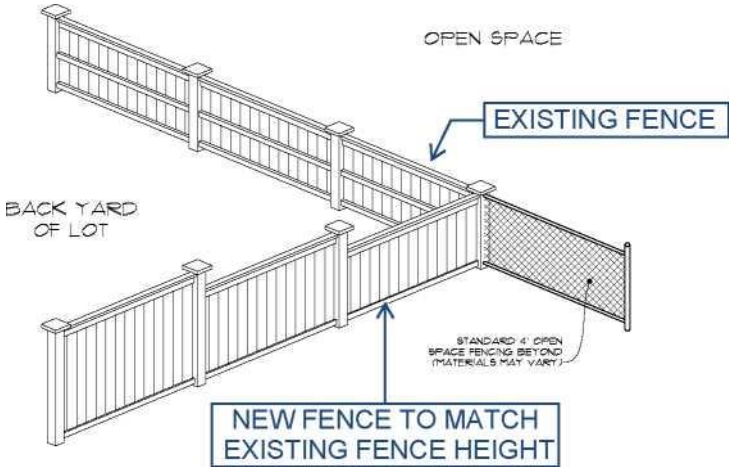


ELEVATION VIEW



PLAN VIEW

All fencing heights must match when abutting existing fencing and transition to meet fence heights



3P VIEW

COMMUNITY FENCING GUIDELINES:  
 PRIVACY FENCES CONNECTING TO  
 OPEN SPACE FENCING

# LANDSCAPE MATERIAL STANDARDS

## MULCH

- Bark- *Community Standard (see ARC Request Form)*
- Applied 2"-4" depth in *all* newly planted landscape beds
- Alternative material *may* be consider red on a case by case basis with sufficient rational and photo sample next to existing standard provided



## GRAVEL

**Pea Gravel** (gray) between pavers as pathway, *with edge restraint*, is permitted  
**Decomposed Granite** as pathway, *with edge restraint*, is permitted **Angular Construction Aggregates** (ex. 1/4 minus gravel) are NOT permitted in areas seen from public view (front yard/front of fence, or rear/side yards with open fencing to trails and open spaces)



YES: PEA GRAVEL PATH



YES: DECOMPOSED GRANITE  
NO: ANGULAR GRAVEL IN PUBLIC VIEW

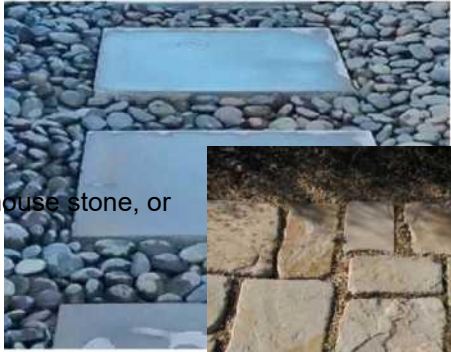


## RIVER ROCK

- **Front yard/front of fence- only when functions as drainage feature/path** (not permitted as ornamental mulch):
  - base of daylight downspouts and beneath non-guttered roof eaves
  - "dry stream bed" (with range of sizes with cobbles and native boulders integrated)
  - in pavers/as pathway (with edge restraint)
- Native, grays and muted colors, range of sizes as needed
- NO colored stones (white, black, rainbow)  
EXCEPT when used at base of sculptural water feature/integral to sculptural element



2"-6" OVERSIZE RIVER ROCK



USED FOR DRAINAGE



**PAVERS**

- Colors: earth tones, match house stone, or compliment exterior paint



SEMI-PERMEABLE PAVER PATHWAY

***PATHWAYS ARE ENCOURAGED TO BE PERMEABLE***

***(VERSUS IMPERVIOUS CONCRETE MONOLITHIC SURFACES)***

**FLAGSTONE**

- Native, colors: match house stone, or compliment exterior paint



## BOULDERS

- Native basalt, natural surface
- Planted ~1/3 deep
- Grouped to appear as naturally occurring rock outcrop



