

NOTICE OF DECISION

Virginia Garcia Memorial Health Center – Newberg Clinic – 2251 E Hancock Street
Variance Request and Design Review – VAR22-0003 / DR222-0010

February 16, 2023

Scott Edwards Architecture
Kathy Johnson
2525 E Burnside Street
Portland, OR 97214

Sent via email: kjohnson@seallp.com

Re: VAR22-0003 / DR222-0010 – Virginia Garcia Memorial Health Center – Newberg Clinic Expansion

Dear applicant,

The Newberg Community Development Director has approved the proposed variance request and design review, VAR22-0003 / DR222-0010, for the Virginia Garcia Memorial Health Center – Newberg Clinic located at 2251 E Hancock Street, subject to the conditions listed in the attached report. The decision will become effective on March 2, 2023, unless an appeal is filed.

You may appeal this decision to the Newberg Planning Commission within 14 calendar days of this decision in accordance with Newberg Development Code 15.100.170. All appeals must be in writing on a form provided by the Planning Division. Anyone wishing to appeal must submit the written appeal form together with the required fee of \$547 (plus 5% technology fee) to the Planning Division within 14 days of the date of this decision.

The deadline for filing an appeal is 4:30 pm on March 1, 2023.

At the conclusion of the appeal period, please remove all notices from the site.

The variance and design review approvals are only valid for one year from the effective date above. If building or construction permits are not issued within this time period, then the variance and design review approvals become null, and void and no construction may take place. If you are approaching the expiration date, contact the Planning Division regarding extension opportunities.

Please note that final building plans submitted for building permit review must comply with the attached conditions. You must comply with all conditions required through the variance and design review process before final occupancy will be granted.

If you have any questions, please contact me at ashley.smith@newbergoregon.gov or 503-554-7768.

Sincerely,

A handwritten signature in blue ink that reads "Ashley Smith".

Ashley Smith
Assistant Planner
City of Newberg

DECISION AND FINDINGS

Virginia Garcia Memorial Health Center – Newberg Clinic Addition – 2251 E Hancock Street
Variance Request and Design Review – VAR22-0003 / DR222-0010
Virginia Garcia Memorial Health Center

FILE NO: VAR22-0003 and DR222-0010

REQUEST: 9,024 sq. ft. building addition and parking lot modifications with variance to window glazing and off-street loading requirements

LOCATION: 2251 E Hancock Street and adjacent lots

TAX LOT: R3220AB 00500, 00701, and 00702

APPLICANT: Scott Edwards Architecture

OWNER: Virginia Garcia Memorial Health Center (VGMHC)

ZONE: C-2 (Community Commercial)

PLAN: MIX (Mixed Use)

OVERLAY: Airport Inner Horizontal Surface

CONTENTS

Section I: Application Information
Section II: Variance Requests Findings
 i. NMC 15.220.070(G)(1) Windows
 ii. NMC 15.440.080(A) Off Street Loading
Section III: Design Review Application Findings
Section IV: Conditions of Approval

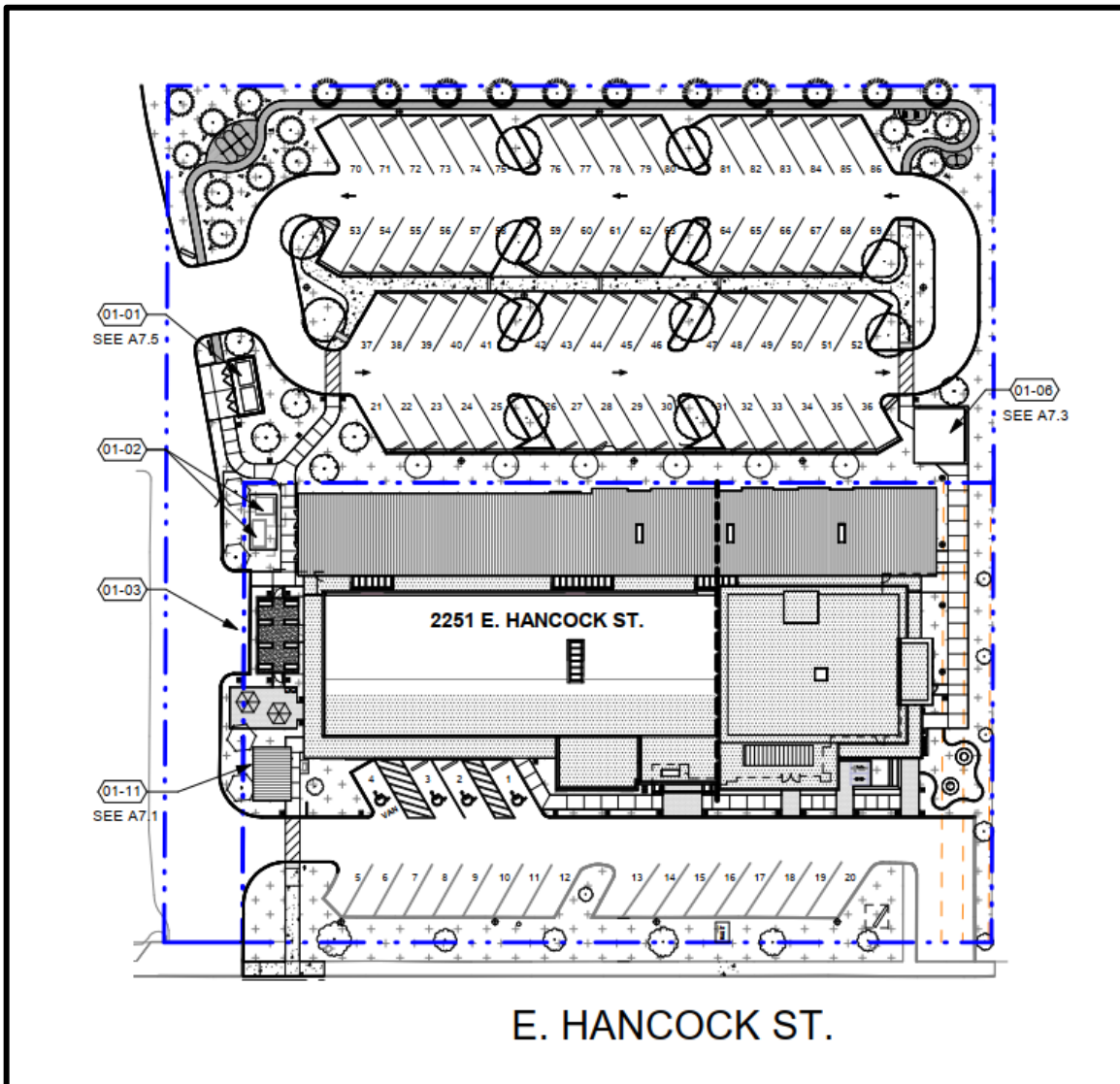
Attachments:

1. Application Material and Supplemental Material
2. Agency Comments

Section I: Application Information

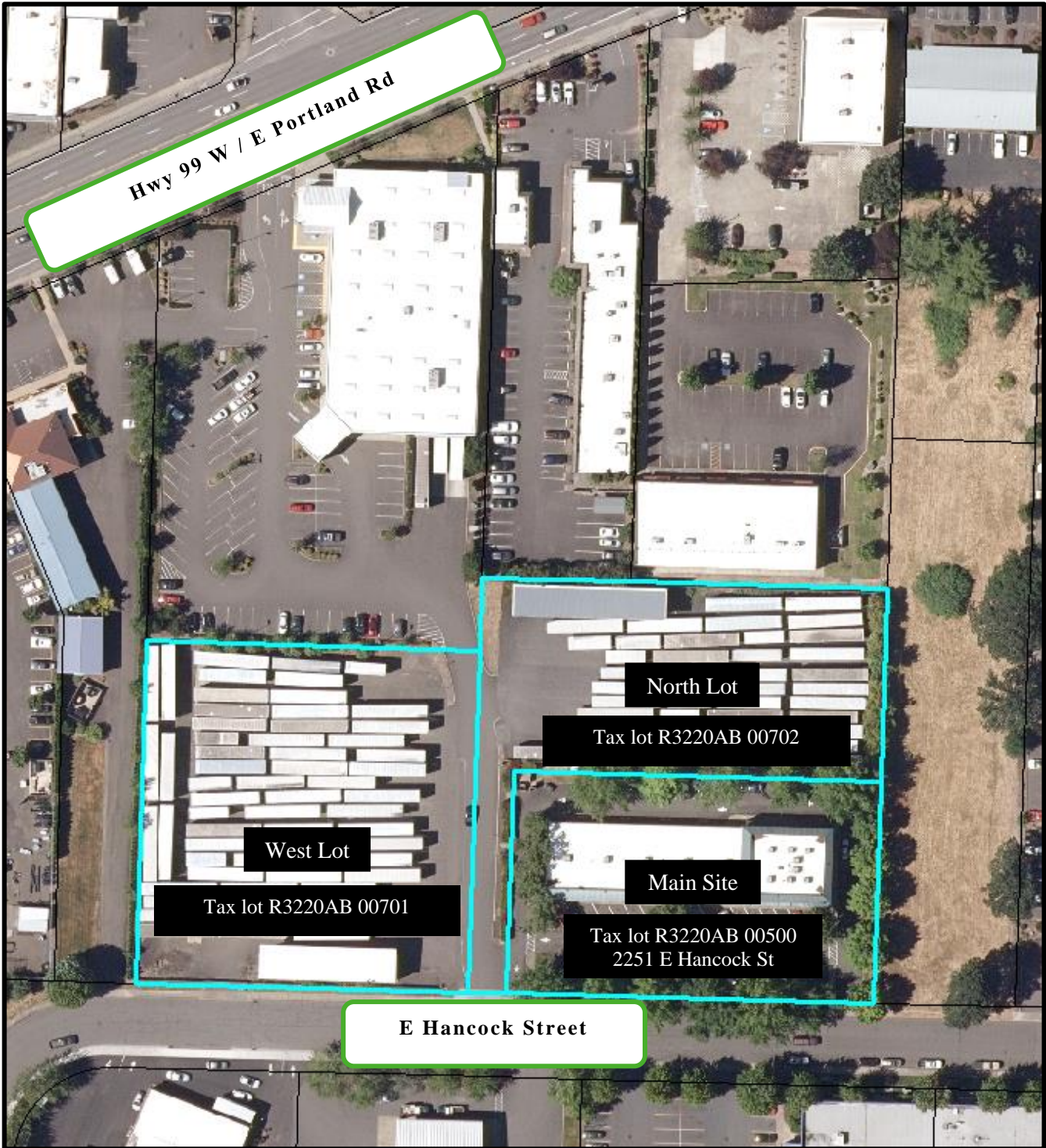
A. DESCRIPTION OF APPLICATION:

This is a proposal for a Type II Design Review for a 9,024 square foot expansion with substantial parking and site modifications to the Virginia Garcia Memorial Health Center – Newberg Clinic. Included is a Type II Variance Request for a reduction to the required percentage of windows located on a ground floor development within the C-2 / Community Commercial zone, and a reduction to the number of loading berths required based on building square footage. This development is proposed to occur on two tax lots, with a required service drive easement across a third tax lot. The submitted narrative and plans address the applicable requirements of Division 15.200, 15.400 and 15.500 within the Newberg Development Code.



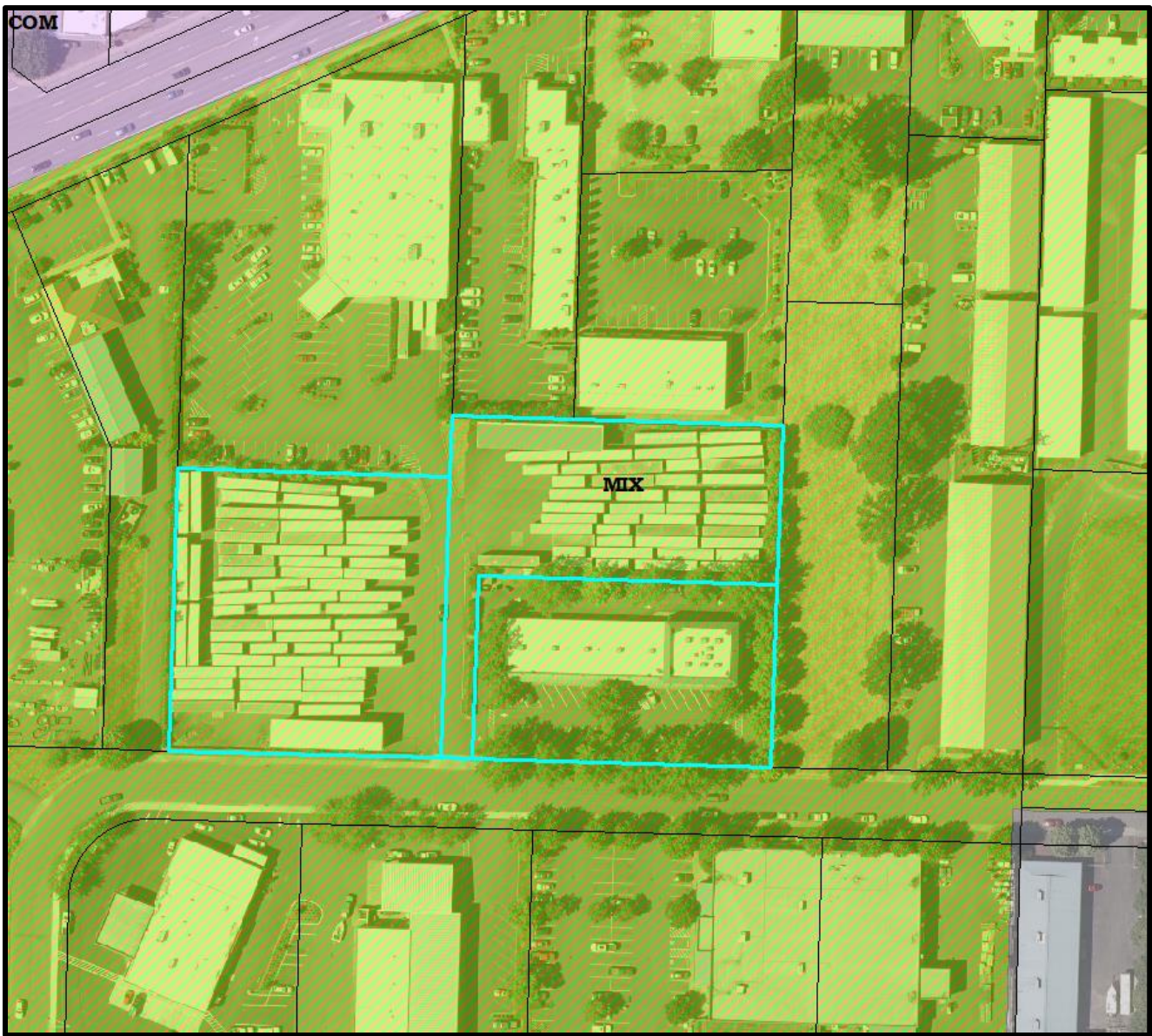
B. SITE INFORMATION:

1. **Location:** The “Main Site”, 2251 E Hancock Street, tax lot R3220AB 00500, is where the existing Virginia Garcia Memorial Health Center (VGMHC) – Newberg Clinic operates, with three other tenants, County Mental Health Office, VGMHC Dental Office, and Newberg WIC. Parking lot modifications are proposed to occur on the “North Lot”, tax lot R3220AB 00702, which is the abutting tax lot to the north of the Main Site and owned by Goodwill Industries of the Columbia Willamette. The “West Lot”, tax lot R3220AB 00701, is located to the west of the access drive to the North Lot. It is also owned by Goodwill Industries of the Columbia Willamette. A portion of the West Lot is utilized as ingress/egress from E Hancock Street and the Main Site to the proposed parking lot area on the North Lot.
2. **Size:**
 - a. Main Site: Tax lot R3220AB 00500 – 41,144 square feet
 - b. North Lot: Tax lot R3220AB 00702 – 43,580 square feet
 - c. West Lot: Tax lot R320AB 00701 – 57,512 square feet
3. **Current Land Uses:**
 - a. Main Site: Tax lot R3220AB 00500 – Medical Office
 - b. North Lot: Tax lot R3220AB 00702 – Parking
 - c. West Lot: Tax lot R320AB 00701 – Parking
4. **Natural Features:**
 - a. Main Site: Tax lot R3220AB 0500 – landscaping, including street trees
 - b. North Lot: Tax lot R3220AB 00702 – minimal landscaping along abutting property lines
 - c. West Lot: Tax lot R320AB 00701 – minimal landscaping along abutting property lines

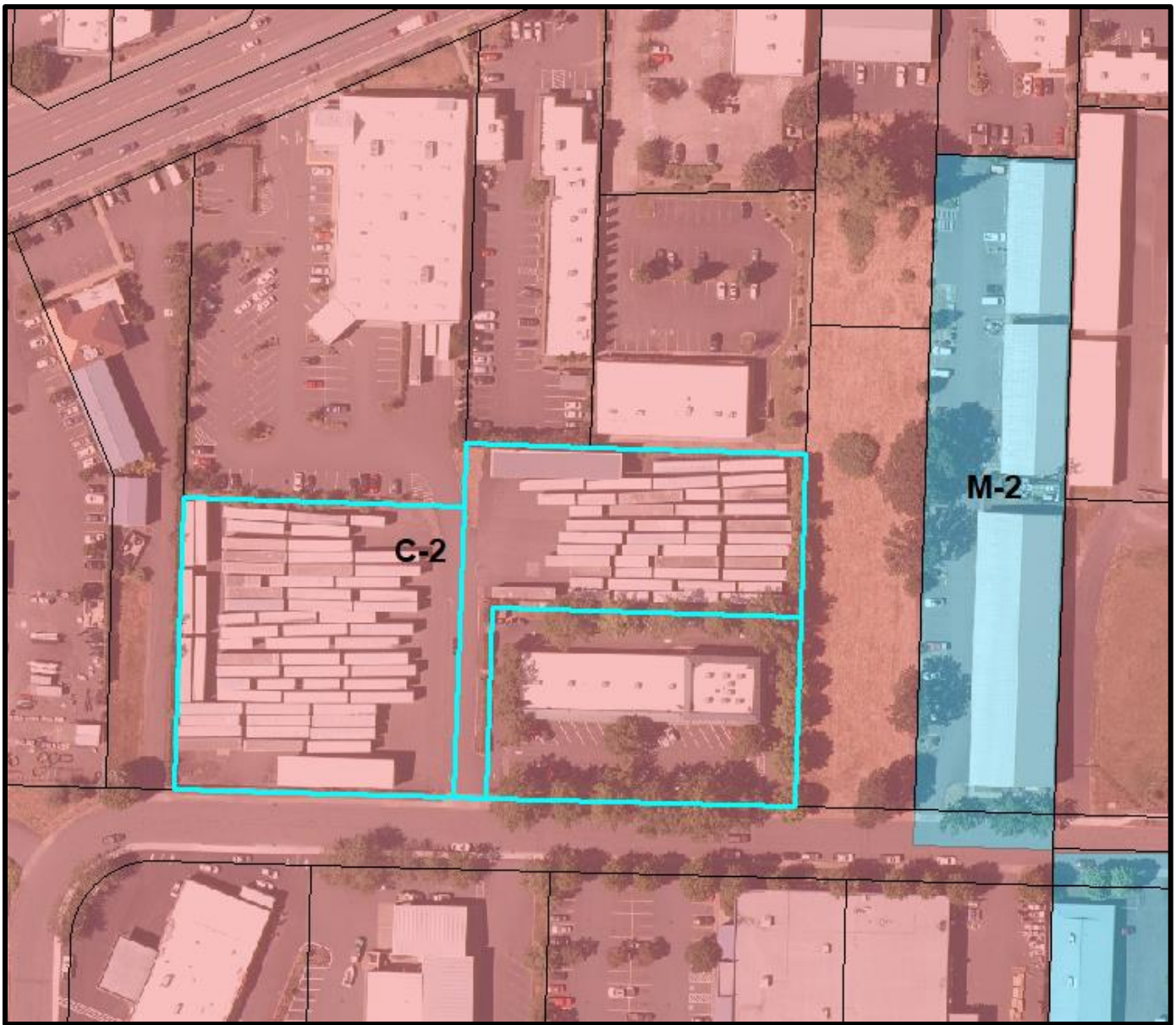


5. **Adjacent Land Uses:**

- a. North: Mixed Use; Goodwill and various commercial businesses
- b. South: Mixed Use; Les Schwab, Wilco
- c. East: Mixed Use; Vacant Lot
- d. West: Mixed Use; Lewis Audio & Video



6. **Zoning:** The following zoning districts about the subject property.
- a. North: C-2 / Community Commercial
 - b. East: C-2 / Community Commercial
 - c. South: C-2 / Community Commercial
 - d. West: C-2 / Community Commercial



7. **Access and Transportation:** The existing site has access off E Hancock Street which is a local residential street in the City of Newberg Transportation System Plan. There is an existing access driveway near the eastern boundary of the site at 2251 E Hancock Street. There is also a shared access driveway approach along the western boundary of the site.

Materials submitted by the applicant indicate that the eastern access driveway is proposed to remain and that a portion of the shared access driveway approach along the western boundary of the site is proposed to be removed. A new access to the site is proposed off the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of the project site.

8. **Utilities:**

- a. **Water:** The City's online GIS utility map indicates that there is an existing 8-inch water main within the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of the project site. An 8-inch water main within E Hancock Street with a 1" water service line to 2251 E Hancock Street is also shown.

The applicant will be responsible to confirm adequate flow for the use proposed and for fire protection. The applicant will need to provide fire flow test results with permit applications. The applicant will need to hire a private firm to conduct the fire flow test and coordinate with the Public Works Maintenance Division.

- b. **Wastewater:** The City's GIS system indicates there is an existing 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701, 00702 located along the western boundary of the project site. An 8-inch wastewater main within E Hancock Street is also shown.

The applicant will be responsible for verifying capacity of existing lines. System Development Charges (SDCs) are associated with the number of fixture units proposed per building/tax lot. SDCs are calculated and collected as part of the building permit process.

- c. **Stormwater:** The City's GIS system indicates there is an existing 12-inch and 18-inch stormwater main within E Hancock Street. Materials submitted by the applicant indicate that the project will not create a net increase in impervious area. With no increase in impervious area stormwater management for quality and quantity is not required. The applicant will be responsible to provide conveyance of stormwater to the public stormwater system.

- d. Overhead Lines: Any new connection to the property will need to be underground.

C. PROCESS: This Type II Variance Request and Type II Design Review application will follow the procedures in Newberg Development Code 15.100.030. Following a 14-day public comment period, the Community Development Director makes a decision on the application based on the criteria listed in the attached findings. The Director’s decision is final unless appealed:

1. 12/20/2022: The Community Development Director deemed the application complete.
2. 01/20/2023: The applicant posted notice on the site.
3. 01/20/2023: The applicant mailed notice to the property owners within 500 feet of the site.
4. 02/03/2023: The 14-day public comment period ended.
5. 02/17/2023: The Community Development Director issued a decision on the application.

D. AGENCY COMMENTS: The applications were routed to several public agencies for review and comment (Attachment 2). Comments and recommendations from city departments have been incorporated into the findings and conditions. As of the writing of this report, the city received the following agency comments:

1. Building Official: Reviewed, no conflict.
2. City Manager: Reviewed, no conflict.
3. Community Development Director: Comments:
 - a. Does the plaza have encroachment approval?
 - b. Need parking agreement approved by City Attorney.
 - c. Need access easement over Tax Lot R3220AB 00701.
 - d. Signage will need separate permits.
 - e. Appears areas where lighting exceeds .5-foot candle at property line.
4. Finance Department: Reviewed, no conflict.
5. Police Department: Reviewed, no conflict.
6. Public Works Director: Comment:
“Public Utilities relocations and connections along with fees and costs to be approved by Public Works Engineering prior to construction.”

7. Public Works Maintenance Superintendent: Original comments can be seen in Attachment 2 and are addressed in Section NMC 15.505 Public Improvement Standards' findings.
 - a. "Wastewater main must be relocated in the drive lanes or property owner takes owners and maintenance responsibilities of the mainline from the manhole to the north to the manhole in Hancock."
 - b. "This should be considered a large party lateral and be considered private however as of now we believe this line is the city's responsibility and there appears to be no easement."
 - c. "We must have an easement over the water main."
 - d. "If storm line needs to be made private."
8. Public Works Water Treatment: Reviewed, no conflict.
9. Public Works Compliance: Comment:
"Amalgam separator is required for Dental offices per 40 CFR, Part 441, ORS 679.525, and NMC 13.10.090 E & F. Will need to install a new or re-install current amalgam separator in the dental offices."
10. Zply Fiber: Reviewed; no conflict.
11. Tualatin Valley Fire and Rescues: Approved service provider permit obtained. Site inspection required.

E. PUBLIC COMMENTS:

No public comments were received on the application.

Section II:
Variance Request Findings i. NMC 15.220.070(G)(1) Windows – VAR22-0003
VGMHC Newberg Clinic Addition and Parking Lot Modifications
Virginia Garcia Memorial Health Center

Chapter 15.215 Variance Procedures

15.215.020 Authority of hearing body.

A. Variances may be used to allow modification to specific standards contained in this code if the approval authority finds the applicant has satisfactorily documented compliance with the approval criteria. If a variance request is approved, the approval authority may attach conditions to the final decision in order to mitigate adverse impacts which might result from the approval.

B. The following regulations may not be varied:

- 1. The uses permitted in the land use district.*
- 2. Definitions.*
- 3. Restrictions on use or development that contain the word “prohibited.”*
- 4. Signs.*

Findings: The existing Virginia Garcia Memorial Health Center (VGMHC) is located within the C-2 / Commercial Community zone. The C-2 zone requires that redevelopments being reviewed as a Type II Site Design Review meet additional site and building design elements per NMC 15.220.070. The applicant has requested a variance for the percent of windows on the ground floor façade that is required by NMC 15.220.070(G)(1).

This variance request does not fit the regulations outlined in section (B) and therefore may be modified if the applicant has satisfactorily documented compliance with the approval criteria. Compliance will be addressed in the following findings.

These criteria are met.

15.215.030 Application.

The property owner desiring a variance shall file an application with the director on a form prescribed by the director, which shall include the following data:

A. Statement of the precise nature of the variance requested and the practical difficulty or unnecessary physical hardship inconsistent with the objectives of the Newberg comprehensive plan and code, which would result from a strict or literal interpretation and enforcement of a specified regulation of this code, together with

any other data pertinent to the findings prerequisite to the granting of a variance prescribed in this chapter.

B. When a requested variance is for aesthetic reasons, as they relate to the front yard, fences or walls, on the basis of a substitute plan of equal aesthetic value, a statement of the precise nature of the variance requested shall be submitted.

C. An accurate scale drawing of the site and any adjacent property affected, showing all existing and proposed locations of streets, property lines, uses, structures, driveways, pedestrian walks, off-street parking and off-street loading facilities and landscaped areas.

Findings: The requested variance was submitted with a corresponding Type II Design Review application. Included was a specific narrative addressing the practical difficulty that would occur if strict interpretation was applied, along with accurate scale drawings. This variance request is not for aesthetic values, but for practicality of building use and limitations of the existing building structure.

These criteria are met.

15.215.040 Type II variance criteria.

The Type II procedure shall be used to process a variance request. The hearing body shall grant the variance if the following criteria are satisfied:

A. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this code.

Findings: The south elevation of the VGMHC faces E Hancock Street. With this proposed development the ground floor will partially remain as is, with some additional build out. The requirement of NMC 15.220.070 (G) requires that ground floors of commercial building facades in the C-2/Community Commercial zone facing public streets shall be comprised of a minimum of 40% windows. Provided on Sheet A3.1 North & South Elevations and stated within the narrative, the applicant is proposing a total of 36% window glazing due to the limitations of the existing building and nature of the use of the building.

The applicant's narrative states that the ground floor will house patient exam rooms, medical procedure rooms, private talk rooms, and the pharmacy. Therefore, requiring these areas to accommodate window space is impractical due to the privacy that should be afforded in these areas.

All of these rooms require equipment that is typically wall mounted. Allowing for more wall space means exam rooms can practically install the required wall mounted equipment creating design space for more exam rooms, increasing patient access.

The pharmacy also requires expansive wall space for shelving and has high security needs due to the housing of pharmaceuticals. The requirement of windows could potentially create a security risk.

Staff find that the strict interpretation and enforcement of NMC 15.220.070 (G), requiring 40% windows on the ground floor, would result in practical difficulty to maintain patient and provider privacy, as well as pharmacy security.

This criterion is met.

B. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties classified in the same zoning district.

Findings: The applicant has stated in their narrative that structural engineering observations indicate that providing the required 40% glazing to the existing southwest wall would require significant footing upgrades. The narrative states that this creates a unique circumstance for this property that may not apply to other properties or new development in this same zone.

This criterion is met.

C. That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.

Findings: The strict interpretation and enforcement of this code would deprive the applicant the privilege to fulfill appropriate business needs, such as secure pharmaceutical storage, and private and efficient exam rooms. These are unique architectural needs to this type of business use.

This criterion is met.

D. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Findings: NCM 15.220.070(G) requires 40% window glazing on the ground floor, the applicant is requesting a variance to allow them to provide 36%, as shown on Sheet A3.1 North & South Elevations. The granting of the variance to allow a 4% reduction in window glazing does not grant a special privilege inconsistent with the limitations on other properties.

This criterion is met.

E. That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

Findings: The granting of the variance will enhance the public health, safety, and welfare, by allowing efficient, safe, and private exam rooms and pharmaceutical storage to be built in this medical office. The granting of the variance will not be materially injurious to properties in the vicinity since this is only a variance to window glazing, a design element that is completely incorporated in the building envelope.

This criterion is met.

CONCLUSION:

Based on the above findings, the project meets the criteria required within the Newberg Development Code, subject to completion of the attached conditions.

Section II:
Variance Request Findings ii. NMC 15.440.080(A) Off Street Loading – VAR22-0003
VGMHC Newberg Clinic Addition and Parking Lot Modifications
Virginia Garcia Memorial Health Center

Chapter 15.215 Variance Procedures

15.215.020 Authority of hearing body.

A. Variances may be used to allow modification to specific standards contained in this code if the approval authority finds the applicant has satisfactorily documented compliance with the approval criteria. If a variance request is approved, the approval authority may attach conditions to the final decision in order to mitigate adverse impacts which might result from the approval.

B. The following regulations may not be varied:

- 1. The uses permitted in the land use district.*
- 2. Definitions.*
- 3. Restrictions on use or development that contain the word “prohibited.”*
- 4. Signs.*

Findings: The applicant has requested a variance for the number of required off-street loading berths as required in NMC 15.440.080 (A).

This variance request does not fit the regulations outlined in section (B) and therefore may be modified if the applicant has satisfactorily documented compliance with the approval criteria. Compliance will be addressed in the following findings.

These criteria are met.

15.215.030 Application.

The property owner desiring a variance shall file an application with the director on a form prescribed by the director, which shall include the following data:

A. Statement of the precise nature of the variance requested and the practical difficulty or unnecessary physical hardship inconsistent with the objectives of the Newberg comprehensive plan and code, which would result from a strict or literal interpretation and enforcement of a specified regulation of this code, together with any other data pertinent to the findings prerequisite to the granting of a variance prescribed in this chapter.

B. When a requested variance is for aesthetic reasons, as they relate to the front yard, fences or walls, on the basis of a substitute plan of equal aesthetic value, a statement of the precise nature of the variance requested shall be submitted.

C. An accurate scale drawing of the site and any adjacent property affected, showing all existing and proposed locations of streets, property lines, uses,

structures, driveways, pedestrian walks, off-street parking and off-street loading facilities and landscaped areas.

Findings: The requested variance was submitted with a corresponding Type II Design Review application. Included was a specific narrative addressing the practical difficulty that would occur if strict interpretation was applied, along with accurate scale drawings. The variance request is not for aesthetic values, but for practicality of building use and site limitations.

These criteria are met.

15.215.040 Type II variance criteria.

The Type II procedure shall be used to process a variance request. The hearing body shall grant the variance if the following criteria are satisfied:

A. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this code.

Findings: Per NMC 15.440.080, two loading berths would be required based VGMHC proposed 22,131 square feet of gross floor area. The applicant is requesting a reduction in the required number of loading berths to only one, stating the requirement would result in unnecessary expense for the owner, and is unpractical given the limited amount of deliveries that occur and the smaller vehicles used to make those deliveries.

The intent for number of loading berths required, is to ensure a particular use can adequately handle the receiving and distribution of materials and merchandise. The following table shows a typical monthly delivery schedule of clinic vendors, with each delivery taking between 10 to 30 minutes. If all deliveries occurred for the month on one day, for a maximum of 30 minutes each, it will result in 4 hours of utilization of the loading berth. The applicant stated that most of these deliveries occur in standard box-type trucks or passenger vans and cars, implying that if the one loading berth was in use, a vendor could utilize a standard parking space. Requiring two loading berths for the type of materials being delivered and frequency of delivery would not be practical for the VGMHC business needs and places unnecessary expenses for development. The applicant has shown that one loading berth will be consistent with the objective of the code.

This criterion is met.

Daily Deliveries	Max Time	Weekly Deliveries	Max time	Bi-Monthly	Max time	Monthly Deliveries	Max time	Total time of all deliveries
Lab specimens	10 min	Biohazard Sharps Containers	20 min	Liquid Nitrogen	30 min	Immunizations	10 min	
Courier 2x	30 min	Lab Coats	20 min	Supplies	20 min	Office Deport	20 min	
<i>Total</i>	<i>40 Min</i>		<i>40 min</i>		<i>50 min</i>		<i>30 min</i>	2 hrs 40 min per month

B. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties classified in the same zoning district.

Findings: The main clinic site, tax lot R3220AB 0500, is where the expansion of the building will occur. The intended use will be a non-profit medical clinic that primarily services clients with financial hardship and other barriers to health care. This is an exceptional circumstance that does not apply generally to other properties classified in the same zoning district.

This criterion is met.

C. That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.

Findings: As shown in subsection A, the business needs of VGMHC do not warrant two loading berths. A strict enforcement of this regulation would deprive VGMHC of the privilege to efficiently and effectivity utilize its development site in a way that provides the most value added. The applicant has stated that other properties may benefit from having two loading berths and therefore would not be deprived of this privilege to best utilize their site for their business needs.

This criterion is met.

D. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.

Findings: This request is for a variance to the strict interpretation that the number of adequate loading berths is based on gross floor area and not the actual business needs of VGMHC. Granting it will not provide a special privilege, it removes the requirement to construct a facility that is inappropriate for the buildings use.

This criterion is met.

E. That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

Findings: The applicant states that the granting of this variance will actually be a benefit to public health, safety and welfare, because it allows the non-profit medical clinic to efficiently utilize its site and funds. It also allows for less impervious surface and additional landscaping which has environmental benefits. The applicant shares that the variance will not be materially

injurious to properties or improvements in the vicinity because it has shown that one loading berth meets the business needs and no disruptions to adjacent properties are expected to occur.

This criterion is met.

CONCLUSION:

Based on the above findings, the project meets the criteria required within the Newberg Development Code, subject to completion of the attached conditions.

**Section III:
Design Review Findings – DR222-0010
VGMHC Newberg Clinic Addition and Parking Lot Modifications
Virginia Garcia Memorial Health Center**

Chapter 12.05 Street and Sidewalks

12.05.090 Permits and certificates.

A. Concurrent with the issuance of a building permit for the construction of a building for residential use or business structures or an addition to a dwelling or business structure, the value of which is \$30,000 or more except as the city engineer may require on building permits of lesser value in accordance with NMC 12.05.040, the owner, builder or contractor to whom the building permit is issued shall meet the following requirements:

1. Construct a sidewalk within the dedicated right-of-way for the full frontage in which a sidewalk in good repair does not exist. The sidewalk construction shall be completed within the building construction period or prior to issuance of an occupancy permit, whichever is the lesser.

Finding: The submitted materials show existing Type B curb tight sidewalks along the project site's E Hancock Street frontage. Because the condition of the existing sidewalks is uncertain, the applicant will be responsible for replacement of any sidewalk panels along the project site's frontage that are not in good condition or do not meet current ADA standards. Determination of the limits of any sidewalk replacements will be part of the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

2. Dedicate right-of-way in accordance with the city transportation plan.

Finding: E Hancock Street is improved adjacent to the project site. The existing right-of-way width for E Hancock Street is consistent with the city transportation plan along the project site's frontage.

This criterion is not applicable.

Chapter 15.220 Site Design Review

15.220.020 Site design review applicability.

A. Applicability of Requirements. Site design review shall be required prior to issuance of building permits or commencement of work for all improvements noted below. Site design review permits shall be processed as either Type I or Type II, as noted below.

1. Type I.

- a. Single-family dwellings;***
- b. Duplex dwellings;***
- c. Triplex dwellings;***

- d. Quadplex dwellings;*
- e. Townhouse dwellings;*
- f. Cottage cluster projects;*
- g. Institutional, commercial or industrial additions which do not exceed 1,000 square feet in gross floor area;*
- h. Multifamily additions which do not exceed 1,000 square feet in gross floor area and do not add any new units, or new construction incidental to the main use on an existing developed site which does not exceed 1,000 square feet in gross floor area and does not add any new units;*
- i. Institutional, commercial or industrial interior remodels which do not exceed 25 percent of the assessed valuation of the existing structure;*
- j. Multifamily remodels which do not exceed 25 percent of the assessed valuation of the existing structure and do not add any new units;*
- k. Signs which are not installed in conjunction with a new development or remodel;*
- l. Modifications, paving, landscaping, restriping, or regrading of an existing multifamily, institutional, commercial or industrial parking lot;*
- m. Fences and trash enclosures;*
- n. Accessory dwelling units.*

2. Type II.

- a. Any new development or remodel which is not specifically identified within subsection (A)(1) of this section.*
- b. Telecommunications facilities.*

Finding: This application is a commercial addition that exceeds 1,000 square feet, therefore is reviewed according to the Type II Design Review standards. The applicant has submitted narrative and plans accordingly.

This criterion is met.

15.220.050 Criteria for design review (Type II process).

B. Type II. The following criteria are required to be met in order to approve a Type II design review request:

- 1. Design compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.**

Finding: Staff find that the proposed design would be superior to the existing structures in the surrounding area. The design includes exterior façade upgrades and a substantial addition that propose modern architecture, bold colors, and a mix of natural materials. The applicant’s narrative states the use of exterior landscaping, integration of natural daylight with covered

walkways, and various outdoor use spaces such as a terrace and community garden beds, will be incorporated in the site design.

This criterion is met.

2. Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.

15.440.010 Required off-street parking

A. Off-street parking shall be provided on the lot or development site for all R-1, C-1, M-1, M-2 and M-3 zones. In all other zones, the required parking shall be on the lot or development site or within 400 feet of the lot or development site which the parking is required to serve. All required parking must be under the same ownership as the lot or development site served except through special covenant agreements as approved by the city attorney, which bind the parking to the lot or development site.

Finding: This project is located in the C-2 / Community Commercial zone and parking is proposed on the Main Site, tax lot R3220AB 00500, as well as the North Lot, R3220AB 00702, which is under the ownership of Goodwill Industries of the Columbia Willamette. The West Lot, tax lot R3220AB 00701, also owned by Goodwill, is being proposed as ingress and egress from E Hancock Street and the Main Site to the North Lot. For VGMHC to utilize the North Lot for parking, a special covenant agreement approved by the city attorney, which bind the parking at R3220AB 00702 to the development at R3220AB 00500, must be submitted prior to building permit approval. Easement documentation must be provided showing VGMHC may utilize tax lot R3220AB 00701 as a shared accessway to tax lot R3220AB 00702 and E Hancock Street, this must be submitted prior to building permit approval.

If the aforementioned conditions are adhered to, this criterion will be met.

B. Off-street parking is required pursuant to NMC 15.440.030 in the C-2 district.

Finding: Per NMC 15.440.030 the following parking spaces must be provided for an institutional type, medical office:

Medical/dental offices and laboratories	3.5 spaces for each 1,000 gross sq. ft.

VGMHC gross square feet: 22,131	22 x 3.5	77 parking spaces required
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The applicant’s narrative and Sheet A1.0 – Overall Site Plan are proposing 86 parking spaces.

This criterion is met.

15.440.020 Parking area and service drive design.

A. All public or private parking areas, parking spaces, or garages shall be designed, laid out and constructed in accordance with the minimum standards as set forth in NMC 15.440.070.

Finding: NMC 15.440.070 directs the design of parking areas and services drives. The submitted site plan, Sheet A1.0 – Overall Site Plan, shows parking will occur on two separate lots, the existing Main Site, tax lot R3220AB 00500, and the adjacent tax lot, R32208AB 00702, the North Lot. Findings will first address the Main Site’s existing lot configuration.