WATER FEATURE

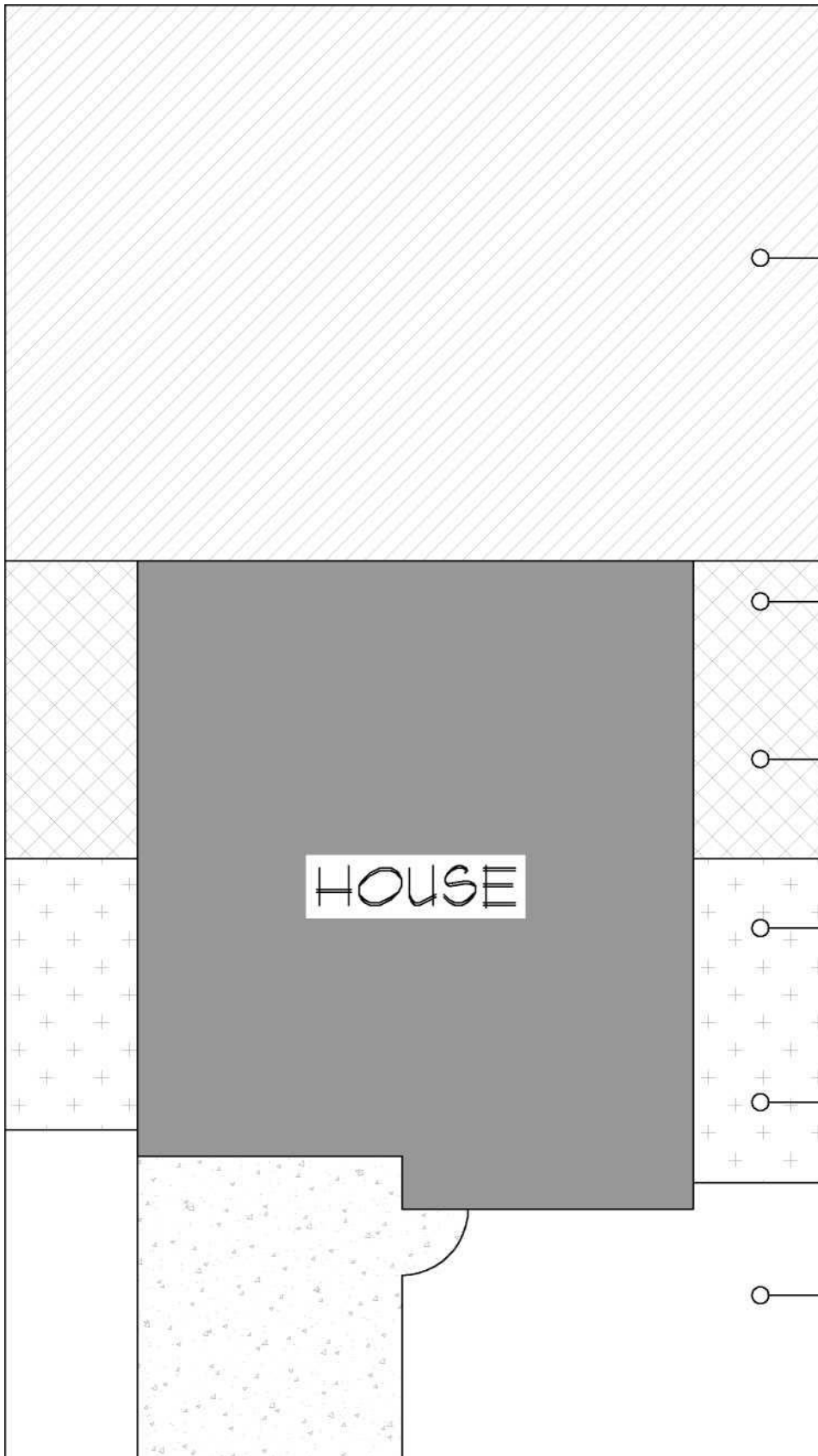


NO: INDIVIDUALLY SPACED/EQUIDISTANT



YES: PLANTED BASALT OUTCROP

# PREFERRED SATELITE DISH LOCATIONS



#1  
PREFERENCE:  
Rear Yard Below  
top of fence

- #2  
PREFERENCE:  
Side Yard (rear  
half) Below top of  
fence

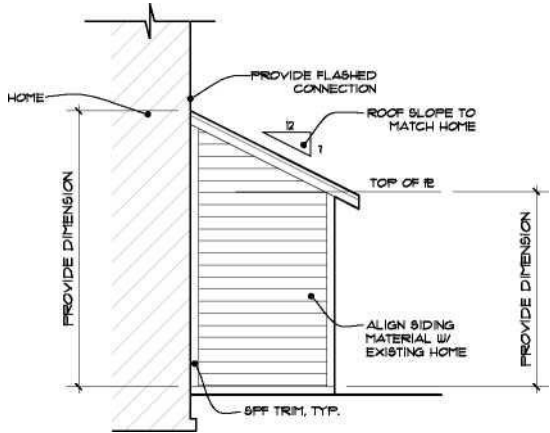
■ #3 PREFERENCE:  
Side Yard (rear  
half) Above fence but below  
eaves