The new building addition will be located on the Main Site and extend the existing footprint to the north. That will require the loss of parking along the north property line, as well as the service drive that wrapped around the building’s current smaller footprint. The new configuration shows a one-way service drive entrance from E Hancock Street that has a minimum 15-foot width. This width surpasses the 12-foot minimum for a one-way service drive. The required parking associated with this service drive are 60-degree angled spaces, with a width of 10.4 feet at curb, a space width of 9 feet, and a depth of 20.1 feet, measured according to Diagram 1 of NMC 15.440.070

Diagram 1

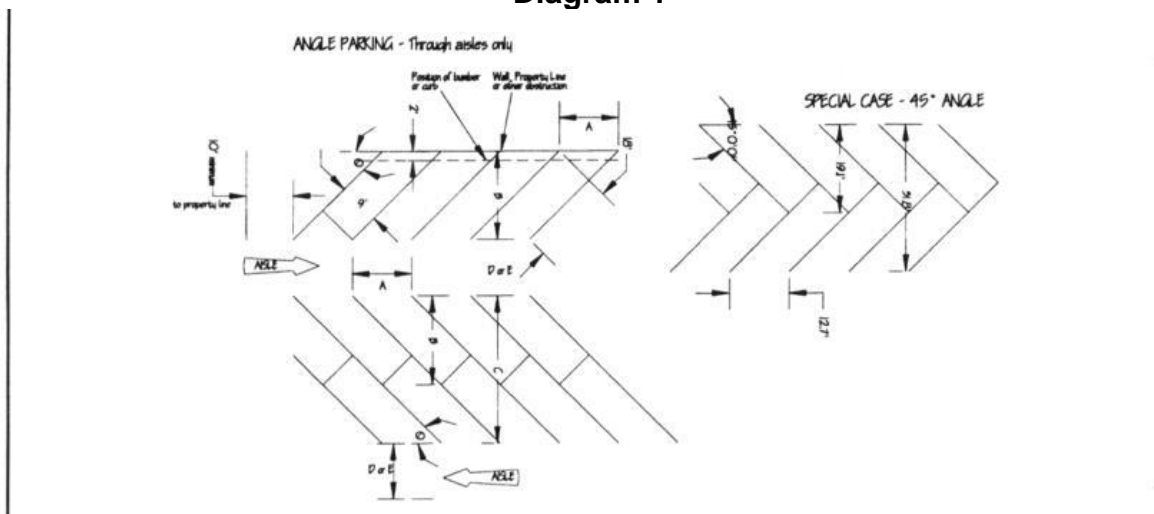


Table of Dimensions (In feet)

	Basic Stall		Aisles – One Way
Angle	A	B	D
60 degree	10.4	20.1	15

According to the above diagram the proposed stalls do not comply, however this is in an existing parking configuration that was most recently approved under a 2014 design review (DR1-14-002).

Findings for the North Lot, tax lot R3220AB 00702, will now be addressed. This lot is an existing paved lot with a lean-to structure in the northwest corner, which will be removed prior to development. No other improvements exist. The new parking lot configuration according to the submitted Sheet A1.1 – North Parking Lot Plan, access will be coming from the west side of the lot as a two-way drive aisle that is 24-feet wide, splitting into a one-way loop. The one-way loop aisle is 15-feet wide. Therefore, the same dimensional standards that applied to the Main Site spaces, as shown in Diagram 1 above, will apply to this site. Sheet A1.1 is showing parking spaces on the North Lot are meeting the required parking dimensions of 60-degree angled spaces, a 10.4-foot width at curb, a space width of 9 feet, and a depth of 20.1 feet.

This criterion is met.

B. Groups of three or more parking spaces, except those in conjunction with a single-family detached dwelling, duplex dwelling, triplex dwelling, quadplex dwelling, townhouse dwelling or cottage cluster project on a single lot, shall be served by a service drive so that no backward movement or other maneuvering of a vehicle within a street, other than an alley, will be required. Service drives shall be designed and constructed to facilitate the flow of traffic, provide maximum safety in traffic access and egress and maximum safety of pedestrian and vehicular traffic on the site, but in no case shall two-way and one-way service drives be less than 20 feet and 12 feet, respectively. Service drives shall be improved in accordance with the minimum standards as set forth in NMC 15.440.060.

Finding: According to the submitted parking lot plan no parking spaces will require a backward movement or other maneuvering of a vehicle within a street.

The following table identifies the location, style, and minimum width of the multiple proposed drive aisles.

Tax Lot	Site Name / Use	Service Drive Style	Minimum Width
Main Site - R3220AB 00500	Main Site – Ingress from E Hancock	One-way	15 feet

North Lot - R3220AB 00702	Main Site Easement on North Lot for egress to E Hancock Street	Two-way	24.8 feet
North Lot - R3220AB 00702	North Lot – Ingress / Egress to Parking Loop	Two-way	24 feet
North Lot - R3220AB 00702	North Lot – Parking Loop	One-way	15 feet
North Lot- R3220AB 00702	Main Site Easement Access to North Lot	Two-way	20 feet
West Lot - R3320AB 00701	North Lot Easement and West Lot E Hancock Street access		<i>At minimum 9.5 feet from North Lot</i>
			<i>Max. need 10.5 feet from West Lot</i>

The North Lot, R3220AB 00702, does have an approximate 25-foot-wide access to E Hancock Street. However, the proposed development places several site features within this access path, creating the need to obtain the remaining feet for a compliant two-way service drive from the West Lot, tax lot R3220AB 00701. At the point of ingress/egress into the North Lot parking area, the access provided from said lot is a minimum of 9.5 feet, which would require a maximum of 10.5 feet needed from the West Lot to meet the 20-foot-wide two-way width requirement.

Record No. 201301634 states the access “Driveway” from E Hancock Street is located across the West Lot, R3220AB 00701, and the North Lot, R3220AB 00702. Record No. 201301634 provides a reciprocal access easement for Goodwill Industries over and across this access. Documentation will need to be provided at the time of building permit submittal, that VGMHC has a shared easement access across tax lot R3220AB 00701 and R3220AB 00702. Without easement access on to tax lot R3220AB 00701, tax lot R3220AB 00702 does not provide the required 20-foot-width for a two-way service drive.

If the aforementioned conditions are adhered to, this criterion will be met.

C. Gates. A private drive or private street serving as primary access to more than one dwelling unit shall not be gated to limit access, except as approved by variance.

Finding: A private drive or private street are not proposed within this project. This criterion is not applicable.

D. In the AI airport industrial district and AR airport residential district, taxiways may be used as part of the service drive design where an overall site plan is submitted that shows how the circulation of aircraft and vehicles are safely accommodated, where security fences are located, if

required, and is approved by the fire marshal, planning director, and public works director. The following submittal must be made:

Finding: This project is located in the C-2 / Community Commercial zone, not within the AI airport industrial district or AR airport residential district. Therefore, this criterion is not applicable.

15.440.030 Parking spaces required.

Use	Minimum Parking Spaces Required
Institutional Types	
Medical/dental offices and laboratories	3.5 spaces for each 1,000 gross sq. ft.

Finding: Please see previous findings listed under *NMC15.440.010 (B) Off-street parking is required pursuant to NMC 15.440.030 in the C-2 district.*

15.440.060 Parking area and service drive improvements.

All public or private parking areas, outdoor vehicle sales areas, and service drives shall be improved according to the following:

A. All parking areas and service drives shall have surfacing of asphaltic concrete or Portland cement concrete or other hard surfacing such as brick or concrete pavers. Other durable and dust-free surfacing materials may be approved by the director for infrequently used parking areas. All parking areas and service drives shall be graded so as not to drain stormwater over the public sidewalk or onto any abutting public or private property.

Finding: According to the demolition plans on Sheets C1.0A C2.0A, for the North Lot, and Sheets C1.0 and C2.0 for the Main Site, both sites remove portions of the existing asphalt located in the proposed parking areas and service drives that will be replaced with new asphalt.

This criterion is met.

B. All parking areas shall be designed not to encroach on public streets, alleys, and other rights-of-way. Parking areas shall not be placed in the area between the curb and sidewalk or, if there is no sidewalk, in the public right-of-way between the curb and the property line. The director may issue a permit for exceptions for unusual circumstances where the design maintains safety and aesthetics.

Finding: The proposed parking layout does not locate any parking places so that a vehicle would encroach on public streets, alleys, or rights-of-way. No parking is proposed to take place within the right-of-way, between a curb and sidewalk, or outside of the site's property line.

This criterion is met.

C. All parking areas, except those required in conjunction with a single-family detached, duplex, triplex, quadplex or townhouse dwelling, or cottage cluster project, shall provide a substantial bumper which will prevent cars from encroachment on abutting private and public property.

Finding: Per Sheet A1.0 – Overall Site Plan parking is proposed around the perimeter of the North Lot, R3220AB 00702, however, bumpers and a landscape buffer are proposed.

This criterion is met.

D. All parking areas, including service drives, except those required in conjunction with single-family detached, duplex, triplex, quadplex or townhouse dwellings or cottage cluster projects, shall be screened in accordance with NMC 15.420.010(B).

Finding: Please see NMC 15.420.010(B) for specific findings.

E. Any lights provided to illuminate any public or private parking area or vehicle sales area shall be so arranged as to reflect the light away from any abutting or adjacent residential district.

Finding: Please see findings for NMC 15.425.020, Exterior Lighting.

F. All service drives and parking spaces shall be substantially marked and comply with NMC 15.440.070.

Finding: Please see findings for NMC 15.440.020, Parking area and service drive design.

G. Parking areas for residential uses shall not be located in a required front yard, except as follows:

1. Single-family detached, duplex, triplex, quadplex, and townhouse dwellings: parking is authorized in a front yard on a service drive which provides access to an improved parking area outside the front yard.

Finding: This project is not associated with a residential use. Therefore, this criterion is not applicable.

H. A reduction in size of the parking stall may be allowed for up to a maximum of 30 percent of the total number of spaces to allow for compact cars. For high turnover uses, such as convenience stores or

fast-food restaurants, at the discretion of the director, all stalls will be required to be full-sized.

Finding: The development has not proposed any compact parking spaces. This criterion is not applicable.

I. Affordable housing projects may use a tandem parking design, subject to approval of the community development director.

Finding: This project is not an affordable housing project, nor is it proposing tandem parking. This criterion is not applicable.

J. Portions of off-street parking areas may be developed or redeveloped for transit-related facilities and uses such as transit shelters or park-and-ride lots, subject to meeting all other applicable standards, including retaining the required minimum number of parking spaces. [Ord. 2889 § 2 (Exh. B §§ 38 – 40), 12-6-21; Ord. 2880 § 2 (Exh. B §§ 46 – 48), 6-7-21; Ord. 2810 § 2 (Exhs. B, C), 12-19-16; Ord. 2730 § 1 (Exh. A (14)), 10-18-10; Ord. 2628, 1-3-06; Ord. 2505, 2-1-99; Ord. 2451, 12-2-96. Code 2001 § 151.615.]

Finding: Transit related facilities are not proposed in this project. This criterion is not applicable.

15.440.080 Off-street loading.

A. Buildings to be built or substantially altered which receive and distribute materials and merchandise by trucks shall provide and maintain off-street loading berths in sufficient number and size to adequately handle the needs of the particular use.

1. The following standards shall be used in establishing the minimum number of berths required:

Gross Floor Area of the Building in Square Feet	No. of Berths
Up to 10,000	1
10,000 and over	2

Finding: The expansion of VGHMC would meet the definition of substantially altered as it is going from an existing 13,107 gross floor area to 22,131 gross floor area, nearly doubling in size. This total amount of gross floor area requires two loading berths. The applicant requested a variance reducing the required two berths, to one. Staff found that they meet the criteria for the reduction and therefore, only one loading berth is required. Please see Section II: Variance

Request Findings ii. NMC 15.440.080(A) Off Street Loading – VAR22-0003 for details on the variance.

The proposed loading berth is located on the North Lot, tax lot R3220AB 00702, which is owned by Goodwill Industries of Columbia Willamette. The proposed loading berth is located within the declared “Driveway” easement as noted in the Declaration of Access Easement, Record No. 201301634. Prior to building permit approval, a lease agreement for tax lot R3220AB 00702 shall be submitted to the City detailing that VGMHC may utilize tax lot R3220AB 00702 for a loading berth. The lease should consider the current Declaration of Access Easement, Record No. 201301634, Agreement Section 2.A that states:

“The Easement Users shall not, nor shall they permit their employees, visitors, vendors, licensees, invitees, contractors or any other party to, install, construct or otherwise create any permanent or temporary obstruction of the Driveway, including the parking of vehicles other than emergency vehicles. Use of the Driveway for ingress and egress shall not be considered an obstruction of the Driveway unless such uses results in the queuing of vehicles in the Driveway.”

If the lease to use tax lot R3220AB 00702 does not include the loading berth use approval and/or were to expire, VGMHC by default would no longer be compliant with the loading berth requirements of this code.

If the aforementioned condition is adhered to and a lease for tax lot R3220AB 00702 is continually held, this criterion will be met.

2. A loading berth shall contain a space 10 feet wide and 35 feet long and have a vertical clearance of 14 feet. Where the vehicles generally used for loading and unloading exceed these dimensions, the required length of these berths shall be increased.

Finding: A loading berth is depicted on Sheet A1.2 – Main Site Plan with the dimensions of 10 feet wide and 35 feet long. No overhang is shown to project over this area. The variance narrative stated the typical delivery vehicles are box style trucks or passenger vans or cars.

This criterion is met.

3. Additional off-street loading requirements within the C-4 district are described in NMC 15.352.040(H)(7).

Finding: This development is located in the C-2 / Community Commercial zone; therefore, this criterion does not apply.

4. Where a facility includes an aircraft hangar, the off-street loading requirement is not required since loading may occur through the hangar doors.

Finding: This facility does not include an aircraft hangar; therefore, the off-street loading requirements do apply.

This criterion is met.

B. The following provisions shall apply to off-street loading facilities:

1. The provision and maintenance of off-street loading space is a continuing obligation of the property owner. No building permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street loading space. The subsequent use of property for which the building permit is issued shall be conditional upon the unqualified continuance and availability of the amount of loading space required by this code. Should the owner or occupant of any building change the use to which the building is put, thereby increasing off-street loading requirements, it shall be unlawful and a violation of this code to begin or maintain such altered use until such time as the increased off-street loading requirements are met.

Finding: This proposed off-street loading facility, according to Sheet A1.2 Main Site Plan, is primarily located on the North Lot, tax lot R3220AB 00702, which is owned by Goodwill Industries of the Columbia Willamette.

The provision and maintenance of off-street loading space is a continuing obligation of the property owner. No building permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street loading space. The subsequent use of property for which the building permit is issued shall be conditional upon the unqualified continuance and availability of the amount of loading space required by this code. Should the owner or occupant of any building change the use to which the building is put, thereby increasing off-street loading requirements, it shall be unlawful and a violation of this code to begin or maintain such altered use until such time as the increased off-street loading requirements are met.

Staff encourage the lease agreement to include language that clarifies who is obligated to maintain the off-street loading space based on this code section requirement.

If the aforementioned condition is adhered to, this criterion will be met.

2. Owners of two or more buildings may agree to utilize jointly the same loading spaces when the hours of operation do not overlap;

provided, that satisfactory legal evidence is presented to the city attorney in the form of deeds, leases or contracts to establish the joint use.

Finding: There is only one building associated with the proposed off-street loading space. This criterion is not applicable.

3. A plan drawn to scale, indicating how the off-street loading requirements are to be fulfilled, shall accompany an application for a building permit.

Finding: The applicant did provide multiple plans drawn to scale, indicating the off-street loading requirements are fulfilled. A plan drawn to scale, indicating how the off-street loading requirements are to be fulfilled, shall accompany an application for a building permit.

If the aforementioned condition is adhered to, this criterion will be met.

4. Design Requirements for Loading Areas.

a. Areas used for standing and maneuvering of vehicles shall have durable and dustless surfaces of asphaltic concrete or portland cement concrete, maintained adequately for all-weather use and so drained as to avoid flow of water across the sidewalks.

Finding: In the provided plans, Sheet C2.0 – Main Site Civil Site, Grading, and Utility Plan shows that the loading berth area will be constructed of asphalt pavement.

This criterion is met.

b. Loading areas adjacent to residential zones designed to minimize disturbance of residents.

Finding: This site is not located next to any residential zones. Therefore, this criterion is not applicable.

c. Artificial lighting which may be provided shall be so deflected as not to shine or create glare in any residential zone or on any adjacent dwelling.

Finding: This site is not located next to any residential zones. Therefore, this criterion is not applicable.

d. Access aisles shall be of sufficient width for all vehicular turning and maneuvering.

Finding: The adjacent access aisle to the loading berth is located on the North Lot, tax lot R3220AB 00702 and the West Lot, R3220AB 00701. Please see section NMC 15.440.020 Parking area and Service Drive Design subsection (B) for applicable findings.

e. Vision clearance standards as identified in NMC 15.410.060 shall apply. [Ord. 2647, 6-5-06; Ord. 2564, 4-15-02; Ord. 2451, 12-2-96. Code 2001 § 151.617.]

Finding: The proposed loading berth is not located in a vision clearance triangle as defined in in NMC 15.410.060. Therefore, this criterion does not apply.

15.440.100 Facility requirements.
Bicycle parking facilities shall be provided for the uses shown in the following table. Fractional space requirements shall be rounded up to the next whole number.

Use	Minimum Number of Bicycle Parking Spaces Required
New commercial, industrial, office, and institutional developments, including additions that total 4,000 square feet or more	One bicycle parking space for every 10,000 square feet of gross floor area.

Finding: VGMHC is currently 13,107 square feet. This proposed development will add 9,204 square feet, for a total of 22,131 square feet of gross floor area. Therefore, three bicycle parking spaces are required. The applicant is proposing two sets of four spaces.

This criterion is met.

15.440.110 Design.

A. Bicycle parking facilities shall consist of one or more of the following:

1. A firmly secured loop, bar, rack, or similar facility that accommodates locking the bicycle frame and both wheels using a cable or U-shaped lock.

2. An enclosed locker.

3. A designated area within the ground floor of a building, garage, or storage area. Such area shall be clearly designated for bicycle parking.

4. Other facility designs approved by the director.

Finding: The applicant is proposing two groups of four bicycle spaces. One set, according to Sheet L1.01 Materials Plan – South, the facilities will consist of Timberform Cycloops Model, and the other will be an enclosed facility that provides a wall rack and locking door. Each group meets one of the above listed criteria.

The criterion of section A is met.

B. All bicycle parking spaces shall be at least six feet long and two and one-half feet wide. Spaces shall not obstruct pedestrian travel.

Finding: The set of four spaces that will utilize the loop locking system are shown on Sheet A1.0 and each space will be 2 feet by 6 feet long. They are shown to not obstruct pedestrian travel. The other set of four will be located in a 9.7 foot by 8.3-foot structure and will use hanging wall racks per Sheet A7.2 – Site Structures. According to Sheet A1.0 – Overall Site Plan the structure does not obstruct pedestrian travel.

This criterion is met.

C. All spaces shall be located within 50 feet of a building entrance of the development.

Finding: The set of four that utilize the loop locking system are placed within 50 feet of a building entrance. The four that are located within the enclosed facility are over 50 feet from a building entrance. However, since the applicant is only required to have three bicycle parking spaces, and is providing four that do meet this criterion, staff find this code objective has been met and the additional four spaces within the facility are value added to the development.

This criterion is met.

D. Required bicycle parking facilities may be located in the public right-of-way adjacent to a development subject to approval of the authority responsible for maintenance of that right-of-way. [Ord. 2518, 9-21-99. Code 2001 § 151.625.3.]

Finding: None of the proposed bicycle parking facilities are located within the public right-of-way. This criterion is not applicable.

15.440.140 Private walkway design.

A. All required private walkways shall meet the applicable building code and Americans with Disabilities Act requirements.

Finding: Private walkways are being proposed on site. All required private walkways shall meet the applicable building code and Americans with Disabilities Act requirements. Plans addressing this shall be submitted at time of building permits and reviewed for approval.

If the aforementioned condition is adhered to, this criterion will be met.

B. Required private walkways shall be a minimum of four feet wide.

Finding: As shown on Sheet A1.1 for the North Lot Site Plan, and Sheet A1.2, the Main Site Plan, all proposed pedestrian pathways are shown to be a minimum of 5 feet wide.

This criterion is met.

C. Required private walkways shall be constructed of portland cement concrete or brick.

Finding: According to Sheet L1.01, Materials Plan – South and Sheet L1.02 Materials Plan – North, all private walkways will be made of concrete pavement.

This criterion is met.

D. Crosswalks crossing service drives shall, at a minimum, be painted on the asphalt or clearly marked with contrasting paving materials or humps/raised crossings. If painted striping is used, it should consist of thermoplastic striping or similar type of durable application.

Finding: The proposed development does show multiple crosswalks crossing service drives on both the Main Site and the North Lot. Staff was unable to identify the type of striping being used. All crosswalk striping should consist of thermoplastic striping or similar type of durable application. Identification of this shall be submitted during the building permit review.

If the aforementioned condition is adhered to, this criterion will be met.

E. At a minimum, required private walkways shall connect each main pedestrian building entrance to each abutting public street and to each other.

Finding: A pedestrian path is noted on Sheet A1.2 Main Street Site Plan, connecting the public sidewalk along E Hancock Street to the onsite pedestrian path that leads to the main pedestrian entrance of the building.

This criterion is met.

F. The review body may require on-site walks to connect to development on adjoining sites.

Finding: The review body is not requiring this criterion to be met.

G. The review body may modify these requirements where, in its opinion, the development provides adequate on-site pedestrian circulation, or where lot dimensions, existing building layout, or topography preclude compliance with these standards. [Ord. 2619, 5-16-05; Ord. 2513, 8-2-99. Code 2001 § 151.620.3.]