■ #4  
PREFERENCE:  
Side Yard (front  
half) Below top of  
fence

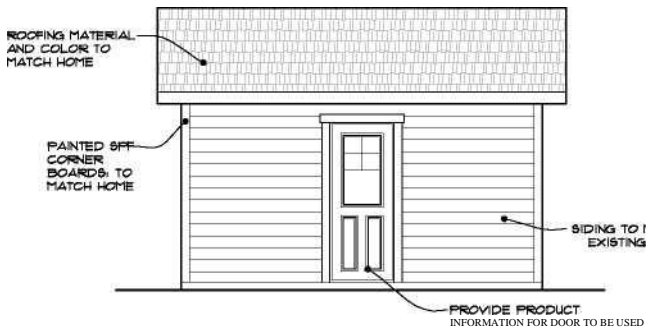
- #5 PREFERENCE:  
Side Yard (front  
half) Above fence but below  
eaves

○ Strongly Discouraged:  
Front yard or anywhere on  
roof

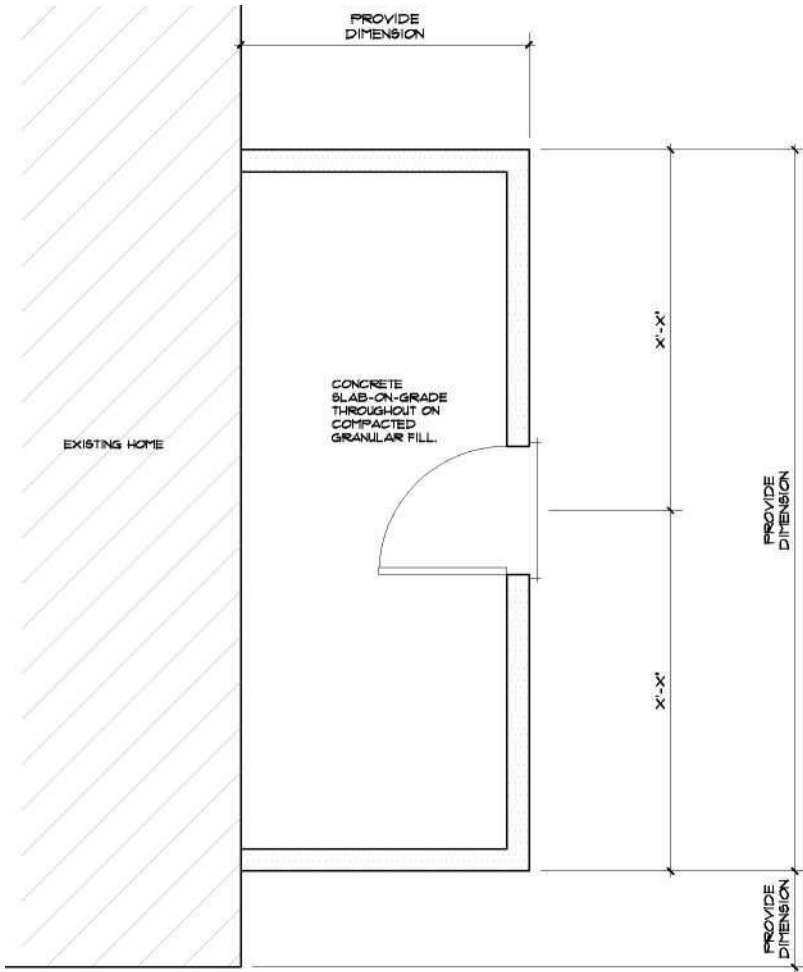




FRONT ELEVATION v.1



RIOMET ELEVATION v.1



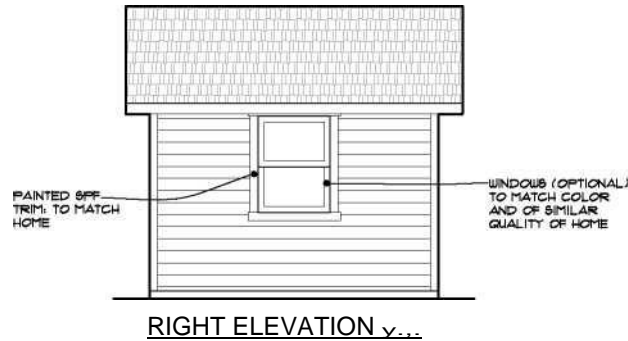
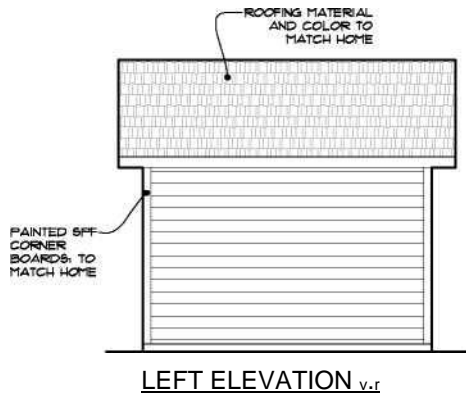
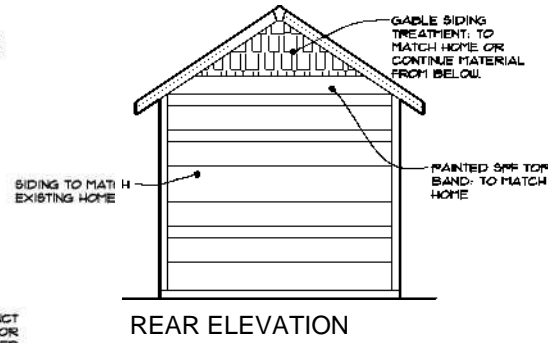
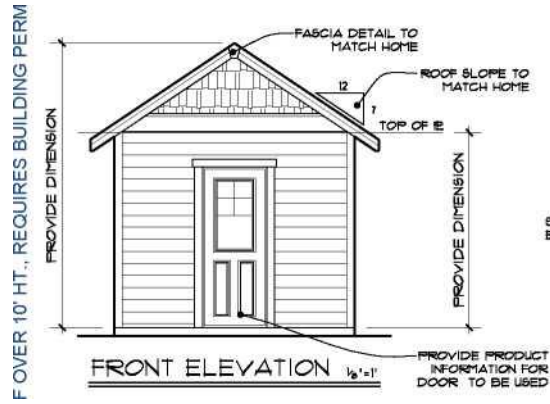
FLOOR PLAN 1/4"=1'

# PROJECT A: LEAN-TO STORAGE SHED

- SHED MUST BE CONSTRUCTED TO APPEAR TO BE INTEGRATED WITH THE EXISTING STRUCTURE.

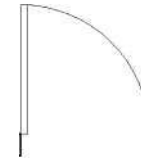
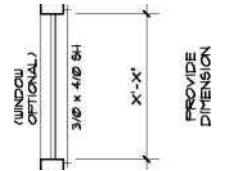
NOTE:
<p>TEMPLATE IS INTENDED TO ESTABLISH GENERAL EXPECTATIONS REGARDING AESTHETICS AND CONSTRUCTION QUALITY. HOMEOWNER ASSUMES RESPONSIBILITY FOR ANY AND ALL CODE COMPLIANCE, AS WELL AS ANY AND ALL LIABILITY REGARDING IMPACT ON EXISTING STRUCTURE CREATED BY THE CONSTRUCTION OF THE SECONDARY STRUCTURE INCLUDING BUT NOT LIMITED TO: NATURE OF CONNECTIONS, SITE PREPARATION AND PROPER WEATHERIZATION.</p>





PROVIDE DIMENSION

CONCRETE SLAB-ON-GRADE THROUGHOUT ON COMPACTED GRANULAR FILL.



FLOOR PLAN \_\_\_\_\_ ^  
IF OVER 200SF, REQUIRES BUILDING PERMIT

# PROJECT B: DETACHED STORAGE SHED