Finding: The review body is not proposing any modifications to the requirements.

3. Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and NMC 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.

Finding: This criterion is addressed in the following findings.

15.415.020 Building height limitation.

B. Commercial, Industrial and Mixed Employment.

2. In the AI, C-2, C-3, M-E, M-1, M-2, and M-3 districts there is no building height limitation, except, where said districts abut upon a residential district, the maximum permitted building height shall not exceed the maximum building height permitted in the abutting residential district for a distance of 50 feet from the abutting boundary.

Finding: The development site is located within the C-2 zone. Per NMC 15.305.020, the Zoning Use Table, this business type is considered a commercial use. In the C-2 zone there are no height restrictions for commercial buildings unless the property abuts a residential zone. The development site is surrounded by properties that are zoned C-2.

This criterion is met.

15.415.040 Public access required.

No building or structure shall be erected or altered except on a lot fronting or abutting on a public street or having access to a public street over a private street or easement of record approved in accordance with provisions contained in this code. New private streets may not be created to provide access except as allowed under NMC 15.332.020(B)(24), 15.336.020(B)(8), and in the M-4 zone. Existing private streets may not be used for access for new dwelling units, except as allowed under NMC 15.405.030. No building or structure shall be erected or altered without provisions for access roadways as required in the Oregon Fire Code, as adopted by the city.

Finding: The Main Site, tax lot R3220AB 00500, has approximately 260 feet of frontage along E Hancock Street, a public street. The North Lot, R3220AB 00702, has approximately 27 feet of frontage along E Hancock Street. No private streets are proposed.

This criterion is met.

15.405.010 Minimum and maximum lot area.

2. In the AI, C-1, C-2, and C-3 districts, each lot or development site shall have a minimum area of 5,000 square feet or as may be established by a subdistrict.

Finding: All three tax lots associated with this development are existing lots of record located in the C-2 zone and are conforming to the minimum lot area of this section. No changes to the lot areas are proposed.

This criterion is met.

15.405.030 Lot dimensions and frontage.

Finding: All three tax lots associated with this development are existing lots of record located in the C-2 zone. No changes to the lot dimensions or frontages are proposed.

The criteria of this section are not applicable.

15.405.040 Lot coverage and parking coverage requirements

B. Residential uses in residential zones shall meet the following maximum lot coverage and parking coverage standards; however, cottage cluster projects shall be exempt from the standards. See the definitions in NMC 15.05.030 and Appendix A, Figure 4.

C. All other districts and uses not listed in subsection (B) of this section shall not be limited as to lot coverage and parking coverage except as otherwise required by this code.

Finding: The subject property is located in the C-2 / Community Commercial zone which is not listed in subsection B. Therefore, per subsection C, lot coverage and parking coverage requirements are not applicable to this project.

15.410.020 Front yard setback.

B. Commercial.

2. All lots or development sites in the C-2 district shall have a front yard of not less than 10 feet. There shall be no minimum front yard setback for C-2 zoned property that has frontage on E. Portland Road or Highway 99 W. The maximum front yard setback for C-2

zoned property that has frontage on E. Portland Road or Highway 99 W. shall be no greater than 10 feet. A greater front yard setback is allowed for C-2 zoned property having frontage on E. Portland Road or Highway 99 W. when a plaza or other pedestrian amenity is provided; however, said front yard setback should be the minimum setback needed to accommodate a pedestrian amenity. No parking shall be allowed in said yard. Said yard shall be landscaped and maintained.

Finding: The Main Site, tax lot R3220AB 00500, has an existing parking area that parallels the full length of the site's frontage along E Hancock Street. An 8.4-foot landscape buffer is maintained from the property line north to the parking area, with an additional 6.6-foot-wide landscaped area that is located in the public right-of-way extending south from the property line to the public sidewalk. This configuration was most recently approved under a 2014 design review (DR1-14-002).

The North Lot, R3220AB 00702, is an interior flag lot, with frontage along E Hancock Street, only occurring within the service drive area.

No improvements are proposed on the West Lot, R3220AB 00701. This lot is only included within the development site to provide the additional feet of easement required for the service drive to access the North Lot parking area and E Hancock Street.

This criterion is met.

15.410.030 Interior yard setback.

B. Commercial.

1. All lots or development sites in the C-1 and C-2 districts have no interior yards required where said lots or development sites abut property lines of commercially or industrially zoned property. When interior lot lines of said districts are common with property zoned residentially, interior yards of not less than 10 feet shall be required opposite the residential districts.

Finding: All three tax lots included in the development site are located in the C-2/Community Commercial zone and abut other property that are also zoned C-2 / Community Commercial. Those property lines abut C-2 zoned property; therefore, no interior yard distances are required to be maintained.

Sheet L1.01 - Materials Plan South shows a 10-foot-wide utility easement and 15-foot-wide public utility easement exists along the East property line of the Main Site, tax lot R3220AB 00500. On said sheet, three proposed future art installations are noted to be placed within those easement areas. Please see findings in NMC 15.505.040(F) – Public Utility Standards-Easements for conditions on placing structures within easements.

It was also noted on Sheet A1.2 - Main Site Plan, that a plaza and additional landscaping areas are proposed along the west property line of the Main Site, tax lot R3220AB 00500. The developments cross the property line on to the North Lot, tax R3220AB 00702, owned by Goodwill Industries of the Columbia Willamette and are located within the declared “Driveway” easement as noted in the Declaration of Access Easement, Record No. 201301634. Prior to building permit approval, a lease agreement for tax lot R3220AB 00702 shall be submitted to the City detailing that VGMHC may utilize tax lot R3220AB 00702 for the plaza and surrounding landscaping. The lease should consider the current Declaration of Access Easement, Record No. 201301634, Agreement Section 2.A that states:

“The Easement Users shall not, nor shall they permit their employees, visitors, vendors, licensees, invitees, contractors or any other party to, install, construct or otherwise create any permanent or temporary obstruction of the Driveway, including the parking of vehicles other than emergency vehicles. Use of the Driveway for ingress and egress shall not be considered an obstruction of the Driveway unless such uses results in the queuing of vehicles in the Driveway.”

If the aforementioned condition is adhered to, this criterion will be met.

15.410.060 Vision clearance setback.

The following vision clearance standards shall apply in all zones (see Appendix A, Figure 9).

A. At the intersection of two streets, including private streets, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 50 feet in length.

B. At the intersection of a private drive and a street, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 25 feet in length.

C. Vision clearance triangles shall be kept free of all visual obstructions from two and one-half feet to nine feet above the curb line. Where curbs are absent, the edge of the asphalt or future curb location shall be used as a guide, whichever provides the greatest amount of vision clearance.

Finding: The Main Site, tax lot R3220AB 00500, has two access points on E Hancock Street where the 25-foot vision clearance triangle applies. According to Sheet A1.2, Main Site Plan, no visual obstructions are proposed in those areas.

This criterion is met.

15.410.070 Yard exceptions and permitted intrusions into required yard setbacks.

The following intrusions may project into required yards to the extent and under the conditions and limitations indicated:

A. Depressed Areas. In any district, open work fences, hedges, guard railings or other landscaping or architectural devices for safety protection around depressed ramps, stairs or retaining walls may be located in required yards; provided, that such devices are not more than three and one-half feet in height.

B. Accessory Buildings. In front yards on through lots, where a through lot has a depth of not more than 140 feet, accessory buildings may be located in one of the required front yards; provided, that every portion of such accessory building is not less than 10 feet from the nearest street line.

C. Projecting Building Features. The following building features may project into the required front yard no more than five feet and into the required interior yards no more than two feet; provided, that such projections are no closer than three feet to any interior lot line:

- 1. Eaves, cornices, belt courses, sills, awnings, buttresses or other similar features.*
- 2. Chimneys and fireplaces, provided they do not exceed eight feet in width.*
- 3. Porches, platforms or landings which do not extend above the level of the first floor of the building.*
- 4. Mechanical structures (heat pumps, air conditioners, emergency generators and pumps).*

Finding: A required yard setback is only required along the Main Site, R3220AB 0500, front property line. The proposed plans do not show any depressed areas, new accessory buildings or projecting building features within the required yard setbacks. Therefore, no exceptions or permitted intrusions are proposed and the criteria of this section are not applicable.

D. Fences and Walls.

2. In any commercial, industrial, or mixed employment district, a fence or wall shall be permitted to be placed at the property line or within a yard setback as follows:

- a. Not to exceed eight feet in height. Located or maintained in any interior yard except where the requirements of vision clearance apply. For purposes of fencing only, lots that are corner lots or through lots may select one of the street frontages as a front yard and all other yards shall be considered as interior yards, allowing the placement of an eight-foot fence on the property line.*
- b. Not to exceed four feet in height. Located or maintained within all other front yards.*

Finding: Fences are not proposed within the development site. This criterion is not applicable.

E. Parking and Service Drives (Also Refer to NMC 15.440.010 through 15.440.080).

1. In any district, service drives or accessways providing ingress and egress shall be permitted, together with any appropriate traffic control devices in any required yard.

Finding: Service drives are existing within the required front yard of the Main Site, tax lot R3220AB 00500. Any appropriate traffic control devices shall be installed for service drives providing ingress and egress.

If the aforementioned condition is adhered to, this criterion will be met.

3. In any commercial or industrial district, except C-1, C-4, M-1, and M-E, public or private parking areas or parking spaces shall be permitted in any required yard (see NMC 15.410.030). Parking requirements in the C-4 district and the M-E district within the riverfront overlay subdistrict are described in NMC 15.352.040(H).

Finding: The proposed development, located within the C-2 / Community Commercial zone. This code section references NMC 15.410.030 which addresses interior yards. An interior yard would be required if this site bordered a residential zone, and this provision would have allowed parking in that area. This development is not located next to a residential zone and therefore no interior yard is required. Therefore, this section is not applicable.

F. Public Telephone Booths and Public Transit Shelters. Public telephone booths and public transit shelters shall be permitted; provided, that vision clearance is maintained for vehicle requirements for vision clearance.

Finding: This criterion is not applicable because the applicant is not proposing any public telephone booths or public transit shelters. The criterion is not applicable.

4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.

15.420.010 Required minimum standards.

B. Required Landscaped Area. The following landscape requirements are established for all developments except single-family dwellings:

1. A minimum of 15 percent of the lot area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subsection (B)(3) of this section.

Development in the C-3 (central business district) zoning district and

M-4 (large lot industrial) zoning district is exempt from the 15 percent landscape area requirement of this section. Additional landscaping requirements in the C-4 district are described in NMC 15.352.040(K). In the AI airport industrial district, only a five percent landscaping standard is required with the goal of “softening” the buildings and making the development “green” with plants, where possible. The existence of the runway, taxiway, and approach open areas already provide generally for the 15 percent requirement. Developments in the AI airport industrial district with a public street frontage shall have said minimum landscaping between the front property line and the front of the building.

Finding: The improvements for this development will be confined to the Main Site, R3220AB 00500, and the North Lot, R3220AB 00702. The Main Site is 41,144 square feet, requiring 6,171 square feet of landscaped area. The North Lot is 43,580 square feet, requiring 6,537 square feet of landscaped area. Sheet L3.00, Planting Schedule and Notes, states that the applicant is proposing 7,377 square feet of landscaped area for the Main Site, and 10,149 square feet for the North Lot. Both site proposals are surpassing the 15% requirement of this section.

This criterion is met.

2. All areas subject to the final design review plan and not otherwise improved shall be landscaped.

Finding: Per the submitted landscape plans, Sheet L3.01 – Planting Plan South, and Sheet L3.02 – Planting Plan North, all areas not being utilized for parking, service drive aisle, pedestrian access ways, outdoor features, or the building itself, will be landscaped.

This criterion is met.

3. The following landscape requirements shall apply to the parking and loading areas:

a. A parking or loading area providing 10 or more spaces shall be improved with defined landscaped areas totaling no less than 25 square feet per parking space.

Finding: The Main Site, tax R3220AB 00500, will be providing 20 parking spaces. 16 of these parking spaces are existing, with four new ADA parking spaces being added in a separate block near the new main entrance. This amount of parking if new would require 500 square feet of landscaping. The Main Site has existing landscaping along the existing parking area totaling approximately 2,848 square feet. Approximately 400 square feet of landscaping is proposed along the new ADA parking spaces in defined landscaped areas.

The North Lot, R3220AB 00702, will provide 66 new parking spaces, requiring a total of 1,650 square feet of landscaping. Sheet L3.02 shows landscaping will be in defined areas and total over 2,000 square feet.

This criterion is met.

b. A parking, loading area, or drive aisle which runs adjacent to a property line shall be separate from any lot line adjacent to a street by a landscaped strip at least 10 feet in interior width or the width of the required yard, whichever is greater, and any other lot line by a landscaped strip of at least five feet in interior width. See subsections (B)(3)(c) and (d) of this section for material to plant within landscape strips.

Finding: The Main Site, R32200AB 00500, has an existing parking area that does run adjacent to E Hancock Street. The parking area has a landscape buffer of 8.4 feet that was most recently approved under a 2014 design review (DR1-14-002). The drive aisle for the Main Site that provide ingress from E Hancock Street has a 5.7-foot landscape buffer along the east interior property line. The drive aisle continues until it connects with the North Lot, R32200AB 00702, where the North Lot will be utilized as ingress/egress to E Hancock Street and/or the North Lot Parking area. Since these two lots will be jointly utilizing a drive aisle, no landscape buffer will be required between the property lines.

The North Lot does not have a parking area, drive aisle or loading that runs adjacent to a lot line that is adjacent to a street. Per Sheets L3.01 and L3.02, these areas will be located adjacent to interior lot lines. The parking areas and drive aisles in the North Lot will be separated from interior lot lines by landscaped strips of at least five feet in interior width.

The loading berth that is proposed to serve VGMHC is located on both tax lot R3220AB 00500 and tax lot R3220AB 00702. If this location is approved through the lease agreement, no landscape buffer will be required between the shared interior lot line.

This criterion is met.

c. A landscaped strip separating a parking area, loading area, or drive aisle from a street shall contain street trees spaced as appropriate to the species, not to exceed 50 feet apart on average, and a combination of shrubs and ground cover, or lawn. This landscaping shall provide partial screening of these areas from the street.

Finding: The Main Site, R3220AB 00500, does have a landscape strip separating a parking area from E Hancock Street. Per Sheet L3.01 Planting Plan South, existing scarlet oak (*Quercus*

coccinea) trees are located in this strip at a spacing of approximately 37 feet on center planted along the south property line. The landscaping plan also notes that a mix of low shrubs and ground cover from 2-gallon minimum containers will be planted. A final landscaping plan meeting requirements of NMC 15.420.010 which identifies the specific number, location, and species of all newly installed landscaping shall be provided at the time of building permit application so that a final landscaping inspection may occur prior to obtaining the certificate of occupancy.

If the aforementioned condition is adhered to, this criterion will be met.

d. A landscaped strip separating a parking area, loading area, or drive aisle from an interior lot line shall contain any combination of trees, shrubs, ground cover or lawn. Plant material shall be selected from at least two different plant material groups (example: trees and shrubs, or lawn and shrubs, or lawn and trees and shrubs).

Finding: The North Lot, R3220AB 00702, does have a landscaped strip separating the parking area and drive aisle from interior lot lines. Per Sheet L3.02 Planting Plan North, it does show the site will be meeting the requirements in this section through a variety of plant material combinations. The plan also notes a 10-foot-wide utility easement along the east property line, however three vine maples (*Acer circinatum*) are proposed within the easement. Please see findings in NMC 15.505.040(F) Public Utility Standards – Easements, that state no trees shall be planted within easements. A final landscaping plan meeting requirements of NMC 15.420.010 which identifies the specific number, location, and species of all newly installed landscaping shall be provided at the time of building permit application so that a final landscaping inspection may occur prior to obtaining the certificate of occupancy.

If the aforementioned condition is adhered to, this criterion will be met.

e. Landscaping in a parking or loading area shall be located in defined landscaped areas which are uniformly distributed throughout the parking or loading area.

Finding: Defined landscaped areas have been provided per Sheets L3.01 and L3.02. The landscaped areas completely border the parking area and are contained with a curb edge. Landscaped parking islands are also uniformly distributed throughout and meet NMC 15.420.010(B)(3)(h) requirements.

This criterion is met.

f. Landscaping areas in a parking lot, service drive or loading area shall have an interior width of not less than five feet.

Finding: Per Sheets L3.01 and L3.02, the landscaping areas in the parking lot and service drive show an interior width of not less than five feet.

This criterion is met.

g. All multifamily, institutional, commercial, or industrial parking areas, service drives, or loading zones which abut a residential district shall be enclosed with a 75 percent opaque, site-obscuring fence, wall or evergreen hedge along and immediately adjacent to any interior property line which abuts the residential district. Landscape plantings must be large enough to provide the required minimum screening requirement within 12 months after initial installation. Adequate provisions shall be maintained to protect walls, fences or plant materials from being damaged by vehicles using said parking areas.

Finding: All three tax lots associated with this development are located within the C-2 / Community Commercial zone and are not abutting a residential district, only additional C-2 zone properties. Therefore, the screening requirements of this section are not applicable.

h. An island of landscaped area shall be located to separate blocks of parking spaces. At a minimum, one deciduous shade tree per seven parking spaces shall be planted to create a partial tree canopy over and around the parking area. No more than seven parking spaces may be grouped together without an island separation unless otherwise approved by the director based on the following alternative standards:

i. Provision of a continuous landscaped strip, with a five-foot minimum width, which runs perpendicular to the row of parking spaces (see Appendix A, Figure 13).

ii. Provision of tree planting landscape islands, each of which is at least 16 square feet in size, and spaced no

more than 50 feet apart on average, within areas proposed for back-to-back parking (see Appendix A, Figure 14).

Finding: Per Sheet L3.01 Planting Plan South, there will be a block of four new ADA parking places proposed on the Main Site, R3220AB 00500. Therefore, this section would not apply to

these spaces. The other 16 parking spaces on this site are existing and were most recently approved under a 2014 design review (DR1-14-002).

The North Lot, R3220AB 00702, is proposing a parking configuration of 66 parking spaces, consisting of blocks of either five or six parking spaces according to Sheet L3.02 Planting Plan North. Separating each block of spaces is a landscaped island containing a Bloodgood London Planetree (*Platanus x acerifolia*) and a mix of 2-gallon low shrubs and ground cover.

This criterion is met.

4. Trees, Shrubs and Ground Covers. The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.

a. Arterial and minor arterial street trees shall have spacing of approximately 50 feet on center. These trees shall have a minimum two-inch caliper tree trunk or stalk at a measurement of two feet up from the base and shall be balled and burlapped or boxed.

Finding: E Hancock Street is local residential street as identified in the City of Newberg Transportation System Plan. This criterion is not applicable.

b. Collector and local street trees shall be spaced approximately 35 to 40 feet on center. These trees shall have a minimum of a one and one-half or one and three-fourths inch tree trunk or stalk and shall be balled and burlapped or boxed.

Finding: The Main Site, R3220AB 00500, is the only area within this development that is required to have street trees due to the frontage along E Hancock Street, a local residential street. As addressed in previous findings, street trees already exist here, as shown on Sheet L32.01 Planting Plan South, at a spacing of approximately 37 feet. No other street trees are required for this development.

This criterion is met.

c. Accent Trees. Accent trees are trees such as flowering cherry, flowering plum, crab-apple, Hawthorne and the like. These trees shall have a minimum one and one-half inch caliper tree trunk or stalk and shall be at least eight to 10 feet in height. These trees may be planted bare root or balled and burlapped. The spacing of these trees should be approximately 25 to 30 feet on center.

Finding: Accent trees are not proposed within the street tree area. This criterion is not applicable.

d. All broad-leafed evergreen shrubs and deciduous shrubs shall have a minimum height of 12 to 15 inches and shall be balled and burlapped or come from a two-gallon can. Gallon-can size shrubs will not be allowed except in ground covers. Larger sizes of shrubs may be required in special areas and locations as specified by the design review board. Spacing of these shrubs shall be typical for the variety, three to eight feet, and shall be identified on the landscape planting plan.

Finding: Sheet L3.01 and L3.02, identify that a mix of 2 gallon can size shrubs and ground cover will be planted through the site. The plans do not provide spacing, species, or specific height details. A final landscaping plan meeting requirements of NMC 15.420.010 which identifies the specific number, location, and species of all newly installed landscaping shall be provided at the time of building permit application so that a final landscaping inspection may occur prior to obtaining the certificate of occupancy.

If the aforementioned condition is adhered to, this criterion will be met.

e. Ground Cover Plant Material. Ground cover plant material such as greening juniper, cotoneaster, minor Bowles, English ivy, hypericum and the like shall be one of the following sizes in specified spacing for that size:

<i>Gallon cans</i>	<i>3 feet on center</i>
<i>4" containers</i>	<i>2 feet on center</i>
<i>2-1/4" containers</i>	<i>18" on center</i>
<i>Rooted cuttings</i>	<i>12" on center</i>

Finding: Sheet L3.01 and L3.02, identify that a mix of 2 gallon can size shrubs and ground cover will be planted through the site. The plans do not provide spacing, species, or specific height details. A final landscaping plan meeting requirements of NMC 15.420.010 which identifies the specific number, location, and species of all newly installed landscaping shall be provided at the time of building permit application so that a final landscaping inspection may occur prior to obtaining the certificate of occupancy.

If the aforementioned condition is adhered to, this criterion will be met.

5. Automatic, underground irrigation systems shall be provided for all areas required to be planted by this section. The director shall retain the flexibility to allow a combination of irrigated and

nonirrigated areas. Landscaping material used within nonirrigated areas must consist of drought- resistant varieties. Provision must be made for alternative irrigation during the first year after initial installation to provide sufficient moisture for plant establishment.

Finding: Neither the narrative nor the landscape plans confirm that the landscaping will contain automatic, underground irrigations systems. Automatic, underground irrigation systems shall be provided for all areas required to be planted by NMC 15.420.010. Updated landscape plans detailing irrigation details shall be submitted at the time of building permit applications.

If the aforementioned condition is adhered to, this criterion will be met.

6. Required landscaping shall be continuously maintained.

Finding: Neither the narrative nor the landscape plans confirm how the landscaping will be continuously maintained. Required landscaping shall be continuously maintained. Updated landscape plans detailing how the landscaping will be continuously maintained shall be submitted at the time of building permit applications.

If the aforementioned condition is adhered to, this criterion will be met.

7. Maximum height of tree species shall be considered when planting under overhead utility lines.

Finding: Overhead utility lines are not present on the development site and any new connections are conditioned to be underground.

This criterion is met.

8. Landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) will apply to development proposals unless the institution has addressed the requirements and standards by an approved site development master plan. With an approved site development master plan, the landscape requirements will be reviewed through an administrative Type I review process.

Finding: The development does not have an approved site development master plan. The landscaping requirements of subsection (B)(3) of this section have been applied to this project.

This criterion is met.

9. In the M-4 zone, landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) do not apply unless within 50 feet of a residential district.

Finding: This project is in the C-2 / Community Commercial zone, not in the M-4 zone. This criterion is not applicable.

C. Installation of Landscaping. All landscaping required by these provisions shall be installed prior to the issuance of occupancy permits, unless security equal to 110 percent of the cost of the landscaping as determined by the director is filed with the city, insuring such installation within six months of occupancy. A security – cash, certified check, time certificates of deposit, assignment of a savings account, bond or such other assurance of completion as shall meet with the approval of the city attorney – shall satisfy the security requirements. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the director, the security may be used by the city to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the city shall be returned to the applicant.

Finding: All landscaping must be completed prior to final occupancy. If landscaping cannot be completed, options listed in NMC15.420.010(C) may be applied.

5. Signs. Signs shall comply with NMC 15.435.010 et seq dealing with signs

Findings: Please see findings in section NMC 15.220.030 (10) Site design review requirements – Signs and Graphic.

6. Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.

Finding: A manufactured dwelling or mobile home are not being proposed with this project. This criterion is not applicable.

7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.

Finding: VGMHC is an existing business / use proposing substantial modifications to its current site in the C-2 / Community Commercial zone. A change of use is not proposed. VGMHC is best categorized as a “Medical office category” defined in NMC 15.303.411, as it provides medical or surgical care to patients within the office. Services are provided on an outpatient basis only. Examples include licensed doctors, dentists, and outpatient laboratories. Per NMC 15.305.020 Zoning Use Table a “Medical Office Category” is a permitted use in the C-2 zone and zoning district compliance has been met.

8. Subdistrict Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.

15.340.010 Purpose.

A. In order to carry out the provisions of this airport overlay subdistrict, there are created and established certain zones which include all of the land lying beneath the airport imaginary surfaces as they apply to Sportsman Airpark in Yamhill County. Such zones are shown on the current airport overlay zone map and the displaced threshold approach surface map, prepared by the Newberg engineering department (see Appendix B, Maps 2 and 3).

B. Further, this overlay zone is intended to prevent the establishment of air space obstructions in airport approaches and surrounding areas through height restrictions and other land use controls as deemed essential to protect the health, safety and welfare of the people of the City of Newberg and Yamhill County. [Ord. 2451, 12-2-96. Code 2001 § 151.450.]

Finding: This property is located within the Airport Overlay subdistrict within the C-2 / Community Commercial Zone. However, the site is located just within the Airport Inner Horizontal Surface, and not within the airport approach safety zone. Therefore, the specific procedures and limitations outlined within NMC 15.340 will not apply as those are directed towards developments in the airport approach safety zone.

This criterion is not applicable.

9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements

Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street

frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.

Finding: This development is providing pedestrian access and vehicular access to E Hancock Street. This development will improve pedestrian access to the North Lot, tax lot 3220AB 00702. All development site tax lots are existing lots of record and no new parcels are being created.

This criterion is met.

15.220.030 Site design review requirements

B. Type II *The following information is required to be submitted with all Type II applications for a site design review.*

9. Buffering and Screening. *Buffering and screening of areas, structures and facilities for storage, machinery and equipment, services (mail, refuse, utility wires, and the like), loading and parking and similar accessory areas and structures shall be shown on the plans.*

Finding: The submitted preliminary plans show both parking areas and a trash enclosure area, both with required screening requirements.

This criterion is met.

10. Signs and Graphics. *The location, colors, materials, and lighting of all exterior signs, graphics or other informational or directional features shall be shown on the plans.*

Finding: The submitted plans do include signs and graphics. The plans also state that murals may be incorporated. A separate sign application shall be submitted accordingly to both the Planning and Building Division and approved prior to the placement of any signs or murals that are subject to NMC 15.435.

11. Exterior Lighting. *Exterior lighting within the design review plan shall be indicated on the plans. The direction of the lighting, size and type of fixtures, and an indication of the amount of lighting shall be shown on the plans.*

15.425 Exterior Lighting

15.425.020 Applicability and exemptions.

A. Applicability. *Outdoor lighting shall be required for safety and personal security in areas of assembly, parking, and traverse, as part of multifamily residential, commercial, industrial, public, recreational and institutional uses. The applicant for any Type I*

or Type II development permit shall submit, as part of the site plan, evidence that the proposed outdoor lighting plan will comply with this section. This information shall contain but not be limited to the following:

1. The location, height, make, model, lamp type, wattage, and proposed cutoff angle of each outdoor lighting fixture.

Finding: This project is a commercial use redevelopment that qualifies as a Type II development permit requiring outdoor lighting for safety and personal security. Lighting information was provided with the application that includes location, make, model, lamp type, wattage, height and proposed cutoff angle.

This criterion is met.

2. Additional information the director may determine is necessary, including but not limited to illuminance level profiles, hours of business operation, and percentage of site dedicated to parking and access.

Finding: No additional information is being requested by the director.

3. If any portion of the site is used after dark for outdoor parking, assembly or traverse, an illumination plan for these areas is required. The plan must address safety and personal security.

Finding: The area will be used after dark, and the provided lighting plans, Sheets E1.0 – North and E1.2 – South, show that on-site lights will be equally placed along all common areas in the parking lot, walking paths, and building elevations.

This criterion is met.

15.425.040 Requirements.

A. General Requirements – All Zoning Districts.

1. Low-level light fixtures include exterior lights which are installed between ground level and six feet tall. Low-level light fixtures are considered nonintrusive and are unrestricted by this code.

2. Medium-level light fixtures include exterior lights which are installed between six feet and 15 feet above ground level. Medium-level light fixtures must either comply with the

shielding requirements noted on the front of subsection (B) of this section, or the applicant shall show that light trespass from a property has been designed not to exceed one-half foot-candle at the property line.

3. High-level light fixtures include exterior lights which are installed 15 feet or more above ground level. High-level light fixtures must comply with the shielding requirements of subsection (B) of this section, and light trespass from a property may not exceed one-half foot-candle at the property line.

Finding: The proposed design is utilizing the North Lot, R3220AB 00702, and the Main Site, R3220AB 00500, as one functioning development site. Therefore, staff find that trespass occurring on shared lot lines is not in violation of the objectives of this code. If the lease allowing VGMHC to use tax lot R3220AB 00702 were to expire, light trespass issues would need to be addressed at that time. No light trespass is occurring on properties that abut the North Lot or Main Site.

This criterion is met unless the aforementioned condition becomes applicable, then the condition will need to be adhered to in order to meet this criterion.

12. Trash and Refuse Storage. All trash or refuse storage areas, along with appropriate screening, shall be indicated on the plans. Refuse storage areas must be constructed of brick, concrete block or other similar products as approved by the director.

Finding: As detailed on Sheet A7.5, Site Structures, the trash and refuse storage area will be screened with CMU (concrete masonry units) and have a gate. The applicant shall coordinate with Waste Management to determine if the design and location of the trash and refuse storage area is appropriate for their vehicles. Approved communication shall be submitted with building permit applications.

According to Sheet A1.1, Overall Site Plan, the proposed trash enclosure is located on the North Lot, tax lot R3220AB 00702, which is owned by Goodwill Industries of Columbia Willamette. The proposed trash enclosure is located within the declared “Driveway” easement as noted in the Declaration of Access Easement, Record No. 201301634. Prior to building permit approval, a lease agreement for tax lot R3220AB 00702 shall be submitted to the City detailing that VGMHC may utilize tax lot R3220AB 00702 for a trash enclosure area. The lease should consider the current Declaration of Access Easement, Record No. 201301634, Agreement Section 2.A that states:

“The Easement Users shall not, nor shall they permit their employees, visitors, vendors, licensees, invitees, contractors or any other party to, install, construct or otherwise create any permanent or temporary obstruction of the Driveway, including the parking of vehicles other than emergency vehicles. Use of the Driveway for ingress and egress shall not be considered an obstruction of the Driveway unless such uses results in the queuing of vehicles in the Driveway.”

If the lease to use tax lot R3220AB 00702 does not include the trash enclosure approval and/or were to expire, VGMHC by default would no longer be compliant with the trash enclosure requirements of this code.

If the aforementioned conditions are adhered to and a lease for tax lot R3220AB 00702 is continually held, this criterion will be met.

13. Roadways and Utilities. The proposed plans shall indicate any public improvements that will be constructed as part of the project, including, but not limited to, roadway and utility improvements.

Finding: The submitted materials show modification of an existing driveway approach to serve the site along with new water service laterals to serve the proposed project.

This criterion is met.

14. Traffic Study. A traffic study shall be submitted for any project that generates in excess of 40 trips per p.m. peak hour. This requirement may be waived by the director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the director for projects below 40 trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service. The traffic study shall be conducted according to the City of Newberg design standards. [Ord. 2619, 5-16-05; Ord. 2451, 12-2-96. Code 2001 § 151.192.]

Finding: The applicant submitted a traffic generation memo dated June 8, 2022, with the land use application. Based on the analysis, the proposed project will generate an estimated 38 trips in the PM Peak hour (4pm-6pm). This is below the threshold to require a traffic study.

This criterion is not applicable.

15.220.070 Additional requirements for development in the C-2 zoning district.

The purpose of this section is to ensure that development in the C-2 zoning district is designed to promote pedestrian and bicycle uses and improve aesthetics and compatibility. An applicant for a new development or redevelopment within the C-2 zoning district, which is subject to the site design review process, must demonstrate that the following site and building design elements have been incorporated into the design of the project. Exceptions to these additional development requirements may be granted if the requirements would result in construction that is out of character with surrounding development. Applicants for redevelopment of a designated landmark will not be subject to these additional requirements, except for requirements regarding parking and service drives.

A. Building Entrances. Each building on a lot shall have a primary pedestrian entrance oriented to the primary street. "Oriented to a street" means that the building entrance faces the street or is connected to the street by a direct and convenient pathway not exceeding 60 feet in length. "Primary street" means the street which has the highest estimated volume of pedestrian traffic. This requirement does not apply to buildings that are located behind other buildings on the lot such that 50 percent or more of their building frontage is blocked by the front building, as measured by sight lines that are perpendicular to the street right-of-way. Such rear buildings shall have a primary entrance oriented to an internal sidewalk or pedestrian pathway system which is internally connected and provides a connection to the primary street.

Finding: As identified on Sheet A3.1 North & South Elevations and Sheet A1.0 Overall Site Plan, the primary pedestrian entrance is oriented to the primary street, which is E Hancock Street.

This criterion is met.

B. Parking and Service Drives. No off-street parking or service drives shall be placed within the required front yard setback. No off-street parking shall be placed between the front property line of the primary street, as defined in subsection (A) of this section, and the building. This requirement does not apply to buildings that are located behind other buildings on the lot such that 50 percent or more of their building frontage is blocked by the front building, as measured by sight lines that are perpendicular to the street right-of-way.

Finding: The existing VGHMC building and parking lot configuration on the Main Site, tax lot R3220AB 00500, has two rows of parking that exist between the front property line and E Hancock Street, the primary street, and the building entrance. This design was most recently

approved under a 2014 design review (DR1-14-002). See next section for staff identified exception to this criterion.

This criterion is met.

C. Exceptions. The review body may approve exceptions to the above, provided there are no reasonable alternatives that would allow access to or parking on the lot.

Finding: This proposed redevelopment design projects the buildings front façade forward, closer to the primary street, relocates four ADA spaces to sit recessed within the buildings front line, thus reducing the parking in front of the building to essentially one row. Therefore, while parking spaces do still exist that conflict with this code, staff find this redevelopment brings the building closer to compliance of the existing code requirement of this section.

This criterion is met.

D. Building Mass. Where building elevations are oriented to the street in conformance with subsection (A) of this section, architectural features such as windows, pedestrian entrances, building offsets, projections, detailing, change in materials or similar features, shall be used to break up and articulate large building surfaces and volumes.

Finding: As shown on Sheet A3.1 North & South Elevations, the proposed redevelopment is incorporating several architectural features listed in this section to provide visual interest and distinguishing characteristics to the building. Elements include an arcade grid to let in natural light, cedar tongue and groove siding, a green wall area, concrete cast planters with stone facing, heavy timber trellis members, and as stated in the narrative, inspiration from mid-century Mexican modernist designers that use bold, saturated colors.

This criterion is met.

E. Corner Lots. Buildings on corner lots shall have their primary entrance oriented to the street corner, or within 40 feet of the street corner (i.e., as measured from the lot corner). In this case, the street corner shall provide an extra-wide sidewalk or plaza area with landscaping, seating or other pedestrian amenities. The building corner shall provide architectural detailing or beveling to add visual interest to the corner.

Finding: This development site is not located on a corner lot.

This criterion is not applicable.

F. Pedestrian-Scale Building Entrances. Recessed entries, canopies, and/or similar features shall be used at the entries to buildings in order to create a pedestrian scale.

Finding: The applicant’s narrative states the main entry will be along the south elevation of the building located on the Main Site, R32200AB 00500, and that the majority of the parking will occur on the North Lot, R32200AB 00701. Therefore, considerable thought has been put into pedestrian scale features to lead pedestrians from the North Lot parking to the south entrance. Features that have been incorporated include pedestrian paths that have outdoor spaces such as a community garden, plaza, and bike repair location that are designed to guide the pedestrians along the perimeter of the building to the main entrance. “The Boulevard” is a path that begins at a trellised entry pavilion on the North Lot and leads pedestrians by a child play area with water feature to the main entrance.

This criterion is met.

G. Windows.

1. On commercial building facades facing a public street, windows shall comprise a minimum of 40 percent of the ground floor facade. For large-scale buildings and developments meeting the standards under subsection (H) of this section, windows shall comprise a minimum of 20 percent of the ground floor facade.

Finding: The applicant has submitted a corresponding variance request to this criterion. Please see Section II: Variance Request Findings i. NMC 15.220.070(G)(1) Windows – VAR22-0003.

2. For large-scale buildings and developments meeting the standards under subsection (H) of this section, 50 percent of all required window area shall allow view into an active space. An “active space” is defined as any area within a building that is used for shopping, dining, office space, and so forth. Merchandise display windows with displays that change at least semi-annually shall be considered an active space. Examples of areas that are considered nonactive spaces are storage and mechanical equipment areas, and windows that are obscured by shelving or material affixed to the window.

Finding: The development does not meet the standards under subsection H of this section. This criterion is not applicable.

H. Design of Large-Scale Buildings and Developments. All buildings on a development site shall conform to the design standards included under this subsection where the total square footage of one commercial building exceeds 30,000 square feet of total ground floor area or all commercial buildings exceed 50,000 square feet of total ground floor area. Deviations from these standards may be approved, where appropriate, through the conditional use permit process.

Finding: The existing building is 13,107 square feet. The proposed expansion is 9,024 square feet which would bring the total building to 22,131 gross square feet. The building footprint will be 18,813 square feet. Therefore, this building would not qualify as a large-scale building as it does not exceed 30,000 square feet of total ground floor area and this section criteria is not applicable.

Chapter 15.430 Underground Utility Installation

15.430.010 Underground utility installation.

A. All new utility lines, including but not limited to electric, communication, natural gas, and cable television transmission lines, shall be placed underground. This does not include surface-mounted transformers, connections boxes, meter cabinets, service cabinets, temporary facilities during construction, and high-capacity electric lines operating at 50,000 volts or above.

Finding: The submitted materials do not clearly indicate that all new utility lines to the building will be installed underground. With permit submittals the applicant will be required to submit plans that show any new utility lines to be installed underground.

This criterion will be met if the aforementioned condition of approval is adhered to.

B. Existing utility lines shall be placed underground when they are relocated, or when an addition or remodel requiring a Type II design review is proposed, or when a developed area is annexed to the city.

C. The director may make exceptions to the requirement to underground utilities based on one or more of the following criteria:

- 1. The cost of undergrounding the utility is extraordinarily expensive.***
- 2. There are physical factors that make undergrounding extraordinarily difficult.***
- 3. Existing utility facilities in the area are primarily overhead and are unlikely to be changed. [Ord. 2537, 11-6-00. Code 2001 § 151.589.]***

Finding: There are not existing overhead utilities along the E Hancock Street frontage.

This criterion is not applicable.

Chapter 15.505 Public Improvement Standards

15.505.010 Purpose.

This chapter provides standards for public infrastructure and utilities installed with new development, consistent with the policies of the City of Newberg comprehensive plan and adopted city master plans. The standards are intended to minimize disturbance to natural features, promote energy conservation and efficiency, minimize and maintain development impacts on surrounding properties and neighborhoods, and ensure timely completion of adequate public facilities to serve new development. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]

15.505.020 Applicability.

The provision and utilization of public facilities and services within the City of Newberg shall apply to all land developments in accordance with this chapter. No development shall be approved unless the following improvements are provided for prior to occupancy or operation, unless future provision is assured in accordance with NMC 15.505.030(E).

A. Public Works Design and Construction Standards. *The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall comply with the requirements of the most recently adopted Newberg public works design and construction standards.*

Finding: All improvements reviewed under this application are identified in the NMC 15.505 section specific to them and are conditioned to comply with the Public Works Design and Construction Standards in those sections.

This criterion is met.

B. Street Improvements. *All projects subject to a Type II design review, partition, or subdivision approval must construct street improvements necessary to serve the development.*

Finding: E Hancock Street adjacent to the proposed development is already improved.

This criterion is met.

C. Water. *All developments, lots, and parcels within the City of Newberg shall be served by the municipal water system as specified in Chapter 13.15 NMC.*

Finding: The plans show a proposed water service connection to the water line in E Hancock Street. Fire flow test results are to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

This criterion will be met if the aforementioned condition of approval is adhered to.

D. Wastewater. *All developments, lots, and parcels within the City of Newberg shall be served by the municipal wastewater system as specified in Chapter 13.10 NMC.*

Finding: The plans do not clearly show an existing wastewater service connection to a public wastewater line. With permit submittals the applicant will be required to submit plans that show an existing and/or proposed wastewater service connection to a public wastewater main.

This criterion will be met if the aforementioned condition of approval is adhered to.

E. Stormwater. *All developments, lots, and parcels within the City of Newberg shall manage stormwater runoff as specified in Chapters 13.20 and 13.25 NMC.*

Finding: The proposed development will not create a net increase of more than 500 square feet of onsite impervious area. The applicant has submitted a preliminary stormwater report. With no increase in impervious area stormwater management for quality and quantity is not required. The applicant will be responsible to provide conveyance of stormwater to the public stormwater system. Private stormwater conveyance facilities for the entire project site are not clearly shown on the submitted preliminary plans. With permit submittals the applicant will be required to submit plans that clearly show private stormwater conveyance facilities for the entire project site with connection to the public storm system.

This criterion will be met if the aforementioned condition of approval is adhered to.

F. Utility Easements. Utility easements shall be provided as necessary and required by the review body to provide needed facilities for present or future development of the area.

Finding: The submitted materials do not clearly show existing easements on the project site. It is unclear if the existing 8-inch water main and 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of the project site are within an existing easement. The applicant is required to provide documentation of existing recorded easements for the existing 8-inch water main and 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701 and 00702 located along the western boundary of the project site or to provide new recorded easements for these water and wastewater lines on forms approved by the City of Newberg and that comply with the City of Newberg Public Works Design and Construction Standards. Easement documentation is to be provided as part of the permit plan review and approval process.

It is also unclear if there is an existing public utility easement along the project site's E Hancock Street frontage. The applicant is required to provide documentation of an existing recorded public utility easement along the project site's E Hancock Street frontage or to provide a 10-foot-wide public utility easement along the E Hancock Street frontage of the project site. The public utility easement documentation is to be provided as part of the permit plan review and approval process.

This criterion will be met if the aforementioned condition of approval is adhered to.

G. City Approval of Public Improvements Required. No building permit may be issued until all required public facility improvements are in place and approved by the director, or are otherwise bonded for in a manner approved by the review authority, in conformance with the provisions of this code and the Newberg Public Works Design and Construction Standards. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]

Finding: Any required public improvement permit(s) for this project must be submitted, approved, fees paid, and issued prior to building permits being issued.

This criterion will be met if the aforementioned condition of approval is adhered to.

15.505.030 Street standards.

A. Purpose. The purpose of this section is to:

- 1. Provide for safe, efficient, and convenient multi-modal transportation within the City of Newberg.**
- 2. Provide adequate access to all proposed and anticipated developments in the City of Newberg. For purposes of this section, “adequate access” means direct routes of travel between destinations; such destinations may include residential neighborhoods, parks, schools, shopping areas, and employment centers.**
- 3. Provide adequate area in all public rights-of-way for sidewalks, wastewater and water lines, stormwater facilities, natural gas lines, power lines, and other utilities commonly and appropriately placed in such rights-of-way. For purposes of this section, “adequate area” means space sufficient to provide all required public services to standards defined in this code and in the Newberg public works design and construction standards.**

B. Applicability. The provisions of this section apply to:

- 1. The creation, dedication, and/or construction of all public streets, bike facilities, or pedestrian facilities in all subdivisions, partitions, or other developments in the City of Newberg.**
- 2. The extension or widening of existing public street rights-of-way, easements, or street improvements including those which may be proposed by an individual or the city, or which may be required by the city in association with other development approvals.**
- 3. The construction or modification of any utilities, pedestrian facilities, or bike facilities in public rights-of-way or easements.**
- 4. The designation of planter strips. Street trees are required subject to Chapter 15.420 NMC.**
- 5. Developments outside the city that tie into or take access from city streets.**

C. Layout of Streets, Alleys, Bikeways, and Walkways. Streets, alleys, bikeways, and walkways shall be laid out and constructed as shown in the Newberg transportation system plan. In areas where the transportation system plan or future street plans do not show specific transportation improvements, roads and streets shall be laid out so as to conform to previously approved subdivisions, partitions, and other developments for adjoining properties, unless it is found in the public interest to modify these patterns. Transportation improvements shall conform to the standards within the Newberg Municipal Code, the Newberg public works design and construction standards, the Newberg transportation system plan, and other adopted city plans.

D. Construction of New Streets. Where new streets are necessary to serve a new development, subdivision, or partition, right-of-way dedication and full street improvements shall be

required. Three-quarter streets may be approved in lieu of full street improvements when the city finds it to be practical to require the completion of the other one-quarter street improvement when the adjoining property is developed; in such cases, three-quarter street improvements may be allowed by the city only where all of the following criteria are met:

- 1. The land abutting the opposite side of the new street is undeveloped and not part of the new development; and*
- 2. The adjoining land abutting the opposite side of the street is within the city limits and the urban growth boundary.*

Finding: E Hancock Street is improved adjacent to the project site. The applicant is not proposing construction of new streets, and none are required.

This criterion is not applicable.

E. Improvements to Existing Streets.

- 1. All projects subject to partition, subdivision, or Type II design review approval shall dedicate right-of-way sufficient to improve the street to the width specified in subsection (G) of this section.*

Finding: E Hancock Street is improved adjacent to the project site. The existing right-of-way width for E Hancock Street along the project site's frontage is consistent with subsection (G) of this section.

This criterion is met.

- 2. All projects subject to partition, subdivision, or Type II design review approval must construct a minimum of a three-quarter street improvement to all existing streets adjacent to, within, or necessary to serve the development. The director may waive or modify this requirement where the applicant demonstrates that the condition of existing streets to serve the development meets city standards and is in satisfactory condition to handle the projected traffic loads from the development. Where a development has frontage on both sides of an existing street, full street improvements are required.*

Finding: E Hancock Street is improved adjacent to the project site. The existing right-of-way width for E Hancock Street along the project site's frontage is consistent with subsection (G) of this section.

This criterion is met.

- 3. In lieu of the street improvement requirements outlined in NMC 15.505.040(B), the review authority may elect to accept from the applicant monies to be placed in a fund dedicated to the future reconstruction of the subject street(s). The amount of money deposited with the city shall be 100 percent of the estimated cost of the required street*

improvements (including any associated utility improvements), and 10 percent of the estimated cost for inflation. Cost estimates used for this purpose shall be based on preliminary design of the constructed street provided by the applicant’s engineer and shall be approved by the director.

Finding: E Hancock Street is improved adjacent to the project site. The existing right-of-way width for E Hancock Street along the project site’s frontage is consistent with subsection (G) of this section.

This criterion is not applicable.

F. Improvements Relating to Impacts. Improvements required as a condition of development approval shall be roughly proportional to the impact of the development on public facilities and services. The review body must make findings in the development approval that indicate how the required improvements are roughly proportional to the impact. Development may not occur until required transportation facilities are in place or guaranteed, in conformance with the provisions of this code. If required transportation facilities cannot be put in place or be guaranteed, then the review body shall deny the requested land use application.

Finding: There are no improvements relating to impacts identified as part of this proposed development.

This criterion is not applicable.

G. Street Width and Design Standards.

1. Design Standards. All streets shall conform with the standards contained in Table 15.505.030(G). Where a range of values is listed, the director shall determine the width based on a consideration of the total street section width needed, existing street widths, and existing development patterns. Preference shall be given to the higher value. Where values may be modified by the director, the overall width shall be determined using the standards under subsections (G)(2) through (10) of this section.

Table 15.505.030(G) Street Design Standards

Type of Street	Right-of-Way Width	Curb-to-Curb Pavement Width	Motor Vehicle Travel Lanes	Median Type	Striped Bike Lane (Both Sides)	On-Street Parking
<i>Arterial Streets</i>						
<i>Expressway**</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>
<i>Major arterial</i>	<i>95 – 100 feet</i>	<i>74 feet</i>	<i>4 lanes</i>	<i>TWLTL or median*</i>	<i>Yes</i>	<i>No*</i>
<i>Minor arterial</i>	<i>69 – 80 feet</i>	<i>48 feet</i>	<i>2 lanes</i>	<i>TWLTL or median*</i>	<i>Yes</i>	<i>No*</i>
<i>Collectors</i>						

Type of Street	Right-of-Way Width	Curb-to-Curb Pavement Width	Motor Vehicle Travel Lanes	Median Type	Striped Bike Lane (Both Sides)	On-Street Parking
Major	57 – 80 feet	36 feet	2 lanes	None*	Yes	No*
Minor	61 – 65 feet	40 feet	2 lanes	None*	Yes*	Yes*
Local Streets						
Local residential	54 – 60 feet	32 feet	2 lanes	None	No	Yes
Limited residential, parking both sides	44 – 50 feet	28 feet	2 lanes	None	No	Yes
Limited residential, parking one side	40 – 46 feet	26 feet	2 lanes	None	No	One side
Local commercial/ industrial	55 – 65 feet	34 feet	2 lanes	None*	No*	Yes*

* May be modified with approval of the director. Modification will change overall curb-to-curb and right-of-way width. Where a center turn lane is not required, a landscaped median shall be provided instead, with turning pockets as necessary to preserve roadway functions.

** All standards shall be per ODOT expressway standards.

Finding: E Hancock Street is improved adjacent to the project site. The existing right-of-way width for E Hancock Street along the project site’s frontage is consistent with subsection (G) of this section.

This criterion is not applicable.

2. Motor Vehicle Travel Lanes. Collector and arterial streets shall have a minimum width of 12 feet.

a. Exception.

i. Minimum lane width of 11 feet along S River Street from E First Street to E Fourteenth Street.

Finding: No new collector or arterial streets are proposed, and none are required.

This criterion is not applicable.

3. Bike Lanes. Striped bike lanes shall be a minimum of six feet wide. Bike lanes shall be provided where shown in the Newberg transportation system plan.

a. Exception.

i. Minimum striped bike lane width of six feet with a one-foot wide buffer along S River Street from E First Street to the bypass.

Finding: E Hancock Street along the project site’s frontage is classified as local residential street. Bike facilities are not proposed, and none are required.

This criterion is not applicable.

4. Parking Lanes. *Where on-street parking is allowed on collector and arterial streets, the parking lane shall be a minimum of eight feet wide.*

a. Exception.

i. Minimum parking lane width of seven feet along S River Street from the bypass to E Fourteenth Street.

Finding: E Hancock Street along the project site's frontage is classified as local residential street.

This criterion is not applicable.

5. Center Turn Lanes. *Where a center turn lane is provided, it shall be a minimum of 12 feet wide.*

Finding: E Hancock Street along the project site's frontage is classified as local residential street. Center turn lanes are not proposed and none are required.

This criterion is not applicable.

6. Limited Residential Streets. *Limited residential streets shall be allowed only at the discretion of the review authority, and only in consideration of the following factors:*

a. The requirements of the fire chief shall be followed.

b. The estimated traffic volume on the street is low, and in no case more than 600 average daily trips.

c. Use for through streets or looped streets is preferred over cul-de-sac streets.

d. Use for short blocks (under 400 feet) is preferred over longer blocks.

e. The total number of residences or other uses accessing the street in that block is small, and in no case more than 30 residences.

f. On-street parking usage is limited, such as by providing ample off-street parking, or by staggering driveways so there are few areas where parking is allowable on both sides.

Finding: No new limited residential streets are proposed, and none are required for this development.

This criterion is not applicable.

7. Sidewalks. *Sidewalks shall be provided on both sides of all public streets. Minimum width is five feet.*

a. Exception.

i. Twelve-foot-wide sidewalks, inclusive of the curb, with tree wells along S River Street from the bypass to E Fourteenth Street.

ii. Twelve-foot-wide shared-use path and four-foot buffer, inclusive of the curb, with tree wells along the east side of S River Street from the bypass to E Fourteenth Street.

Finding: The submitted materials show existing Type B curb tight sidewalks along the project site's E Hancock Street frontage.

This criterion is met.

8. Planter Strips. Except where infeasible, a planter strip shall be provided between the sidewalk and the curb line, with a minimum width of five feet. This strip shall be landscaped in accordance with the standards in NMC 15.420.020. Curb-side sidewalks may be allowed on limited residential streets. Where curb-side sidewalks are allowed, the following shall be provided:

a. Additional reinforcement is done to the sidewalk section at corners.

b. Sidewalk width is six feet.

Finding: The submitted materials show existing Type B curb tight sidewalks along the project site's E Hancock Street frontage. Existing curb tight sidewalks are on both sides of this portion of E Hancock Street and extend into the surrounding area. The applicant's submitted plans show existing trees behind the sidewalk along the frontage of the project site. Due to the existence of curb, gutter, sidewalk and pavement street improvements along the project site's E Hancock Street frontage, the applicant is not required to update the cross-sectional elements to meet NMC 15.505.030(G).

This criterion is not applicable.

9. Slope Easements. Slope easements shall be provided adjacent to the street where required to maintain the stability of the street.

Finding: No slope easements have been proposed or found to be needed.

This criterion is not applicable.

10. Intersections and Street Design. The street design standards in the Newberg public works design and construction standards shall apply to all public streets, alleys, bike facilities, and sidewalks in the city.

Finding: The applicant is not proposing street improvements, and none are required.

This criterion is not applicable.

11. The planning commission may approve modifications to street standards for the purpose of ingress or egress to a minimum of three and a maximum of six lots through a conditional use permit.

Finding: The applicant is not proposing modifications to street standards for the purpose of ingress or egress.

This criterion is not applicable.

H. Modification of Street Right-of-Way and Improvement Width. The director, pursuant to the Type II review procedures of Chapter 15.220 NMC, may allow modification to the public street standards of subsection (G) of this section, when the criteria in both subsections (H)(1) and (2) of this section are satisfied:

- 1. The modification is necessary to provide design flexibility in instances where:***
 - a. Unusual topographic conditions require a reduced width or grade separation of improved surfaces; or***
 - b. Lot shape or configuration precludes accessing a proposed development with a street which meets the full standards of this section; or***
 - c. A modification is necessary to preserve trees or other natural features determined by the city to be significant to the aesthetic character of the area; or***
 - d. A planned unit development is proposed and the modification of street standards is necessary to provide greater privacy or aesthetic quality to the development.***
- 2. Modification of the standards of this section shall only be approved if the director finds that the specific design proposed provides adequate vehicular access based on anticipated traffic volumes.***

Finding: The applicant has not proposed modifications to these street standards.

This criterion is not applicable.

I. Temporary Turnarounds. Where a street will be extended as part of a future phase of a development, or as part of development of an abutting property, the street may be terminated with a temporary turnaround in lieu of a standard street connection or circular cul-de-sac bulb. The director and fire chief shall approve the temporary turnaround. It shall have an all-weather surface, and may include a hammerhead-type turnaround meeting fire apparatus access road standards, a paved or graveled circular turnaround, or a paved or graveled temporary access road. For streets extending less than 150 feet and/or with no significant

access, the director may approve the street without a temporary turnaround. Easements or right-of-way may be required as necessary to preserve access to the turnaround.

Finding: The applicant is not proposing a temporary turnaround, and none are required.

This criterion is not applicable.

J. Topography. *The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of this code.*

Finding: The applicant is not proposing new streets, and none are required.

This criterion is not applicable.

K. Future Extension of Streets. *All new streets required for a subdivision, partition, or a project requiring site design review shall be constructed to be “to and through”: through the development and to the edges of the project site to serve adjacent properties for future development.*

Finding: There are no possible future street extensions as part of this project.

This criterion is not applicable.

L. Cul-de-Sacs.

1. Cul-de-sacs shall only be permitted when one or more of the circumstances listed in this section exist. When cul-de-sacs are justified, public walkway connections shall be provided wherever practical to connect with another street, walkway, school, or similar destination.

a. Physical or topographic conditions make a street connection impracticable. These conditions include but are not limited to controlled access streets, railroads, steep slopes, wetlands, or water bodies where a connection could not be reasonably made.

b. Buildings or other existing development on adjacent lands physically preclude a connection now or in the future, considering the potential for redevelopment.

c. Where streets or accessways would violate provisions of leases, easements, or similar restrictions.

d. Where the streets or accessways abut the urban growth boundary and rural resource land in farm or forest use, except where the adjoining land is designated as an urban reserve area.

2. Cul-de-sacs shall be no more than 400 feet long (measured from the centerline of the intersection to the radius point of the bulb).

3. Cul-de-sacs shall not serve more than 18 single-family dwellings.

Each cul-de-sac shall have a circular end with a minimum diameter of 96 feet, curb-to-curb, within a 109-foot minimum diameter right-of-way. For residential uses, a 35-foot radius may be allowed if the street has no parking, a mountable curb, curbside sidewalks, and sprinkler systems in every building along the street.

Finding: The applicant is not proposing a cul-de-sac, and none are required.

The criteria are not applicable.

M. Street Names and Street Signs. Streets that are in alignment with existing named streets shall bear the names of such existing streets. Names for new streets not in alignment with existing streets are subject to approval by the director and the fire chief and shall not unnecessarily duplicate or resemble the name of any existing or platted street in the city. It shall be the responsibility of the land divider to provide street signs.

Finding: The applicant is not naming streets.

This criterion is not applicable.

N. Platting Standards for Alleys.

1. An alley may be required to be dedicated and constructed to provide adequate access for a development, as deemed necessary by the director.

2. The right-of-way width and paving design for alleys shall be not less than 20 feet wide. Slope easements shall be dedicated in accordance with specifications adopted by the city council under NMC 15.505.010 et seq.

3. Where two alleys intersect, 10-foot corner cut-offs shall be provided.

4. Unless otherwise approved by the city engineer where topographical conditions will not reasonably permit, grades shall not exceed 12 percent on alleys, and centerline radii on curves shall be not less than 100 feet.

5. All provisions and requirements with respect to streets identified in this code shall apply to alleys the same in all respects as if the word “street” or “streets” therein appeared as the word “alley” or “alleys” respectively.

Finding: The applicant is not proposing alleys, and none are required.

This criteria are not applicable.

O. Platting Standards for Blocks.

1. Purpose. Streets and walkways can provide convenient travel within a neighborhood and can serve to connect people and land uses. Large, uninterrupted blocks can serve as a barrier to travel, especially walking and biking. Large blocks also can divide rather than

unite neighborhoods. To promote connected neighborhoods and to shorten travel distances, the following minimum standards for block lengths are established.

2. Maximum Block Length and Perimeter. *The maximum length and perimeters of blocks in the zones listed below shall be according to the following table. The review body for a subdivision, partition, conditional use permit, or a Type II design review may require installation of streets or walkways as necessary to meet the standards below.*

<i>Zone(s)</i>	<i>Maximum Block Length</i>	<i>Maximum Block Perimeter</i>
<i>R-1</i>	<i>800 feet</i>	<i>2,000 feet</i>
<i>R-2, R-3, RP, I</i>	<i>1,200 feet</i>	<i>3,000 feet</i>

3. Exceptions.

a. If a public walkway is installed mid-block, the maximum block length and perimeter may be increased by 25 percent.

b. Where a proposed street divides a block, one of the resulting blocks may exceed the maximum block length and perimeter standards provided the average block length and perimeter of the two resulting blocks do not exceed these standards.

c. Blocks in excess of the above standards are allowed where access controlled streets, street access spacing standards, railroads, steep slopes, wetlands, water bodies, preexisting development, ownership patterns or similar circumstances restrict street and walkway location and design. In these cases, block length and perimeter shall be as small as practical. Where a street cannot be provided because of these circumstances but a public walkway is still feasible, a public walkway shall be provided.

d. Institutional campuses located in an R-1 zone may apply the standards for the institutional zone.

e. Where a block is in more than one zone, the standards of the majority of land in the proposed block shall apply.

f. Where a local street plan, concept master site development plan, or specific plan has been approved for an area, the block standards shall follow those approved in the plan. In approving such a plan, the review body shall follow the block standards listed above to the extent appropriate for the plan area.

Finding: The applicant is not proposing blocks, and none are required.

The criteria are not applicable.

4. Public Pedestrian Walkways and Bicycle Access. *The approval authority in approving a land use application with conditions may require a developer to provide an access way where the creation of a street consistent with street spacing standards is infeasible and the creation of a cul-de-sac or dead-end street is unavoidable. A public walkway provides a connection through a block that is longer than established standards or connects the end of the street to another right-of-way or a public access easement. A public walkway shall be contained within a public right-of-way or public access easement, as required by the city. A public walkway shall be a minimum of 10 feet wide and shall provide a minimum six-foot-wide paved surface or other all-weather surface approved by the city (see subsection (S) of this section for public walkway standards).*

Design features should be considered that allow access to emergency vehicles but that restrict access to non-emergency motorized vehicles.

Finding: The applicant is not proposing any public walkways or bicycle accesses, and none are required.

This criterion is not applicable.

P. Private Streets. *New private streets, as defined in NMC 15.05.030, shall not be created, except as allowed by NMC 15.240.020(L)(2).*

Finding: The applicant is not proposing private streets.

This criterion is not applicable.

Q. Traffic Calming.

1. *The following roadway design features may be required in new street construction where traffic calming needs are anticipated:*

- a. Serpentine alignment.*
- b. Curb extensions.*
- c. Traffic diverters/circles.*
- d. Raised medians and landscaping.*
- e. Other methods shown effective through engineering studies.*

2. *Traffic-calming measures such as speed humps should be applied to mitigate traffic operations and/or safety problems on existing streets. They should not be applied with new street constructions.*

Finding: The applicant is not proposing traffic calming, and none are required.

The criteria are not applicable.

R. Vehicular Access Standards.

1. Purpose. The purpose of these standards is to manage vehicle access to maintain traffic flow, safety, roadway capacity, and efficiency. They help to maintain an adequate level of service consistent with the functional classification of the street. Major roadways, including arterials and collectors, serve as the primary system for moving people and goods within and through the city. Access is limited and managed on these roads to promote efficient through movement. Local streets and alleys provide access to individual properties. Access is managed on these roads to maintain safe maneuvering of vehicles in and out of properties and to allow safe through movements. If vehicular access and circulation are not properly designed, these roadways will be unable to accommodate the needs of development and serve their transportation function.

2. Access Spacing Standards. Public street intersection and driveway spacing shall follow the standards in Table 15.505.R below. The Oregon Department of Transportation (ODOT) has jurisdiction of some roadways within the Newberg city limits, and ODOT access standards will apply on those roadways.

Table 15.505.R. Access Spacing Standards

<i>Roadway Functional Classification</i>	<i>Area¹</i>	<i>Minimum Public Street Intersection Spacing (Feet)²</i>	<i>Driveway Setback from Intersecting Street³</i>
<i>Expressway</i>	<i>All</i>	<i>Refer to ODOT Access Spacing Standards</i>	<i>NA</i>
<i>Major arterial</i>	<i>Urban CBD</i>	<i>Refer to ODOT Access Spacing Standards</i>	
<i>Minor arterial</i>	<i>Urban CBD</i>	<i>500 200</i>	<i>150 100</i>
<i>Major collector</i>	<i>All</i>	<i>400</i>	<i>150</i>
<i>Minor collector</i>	<i>All</i>	<i>300</i>	<i>100</i>

¹ “Urban” refers to intersections inside the city urban growth boundary outside the central business district (C-3 zone).

“CBD” refers to intersections within the central business district (C-3 zone).

“All” refers to all intersections within the Newberg urban growth boundary.

² Measured centerline to centerline.

³ The setback is based on the higher classification of the intersecting streets. Measured from the curb line of the intersecting street to the beginning of the driveway, excluding flares. If the driveway setback listed above would preclude a lot from having at least one driveway, including shared driveways or driveways on adjoining streets, one driveway is allowed as far from the intersection as possible.

Finding: The project site has frontage on E Hancock Street which is a local residential street. The setback from the existing access off E Hancock Street to the closest intersecting street, NE St Paul Highway classified as a Minor Arterial, is over 150-feet.

The criteria are met.

3. Properties with Multiple Frontages. *Where a property has frontage on more than one street, access shall be limited to the street with the lesser classification.*

a. For a duplex, triplex or quadplex dwelling or a cottage cluster project with frontage on two local streets, access may be permitted on both streets.

Finding: The project site does not have frontage on more than one street.

This criterion is not applicable.

4. Driveways. *More than one driveway is permitted on a lot accessed from either a minor collector or local street as long as there is at least 40 feet of lot frontage separating each driveway approach. More than one driveway is permitted on a lot accessed from a major collector as long as there is at least 100 feet of lot frontage separating each driveway approach.*

a. For a duplex, triplex or quadplex dwelling or a cottage cluster project, more than one driveway is permitted on a lot accessed from either a minor collector or local street as long as there is at least 22 feet of lot frontage separating each driveway approach.

Finding: The existing site has access off E Hancock Street which is a local residential street in the City of Newberg Transportation System Plan. There is an existing access driveway near the eastern boundary of the site at 2251 E Hancock Street. There is also a shared access driveway approach along the western boundary of the site. There is more than 40-feet of frontage separating these driveway approaches.

This criterion is met.

5. Alley Access. *Where a property has frontage on an alley and the only other frontages are on collector or arterial streets, access shall be taken from the alley only. The review body may allow creation of an alley for access to lots that do not otherwise have frontage on a public street provided all of the following are met:*

a. The review body finds that creating a public street frontage is not feasible.

b. The alley access is for no more than six dwellings and no more than six lots.

c. The alley has through access to streets on both ends.

d. One additional parking space over those otherwise required is provided for each dwelling. Where feasible, this shall be provided as a public use parking space adjacent to the alley.

Finding: The property does not have frontage on an alley.

This criterion is not applicable.

6. Closure of Existing Accesses. *Existing accesses that are not used as part of development or redevelopment of a property shall be closed and replaced with curbing, sidewalks, and landscaping, as appropriate.*

Finding: Materials submitted by the applicant indicate that the eastern access driveway is proposed to remain and that a portion of the shared access driveway approach along the western boundary of the site is proposed to be removed and replaced with a sidewalk. A new access to the site is proposed off the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of the project site. The applicant will be required to replace the portion of the driveway approach proposed for removal with curbing, sidewalk and landscaping in accordance with City of Newberg Public Works Design and Construction Standards and may be required to reconstruct the shared driveway approach for the existing shared driveway proposed to be shared with tax lots R3220AB 00700, 00701, and 00702. Determination of the limits of removal and replacement of the driveway approach will occur as part of the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

7. Shared Driveways.

a. The number of driveways onto arterial streets shall be minimized by the use of shared driveways with adjoining lots where feasible. The city shall require shared driveways as a condition of land division or site design review, as applicable, for traffic safety and access management purposes. Where there is an abutting developable property, a shared driveway shall be provided as appropriate. When shared driveways are required, they shall be stubbed to adjacent developable parcels to indicate future extension. "Stub" means that a driveway temporarily ends at the property line, but may be accessed or extended in the future as the adjacent parcel develops. "Developable" means that a parcel is either vacant or it is likely to receive additional development (i.e., due to infill or redevelopment potential).

b. Access easements (i.e., for the benefit of affected properties) and maintenance agreements shall be recorded for all shared driveways, including pathways, at the time of final plat approval or as a condition of site development approval.

c. No more than four lots may access one shared driveway, with the exception of cottage dwellings on individual lots that are part of a cottage cluster.

d. Shared driveways shall be posted as no parking fire lanes where required by the fire marshal.

e. Where three or more lots share one driveway, one additional parking space over those otherwise required shall be provided for each dwelling. Where feasible, this shall be provided as a common use parking space adjacent to the driveway. However, duplex, triplex, quadplex, townhouse and cottage dwellings with shared driveways shall be exempt from this standard.

Finding: Materials submitted by the applicant indicate that the eastern access driveway is proposed to remain and that a portion of the shared access driveway approach along the western boundary of the site is proposed to be removed. A new access to the site is proposed off the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of the project site. The proposed new access would result in four lots access this shared driveway. The applicant will be required to provide recorded access and maintenance agreements for use of the shared driveway proposed to be shared with tax lots R3220AB 00700, 00701, and 00702 (2310 E Portland Road) and this project at 2251 E Hancock Street (tax lot R3220AB 00500). The recorded documents are to be submitted during the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

8. Frontage Streets and Alleys. The review body for a partition, subdivision, or design review may require construction of a frontage street to provide access to properties fronting an arterial or collector street.

Finding: A frontage street or alley is not proposed, and none are required.

This criterion is not applicable.

9. ODOT or Yamhill County Right-of-Way. Where a property abuts an ODOT or Yamhill County right-of-way, the applicant for any development project shall obtain an access permit from ODOT or Yamhill County.

Finding: The project site does not have access to Yamhill County or ODOT right-of-way.

This criterion is not applicable.

10. Exceptions. The director may allow exceptions to the access standards above in any of the following circumstances:

a. Where existing and planned future development patterns or physical constraints, such as topography, parcel configuration, and similar conditions, prevent access in accordance with the above standards.

b. Where the proposal is to relocate an existing access for existing development, where the relocated access is closer to conformance with the standards above and does not increase the type or volume of access.

c. Where the proposed access results in safer access, less congestion, a better level of service, and more functional circulation, both on street and on site, than access otherwise allowed under these standards.

Finding: The applicant is not proposing any exceptions.

This criterion is not applicable.

11. Where an exception is approved, the access shall be as safe and functional as practical in the particular circumstance. The director may require that the applicant submit a traffic study by a registered engineer to show the proposed access meets these criteria.

Finding: The applicant is not proposing any exceptions.

This criterion is not applicable.

S. Public Walkways.

1. Projects subject to Type II design review, partition, or subdivision approval may be required to provide public walkways where necessary for public safety and convenience, or where necessary to meet the standards of this code. Public walkways are meant to connect cul-de-sacs to adjacent areas, to pass through oddly shaped or unusually long blocks, to provide for networks of public paths according to adopted plans, or to provide access to schools, parks or other community destinations or public areas. Where practical, public walkway easements and locations may also be used to accommodate public utilities.

2. Public walkways shall be located within a public access easement that is a minimum of 15 feet in width.

3. A walk strip, not less than 10 feet in width, shall be paved in the center of all public walkway easements. Such paving shall conform to specifications in the Newberg public works design and construction standards.

4. Public walkways shall be designed to meet the Americans with Disabilities Act requirements.

5. Public walkways connecting one right-of-way to another shall be designed to provide as short and straight of a route as practical.

6. The developer of the public walkway may be required to provide a homeowners' association or similar entity to maintain the public walkway and associated improvements.

7. Lighting may be required for public walkways in excess of 250 feet in length.

8. The review body may modify these requirements where it finds that topographic, preexisting development, or similar constraints exist.

Finding: No public walkway is proposed or required.

The criteria are not applicable.

T. Street Trees. Street trees shall be provided for all projects subject to Type II design review, partition, or subdivision. Street trees shall be installed in accordance with the provisions of NMC 15.420.010(B)(4).

Finding: See previous finding NMC 15.420.010(B)(4).

U. Street Lights. All developments shall include underground electric service, light standards, wiring and lamps for street lights according to the specifications and standards of the Newberg public works design and construction standards. The developer shall install all such facilities and make the necessary arrangements with the serving electric utility as approved by the city. Upon the city's acceptance of the public improvements associated with the development, the street lighting system, exclusive of utility-owned service lines, shall be and become property of the city unless otherwise designated by the city through agreement with a private utility.

Finding: There is no street lighting in the area of the project site's E Hancock Street frontage. Because street lighting does not exist, the applicant will be required to provide street lighting plans with the public improvement permit application and will be responsible for installation of PGE Option A street lights necessary to meet City standards. Street lighting analysis for preparation of street lighting plans is to extend to the center line of the E Hancock Street frontage.

This criterion will be met if the aforementioned condition of approval is adhered to.

V. Transit Improvements. Development proposals for sites that include or are adjacent to existing or planned transit facilities, as shown in the Newberg transportation system plan or adopted local or regional transit plan, shall be required to provide any of the following, as applicable and required by the review authority:

- 1. Reasonably direct pedestrian connections between the transit facility and building entrances of the site. For the purpose of this section, "reasonably direct" means a route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for users.*
- 2. A transit passenger landing pad accessible to disabled persons.*
- 3. An easement of dedication for a passenger shelter or bench if such facility is in an adopted plan.*

4. Lighting at the transit facility. [Ord. 2889 § 2 (Exh. B §§ 43 – 45), 12-6-21; Ord. 2880 § 2 (Exh. B §§ 51, 52), 6-7-21; Ord. 2871 § 3 (Exh. D), 3-1-21; Ord. 2862 § 1 (Exh. A § 1), 6-15-20; Ord. 2822 § 1 (Exh. A), 2-5-18; Ord. 2810 § 2 (Exhs. B, C), 12-19-16; Ord. 2763 § 1 (Exh. A § 19), 9-16-13; Ord. 2736 § 1 (Exh. A §§ 1, 3, 4), 3-21-11; Ord. 2619, 5-16-05; Ord. 2513, 8-2-99; Ord. 2507, 3-1-99; Ord. 2494, 4-6-98; Ord. 2451, 12-2-96. Code 2001 §§ 151.681, 151.683, 151.684 – 151.686, 151.689 – 151.692, 151.694, 151.695, 151.701 – 151.703, 151.705.]

Finding: The applicant is not proposing transit improvements and the site is not adjacent to existing or planned transit facilities.

This criterion is not applicable.

15.505.040 Public utility standards.

A. Purpose. *The purpose of this section is to provide adequate services and facilities appropriate to the scale and type of development.*

B. Applicability. *This section applies to all development where installation, extension or improvement of water, wastewater, or private utilities is required to serve the development or use of the subject property.*

C. General Standards.

1. *The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall conform to the Newberg public works design and construction standards and require a public improvements permit.*

2. *The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site. Installation of all proposed public and private utilities shall be coordinated by the developer and be approved by the city to ensure the orderly extension of such utilities within public right-of-way and easements.*

D. Standards for Water Improvements. *All development that has a need for water service shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary wastewater and stormwater facilities, as applicable.*

1. *All developments shall be required to be linked to existing water facilities adequately sized to serve their intended area by the construction of water distribution lines, reservoirs and pumping stations which connect to such water service facilities. All necessary easements required for the construction of these facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.*

2. *Specific location, size and capacity of such facilities will be subject to the approval of the director with reference to the applicable water master plan. All water facilities shall*

conform with city pressure zones and shall be looped where necessary to provide adequate pressure and fire flows during peak demand at every point within the system in the development to which the water facilities will be connected. Installation costs shall remain entirely the developer's responsibility.

3. The design of the water facilities shall take into account provisions for the future extension beyond the development to serve adjacent properties, which, in the judgment of the city, cannot be feasibly served otherwise.

4. Design, construction and material standards shall be as specified by the director for the construction of such public water facilities in the city.

Finding: The submitted materials indicate new water service connections to the water line in E Hancock Street.

Fire flow test results are to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

The applicant is required to submit construction plans and obtain a public improvement permit for the proposed water services.

Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

The criteria will be met if the aforementioned conditions of approval are adhered to.

E. Standards for Wastewater Improvements. All development that has a need for wastewater services shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary water services and stormwater facilities, as applicable.

1. All septic tank systems and on-site sewage systems are prohibited. Existing septic systems must be abandoned or removed in accordance with Yamhill County standards.

2. All properties shall be provided with gravity service to the city wastewater system, except for lots that have unique topographic or other natural features that make gravity wastewater extension impractical as determined by the director. Where gravity service is impractical, the developer shall provide all necessary pumps/lift stations and other improvements, as determined by the director.

3. All developments shall be required to be linked to existing wastewater collection facilities adequately sized to serve their intended area by the construction of wastewater lines which connect to existing adequately sized wastewater facilities. All necessary easements required for the construction of these facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.

4. Specific location, size and capacity of wastewater facilities will be subject to the approval of the director with reference to the applicable wastewater master plan. All wastewater facilities shall be sized to provide adequate capacity during peak flows from the entire area potentially served by such facilities. Installation costs shall remain entirely the developer's responsibility.

5. Temporary wastewater service facilities, including pumping stations, will be permitted only if the director approves the temporary facilities, and the developer provides for all facilities that are necessary for transition to permanent facilities.

6. The design of the wastewater facilities shall take into account provisions for the future extension beyond the development to serve upstream properties, which, in the judgment of the city, cannot be feasibly served otherwise.

7. Design, construction and material standards shall be as specified by the director for the construction of such wastewater facilities in the city.

Finding: The submitted materials do not indicate a need for a new wastewater service connection to a public wastewater main. The applicant will be responsible for verifying that the capacity of the existing wastewater service line is adequate for the development.

City of Newberg Public Works Operation Division has provided comments that an amalgam separator is required for dental offices per 40CFR, Part441, ORS679.525 and NMC 13.10.090 E and F. The applicant will be required to install a new, or re-install the current, amalgam separator in the dental offices. Plans for the amalgam separator are to be included with building permit submittals.

The applicant is required to submit construction plans and obtain a public improvement permit for any new wastewater service line to serve the proposed project. Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

The criteria will be met if the aforementioned conditions of approval is adhered to.

F. Easements. Easements for public and private utilities shall be provided as deemed necessary by the city, special districts, and utility companies. Easements for special purpose uses shall be of a width deemed appropriate by the responsible agency. Such easements shall be recorded on easement forms approved by the city and designated on the final plat of all subdivisions and partitions. Minimum required easement width and locations are as provided in the Newberg public works design and construction standards. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]

Finding: The submitted materials do not clearly show existing easements on the project site. It is unclear if the existing 8-inch water main and 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701, and 00702 located along the western boundary of

the project site are within an existing easement. The applicant is required to provide documentation of existing recorded easements for the existing 8-inch water main and 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701 and 00702 located along the western boundary of the project site or to provide new recorded easements for these water and wastewater lines on forms approved by the City of Newberg and that comply with the City of Newberg Public Works Design and Construction Standards. Easement documentation is to be provided as part of the permit plan review and approval process.

It is also unclear if there is an existing public utility easement along the project site's E Hancock Street frontage. The applicant is required to provide documentation of an existing recorded public utility easement along the project site's E Hancock Street frontage or to provide a 10-foot-wide public utility easement along the E Hancock Street frontage of the project site. The public utility easement documentation is to be provided as part of the permit plan review and approval process.

A 15-foot-wide public water line easement for any onsite public water line needed for serving the development will be required. The applicant will also be required to provide any other easements determined to be necessary during the permit plan review process. Easement documentation is to be provided as part of the permit plan review and approval process.

No structures are to be constructed within or to encroach into existing or new easements.

This criterion will be met if the aforementioned conditions of approval are adhered to.

15.505.050 Stormwater system standards.

A. Purpose. The purpose of this section is to provide for the drainage of surface water from all development; to minimize erosion; and to reduce degradation of water quality due to sediments and pollutants in stormwater runoff.

B. Applicability. The provisions of this section apply to all developments subject to site development review or land division review and to the reconstruction or expansion of such developments that increases the flow or changes the point of discharge to the city stormwater system. Additionally, the provisions of this section shall apply to all drainage facilities that impact any public storm drain system, public right-of-way or public easement, including but not limited to off-street parking and loading areas.

C. General Requirement. All stormwater runoff shall be conveyed to a public storm wastewater or natural drainage channel having adequate capacity to carry the flow without overflowing or otherwise causing damage to public and/or private property. The developer shall pay all costs associated with designing and constructing the facilities necessary to meet this requirement.

Finding: Materials submitted by the applicant, including a preliminary stormwater report, indicate that the project will not create a net increase in impervious area. With no increase in

imperious area stormwater management for quality and quantity is not required. The applicant will be responsible to provide conveyance of stormwater to the public stormwater system.

The preliminary plans include a proposed stormwater connection to the public stormwater line along the E Hancock Street frontage of the site. Connection to the public stormwater line will require a public works improvement permit. Because final plans have not been submitted, final plans showing any connections to the public stormwater system will be required for the public works improvement permit application.

This criterion will be met if the aforementioned conditions of approval are adhered to.

D. Plan for Stormwater and Erosion Control. No construction of any facilities in a development included in subsection (B) of this section shall be permitted until an engineer registered in the State of Oregon prepares a stormwater report and erosion control plan for the project. This plan shall contain at a minimum:

- 1. The methods to be used to minimize the amount of runoff, sedimentation, and pollution created from the development both during and after construction.***
- 2. Plans for the construction of stormwater facilities and any other facilities that depict line sizes, profiles, construction specifications, and other such information as is necessary for the city to review the adequacy of the stormwater plans.***
- 3. Design calculations shall be submitted for all drainage facilities. These drainage calculations shall be included in the stormwater report and shall be stamped by a licensed professional engineer in the State of Oregon. Peak design discharges shall be computed based upon the design criteria outlined in the public works design and construction standards for the city.***

Finding: The submitted materials indicate that the proposed project might disturb more than 1 acre. With more than 1 acre of disturbance a DEQ 1200 C Erosion Control Permit is required. Because the applicant has not provided documentation of an erosion and sedimentation control permit for the development site, the applicant will be required provide plans clearly showing the area of disturbance and to obtain a DEQ 1200 C Erosion Control Permit if 1 acre or more will be disturbed, or to obtain a City of Newberg Erosion Control Permit if less than 1 acre will be disturbed, prior to any ground disturbing activity.

The applicant is required to submit a stormwater report and construction plans with permit applications. The stormwater report is to be prepared in accordance with the Public Works Design and Construction Standards.

This criterion will be met if the aforementioned conditions of approval are adhered to.

E. Development Standards. Development subject to this section shall be planned, designed, constructed, and maintained in compliance with the Newberg public works design and construction standards. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]

Finding: The submitted materials include a preliminary stormwater report and preliminary plans. The preliminary stormwater report does not clearly demonstrate compliance with the stormwater conveyance requirements. Because the applicant has not provided construction plans and a final stormwater report, the applicant is required to provide detailed construction plans and stormwater report that address requirements outlined in the Public Works Design and Construction Standards in accordance with NMC 13.25 Stormwater Management.

Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

This criterion will be met if the aforementioned conditions of approval are adhered to.

CONCLUSION:

Based on the above findings, the project meets the criteria required within the Newberg Development Code, subject to completion of the attached conditions.

Section IV:
Conditions of Approval for VAR22-0003 and DR222-0010
VGMHC Newberg Clinic Addition and Parking Lot Modifications
Virginia Garcia Memorial Health Center

A. THE FOLLOWING MUST BE COMPLETED BEFORE THE CITY WILL ISSUE A BUILDING PERMIT:

1. **Permit Submittal:** Submit a building permit application and two (2) complete working drawing sets of the proposed project. Show all the features of the plan approved through design review, including the following:
 - a. Any required public improvement permit(s) for this project must be submitted, approved, and issued prior to building permits being issued.
2. **Conditions of Approval:** Either write or otherwise permanently affix the conditions of approval contained within this report onto the first page of the plans submitted for building permit review.
3. **Sidewalks:**
 - a. The applicant will be responsible for replacement of any sidewalk panels along the project site's frontage that are not in good condition or do not meet current ADA standards. Determination of the limits of any sidewalk replacements will be part of the permit plan review process.
4. **Parking and Private Walkways:**
 - a. A special covenant agreement approved by the city attorney, which bind the parking at R3220AB 00702 to the development at R3220AB 00500, must be submitted prior to building permit approval.
 - b. Easement documentation must be provided showing VGMHC may utilize tax lot R3220AB 00701 as a shared accessway to tax lot R3220AB 00702 and E Hancock Street, this must be submitted prior to building permit approval. prior to the building permit application shall be submitted.
 - c. Documentation will need to be provided at the time of building permit submittal, that VGMHC has a shared easement access across tax lot R3220AB 00701 and R3220AB 00702.
 - d. Prior to building permit approval, a lease agreement for tax lot R3220AB 00702 shall be submitted to the City detailing that VGMHC may utilize tax lot R3220AB 00702 for a loading berth. The lease should consider the current Declaration of Access Easement, Record No. 201301634, Agreement Section 2.A that states:

“The Easement Users shall not, nor shall they permit their employees, visitors, vendors, licensees, invitees, contractors or any other party to, install, construct or otherwise create any permanent or temporary obstruction of the Driveway, including the parking of vehicles other than emergency vehicles. Use of the Driveway for ingress and egress shall not be considered an obstruction of the Driveway unless such uses results in the queuing of vehicles in the Driveway.”

- e. The provision and maintenance of off-street loading space is a continuing obligation of the property owner. No building permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street loading space. The subsequent use of property for which the building permit is issued shall be conditional upon the unqualified continuance and availability of the amount of loading space required by this code. Should the owner or occupant of any building change the use to which the building is put, thereby increasing off-street loading requirements, it shall be unlawful and a violation of this code to begin or maintain such altered use until such time as the increased off-street loading requirements are met.
- f. A plan drawn to scale, indicating how the off-street loading requirements are to be fulfilled, shall accompany an application for a building permit.
- g. All required private walkways shall meet the applicable building code and Americans with Disabilities Act requirements. Plans addressing this shall be submitted at time of building permits and reviewed for approval.
- h. All crosswalk striping should consist of thermoplastic striping or similar type of durable application. Identification of this shall be submitted during the building permit review.

5. **Parking & Service Drive:**

- a. Any appropriate traffic control devices shall be installed for service drives providing ingress and egress.

6. **Landscaping:**

- a. A final landscaping plan meeting requirements of NMC 15.420.010 which identifies the specific number, location, and species of all newly installed landscaping shall be provided at the time of building permit application so that a final landscaping inspection may occur prior to obtaining the certificate of occupancy.
- b. Automatic, underground irrigation systems shall be provided for all areas required to be planted by NMC 15.420.010. Updated landscape plans

detailing irrigation details shall be submitted at the time of building permit applications.

- c. Required landscaping shall be continuously maintained. Updated landscape plans detailing how the landscaping will be continuously maintained shall be submitted at the time of building permit applications.
- d. All landscaping must be completed prior to final occupancy. If landscaping cannot be completed, options listed in NMC15.420.010(C) may be applied.

7. **Signs:**

- a. A separate sign application shall be submitted accordingly to both the Planning and Building Division and approved prior to the placement of any signs or murals that are subject to NMC 15.435.

8. **Exterior Lighting:**

- a. If the lease allowing VGMHC to use tax lot R3220AB 00702 were to expire, light trespass issues would need to be addressed at that time.

9. **Trash Enclosure:**

- a. The applicant shall coordinate with Waste Management to determine if the design and location of the trash and refuse storage area is appropriate for their vehicles. Approved communication shall be submitted with building permit applications.
- b. Prior to building permit approval, a lease agreement for tax lot R3220AB 00702 shall be submitted to the City detailing that VGMHC may utilize tax lot R3220AB 00702 for a trash enclosure area. The lease should consider the current Declaration of Access Easement, Record No. 201301634, Agreement Section 2.A.

10. **Underground Utilities:**

- a. With permit submittals the applicant will be required to submit plans that show any new utility lines to be installed underground.

11. **Fire Flow:**

- a. Fire flow test results are to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

12. **Easements:**

- a. The applicant is required to provide documentation of existing recorded easements for the existing 8-inch water main and 8-inch wastewater line within the private shared driveway for tax lots R3220AB 00700, 00701 and 00702 located along the western boundary of the project site or to

provide new recorded easements for these water and wastewater lines on forms approved by the City of Newberg and that comply with the City of Newberg Public Works Design and Construction Standards. Easement documentation is to be provided as part of the permit plan review and approval process.

- b. The applicant is required to provide documentation of an existing recorded public utility easement along the project site's E Hancock Street frontage or to provide a 10-foot-wide public utility easement along the E Hancock Street frontage of the project site. The public utility easement documentation is to be provided as part of the permit plan review and approval process.
- c. A 15-foot-wide public water line easement for any onsite public water line needed for serving the development will be required. The applicant will also be required to provide any other easements determined to be necessary during the permit plan review process. Easement documentation is to be provided as part of the permit plan review and approval process.
- d. No structures are to be constructed within or to encroach into existing or new easements.

13. **Permits:**

- a. Any required public improvement permit(s) for this project must be submitted, approved, fees paid, and issued prior to building permits being issued.

14. **Street Standards:**

- a. The applicant will be required to replace the portion of the driveway approach proposed for removal with curbing, sidewalk and landscaping in accordance with City of Newberg Public Works Design and Construction Standards and may be required to reconstruct the shared driveway approach for the existing shared driveway proposed to be shared with tax lots R3220AB 00700, 00701, and 00702. Determination of the limits of removal and replacement of the driveway approach will occur as part of the permit plan review process.
- b. The applicant will be required to provide recorded access and maintenance agreements for use of the shared driveway proposed to be shared with tax lots R3220AB 00700, 00701, and 00702 (2310 E Portland Road) and this project at 2251 E Hancock Street (tax lot R3220AB 00500). The recorded documents are to be submitted during the permit plan review process.

15. **Street Lighting:**

- a. the applicant will be required to provide street lighting plans with the

public improvement permit application and will be responsible for installation of PGE Option A street lights necessary to meet City standards. Street lighting analysis for preparation of street lighting plans is to extend to the center line of the E Hancock Street frontage.

16. **Water Improvements:**

- a. The applicant is required to submit construction plans and obtain a public improvement permit for the proposed water services.
- b. Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

17. **Wastewater Improvements:**

- a. With permit submittals the applicant will be required to submit plans that show an existing and/or proposed wastewater service connection to a public wastewater main.
- b. The applicant will be responsible for verifying that the capacity of the existing wastewater service line is adequate for the development.
- c. City of Newberg Public Works Operation Division has provided comments that an amalgam separator is required for dental offices per 40CFR, Part441, ORS679.525 and NMC 13.10.090 E and F. The applicant will be required to install a new, or re-install the current, amalgam separator in the dental offices. Plans for the amalgam separator are to be included with building permit submittals.
- d. The applicant is required to submit construction plans and obtain a public improvement permit for any new wastewater service line to serve the proposed project. Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

18. **Stormwater**

- a. With permit submittals the applicant will be required to submit plans that clearly show private stormwater conveyance facilities for the entire project site with connection to the public storm system.
- b. The applicant will be responsible to provide conveyance of stormwater to the public stormwater system.
- c. Final plans showing any connections to the public stormwater system will be required for the public works improvement permit application.

19. **Erosion Control:**

- a. The applicant will be required provide plans clearly showing the area of disturbance and to obtain a DEQ 1200 C Erosion Control Permit if 1 acre or more will be disturbed, or to obtain a City of Newberg Erosion Control Permit if less than 1 acre will be disturbed, prior to any ground disturbing activity.
- b. The applicant is required to submit a stormwater report and construction plans with permit applications. The stormwater report is to be prepared in accordance with the Public Works Design and Construction Standards.
- c. The applicant is required to provide detailed construction plans and stormwater report that address requirements outlined in the Public Works Design and Construction Standards in accordance with NMC 13.25 Stormwater Management.
- d. Plans will be fully reviewed for compliance with city standards including the Public Works Design and Construction Standards as part of the permit plan review process.

B. THE FOLLOWING MUST BE ACCOMPLISHED PRIOR TO OCCUPANCY

1. **Fire Department Requirements:** This project is subject to compliance with all Fire Department (TVF&R) standards relating to access and fire protection.
2. **Design Review Conditions:** Contact the Planning Division (503-537-1240) to verify that all design review conditions have been completed.
3. **Site Inspection:**
 - a. Contact the Building Division (503-537-1240) for Building, Mechanical, and Plumbing final inspections.
 - b. Contact the TVF&R (503-649-8577) for Fire Safety final inspections.
 - c. Contact Yamhill County (503-538-7302) for electrical final inspections.
 - d. Contact the Planning Division (503-537-1240) for landscaping final inspections.

C. DEVELOPMENT NOTES

1. Systems development charges (SDCs) will be collected when building permits are issued. For questions regarding SDCs please contact the Engineering Division.

Attachment 1: Application Material



TYPE II APPLICATION – LAND USE

File #: _____

TYPES – PLEASE CHECK ONE:

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance ² requested: Required Loading, Glazing percentage
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Scott Edwards Architecture, Kathy Johnson
 ADDRESS: 2525 E. Burnside St., Portland, OR 97214
 EMAIL ADDRESS: kjohnson@sealp.com
 PHONE: 503.896.3617 MOBILE: _____ FAX: _____
 OWNER (if different from above): Virginia Garcia Memorial Health Center - Brian Jackson, owner's rep. PHONE: 503.310.8707
 ADDRESS: Virginia Garcia: 3305 NW Aloclek Dr., Hillsboro, OR 97124 / Brian Jackson: 13545 NW Logie Trail Rd. Hillsboro, OR 97124
 ENGINEER/SURVEYOR: _____ PHONE: _____
 ADDRESS: _____

GENERAL INFORMATION:

PROJECT NAME: Virginia Garcia Memorial Health Clinic Newberg Wellness Center PROJECT LOCATION: 2251 E. Hancock St.
 PROJECT DESCRIPTION/USE: Medical/dental office PROJECT VALUATION: \$10M
 MAP/TAX LOT NO. (i.e.3200AB-400): MAP 3 2 20AB #00500, 00702 ZONE: C-2 SITE SIZE: 41,223 SQ. FT. ACRE
 COMP PLAN DESIGNATION: MIXED USE TOPOGRAPHY: _____
 CURRENT USE: Medical/dental office, office
 SURROUNDING USES:
 NORTH: COMMERCIAL/RETAIL SOUTH: RETAIL
 EAST: VACANT WEST: COMMERCIAL RETAIL/PARKING

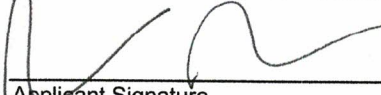
SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Public Notice Information Current Title Report Written Criteria Response Owner Signature

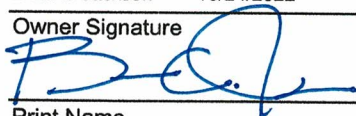
For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

- Design Reviewp. 12
- Partition Tentative Platp. 14
- Subdivision Tentative Platp. 17
- Variance Checklistp. 20

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.


 Applicant Signature 10/24/22
 Date

KATHY JOHNSON
Print Name

Brian C Jackson 10/24/2022
 Owner Signature  Date
 Print Name

GENERAL INFORMATION

Type II Development Permit Process

Overview: Type II Permit applications are reviewed administratively using a process in which City staff apply clear and objective standards that do not allow limited discretion. Notice is provided to property owners within 500 ft of the site so that they may provide input into the process. The noticing comment period is limited to 14 days in which written comments may be filed. The applicant or any person that comments in writing is able to appeal the staff decision to the Planning Commission. During the 14 day notice period, anyone may request that a Type II Subdivision decision be converted to a Type III process and that a hearing be held before the Planning Commission. Type II Decisions may take from 30 to 120 days.

Type II Permits Include:

- Design review for commercial, industrial and multi-family projects
- Manufactured home parks and mobile home parks.
- Partitions
- Subdivisions except those meeting the criteria in NDC § 15.235.030(A)
- Variances

Pre-Application Conference:

Please call to schedule a time for a pre-application meeting (optional) prior to submitting an application. The (Development Review Meetings) or pre-application meetings are held every Wednesday. This meeting provides the opportunity to get advance information from Planning, Engineering, and Building divisions all at once. It is likely to save you time and effort later. The non-refundable pre-application conference fee is \$105, payable prior to the conference.

Submit Type II Application

- ◆ Pay fees
- ◆ Complete application form(s)
- ◆ Submit plans and other required information

Processing

- ◆ Staff will perform a completeness check of the application and notify applicant of any information that is missing or incomplete. Processing time 0 to 30 days.
- ◆ Staff will route the application to affected agencies and City departments Processing time 14 to 20 days
- ◆ Applicant will provide copies of mailed and posted notices to the City for review, mail the approved notice to property owners within 500 ft. of the site, post the site, and provide staff with an affidavit verifying that the notice was mailed and posted. Processing Time: 14 to 20 days.
- ◆ Subdivision Conversion to Type III Review. During the 14 day comment period, anyone may request that a subdivision application be converted to a Type III review process. If this occurs, the subdivision will be reviewed by the Planning Commission at their next available meeting. Processing Time: 30 to 60 days.
- ◆ If all comments are addressed and no changes are required, then an approval letter is sent to the applicant and those providing comment. Processing Time: 14 to 20 days.

GENERAL INFORMATION

Type II Development Permit Process

Appeals

If the applicant, or another party providing written comments within the noticing period, is dissatisfied with the decision; then an appeal must be filed within 14 calendar days of the issuance of the decision. Appeals of Type II decisions proceed to the Planning Commission and are processed as a Type III decision.

Partition and Subdivision Plats

The applicant must submit final improvement plans and a final partition or subdivision plat within two years of the date of preliminary plat approval. Final plats are processed under a Type I decision.

Building Permits

The applicant may submit building permit applications concurrently with submission of other development applications; however, no building permits will be issued until the appeal period has expired on pending development applications

Helpful Hints:

Questions?

Information is free! Please do not hesitate to call (503) 537-1240 prior to submitting the application.

Partial Applications

Please do not submit partial applications. If the application, plans, and fee are not submitted together; processing will be delayed and the application may not be accepted for review.

Face-to-Face

It is best to submit an application in person. That way you can receive immediate feedback if there is missing information or suggestions for improvements.

NEWBERG PERMIT CENTER FEE SCHEDULE Effective Date: April 1, 2022

5% Technology fee will be added to total fees (resolution No. 2016-3268)

PRE-APPLICATION REVIEW	\$100
TYPE I (ADMINISTRATIVE REVIEW)	
ANY TYPE I ACTION NOT SPECIFICALLY LISTED IN THIS SECTION	\$190
ADU DESIGN REVIEW	\$190
COTTAGE CLUSTER DESIGN REVIEW	\$380
PROPERTY CONSOLIDATION	\$190
CODE ADJUSTMENT	\$475
DESIGN REVIEW - TYPE I (DUPLEX OR COM. /IND. MINOR ADDITION REVIEW)	0.3% OF PROJECT VALUE, \$475 MINIMUM
MINOR MODIFICATION OR EXTENSION OF TYPE I DECISION	\$190
MAJOR MODIFICATION OF TYPE I DECISION	50% OF ORIGINAL FEE
PARTITION FINAL PLAT	\$954 + \$83 PER PARCEL
PROPERTY LINE ADJUSTMENT	\$954
SIGN REVIEW	\$84 PLUS \$1.00 PER SQ. FT. OF SIGN FACE
SUBDIVISION, PUD, OR CONDOMINIUM FINAL PLAT	\$1912 + \$83 PER LOT OR UNIT
TYPE II (LAND USE DECISION)	
ANY TYPE II ACTION NOT SPECIFICALLY LISTED IN THIS SECTION	\$954
MINOR MODIFICATION OR EXTENSION OF TYPE II DECISION	\$190
MAJOR MODIFICATION OF TYPE II DECISION	50% OF ORIGINAL FEE
DESIGN REVIEW (INCLUDING MOBILE/MANUFACTURED HOME PARKS)	0.6% OF TOTAL PROJECT COST, \$954 MINIMUM*
PARTITION PRELIMINARY PLAT	\$954 PLUS \$83 PER PARCEL
SUBDIVISION PRELIMINARY PLAT	\$1912 PLUS \$83 PER LOT
VARIANCE	\$954
TYPE III (QUASI-JUDICIAL REVIEW)	
ANY TYPE III ACTION NOT SPECIFICALLY LISTED IN THIS SECTION	\$2026
ANNEXATION	\$2663 PLUS \$254 PER ACRE
COMPREHENSIVE PLAN AMENDMENT (SITE SPECIFIC)	\$2496
CONDITIONAL USE PERMIT	\$2026
MINOR MODIFICATION OR EXTENSION OF TYPE III DECISION	\$190
MAJOR MODIFICATION OF TYPE III DECISION	50% OF ORIGINAL FEE
HISTORIC LANDMARK ESTABLISHMENT OR MODIFICATION	\$0
HISTORIC LANDMARK ELIMINATION	\$2323
SUBDIVISION PRELIMINARY PLAT	\$1912 PLUS \$83 PER LOT
PLANNED UNIT DEVELOPMENT	\$4046+\$83 PER LOT OR UNIT
ZONING AMENDMENT (SITE SPECIFIC)	\$2523
TYPE IV (LEGISLATIVE AMENDMENTS)	
COMPREHENSIVE PLAN TEXT AMENDMENT OR LARGE SCALE MAP REVISION	\$2870
DEVELOPMENT CODE TEXT AMENDMENT OR LARGE SCALE MAP REVISION	\$2870
APPEALS	
TYPE I OR II APPEAL TO PLANNING COMMISSION	\$547
TYPE I OR II APPEAL TO CITY COUNCIL	\$992
TYPE III APPEAL TO CITY COUNCIL	\$1165
TYPE I ADJUSTMENTS OR TYPE II VARIANCES (THAT ARE NOT DESIGNED TO REGULATE THE PHYSICAL CHARACTERISTICS OF A USE PERMITTED OUTRIGHT)	\$307
EXHIBITOR LICENSE FEE APPEAL TO THE CITY COUNCIL	50% OF EXHIBITOR LICENSE FEE
OTHER FEES	
TECHNOLOGY FEE (<i>This fee will be added to all Planning, Engineering and Building Fees, does not apply to SDC fees</i>) 5% OF TOTAL EXPEDITED LAND DIVISION	\$7109 + \$83 PER LOT OR UNIT
URBAN GROWTH BOUNDARY AMENDMENT	\$4543
VACATION OF PUBLIC RIGHT-OF-WAY	\$1885
FEE-IN-LIEU OF PARKING PROGRAM	\$14,689 PER VEHICLE SPACE
BIKE RACK COST SHARING PROGRAM	\$100 PER RACK
LICENSE FEES	
GENERAL BUSINESS	\$50
HOME OCCUPATION	\$25
PEDDLER/SOLICITOR/STREET VENDOR	No fee (Business License fee only)
EXHIBITOR	\$140
TEMPORARY MERCHANT	\$113/45 days or \$377/perpetual

ADDITIONAL LAND USE REVIEW FEES - ENGINEERING DEPARTMENT

Planning Review, Partition, Subdivision & PUD's (Type II/III Application) - \$310.06 - 19 lots, Plus \$13.78 per lot over 19 lots

Final Plat Review, Partition and subdivision\$310.06 Plus\$7.79 per lot or parcel

Development review for public improvements on Commercial, Industrial, Multifamily Developments & Institutional zones
\$433.62 1st Acre \$247.69 Additional acre

ADOPTION AND REVISION HISTORY:
 Adopted by: Resolution 98-2122, July 6, 1998
 Amended by: Resolution 99-2214, December 8, 1999
 Resolution 2000-2265, October 2, 2000
 Resolution 2001-2318, November 19, 2001
 Executive Order January 2, 2007 (Reso. 99-2210)
 Executive Order, December 16, 2002 pursuant to Resolution 99-2210
 Executive Order October 24, 2008
 Executive Order April 1, 2015 (2015-42)

Executive Order, January 22, 2002 pursuant to Resolution 99-2210
 Resolution 2004-2466, November 3, 2003
 Resolution 2007-2752, December 3, 2007
 Executive Order November 29, 2011(2011-32)
 Executive Order October 24, 2012(2012-34)
 Resolution 2014-3140, May 19, 2014
 Resolution 2016-3268, April 18, 2016

Resolution 2017-3261 March 2017
 Resolution 2018-3443 March 2018
 Resolution 2019-3539 March 2019
 Resolution 2020-3646 March 2020
 Resolution 2021-3722 March 2021
 Resolution 2022-3788 March 2022

CITY OF NEWBERG

REQUIREMENTS FOR MAILED NOTICES

For all Type II and Type III land use applications, mailed notice must be sent to all property owners within five hundred (500) feet of the site. Newberg Development Code §15.100.210 sets forth the requirements for mailed notices. The applicant is responsible for preparing and mailing the notices, for paying the postage, and for submitting an affidavit of mailing within two days of mailing the notices.

Mailing List:

- The applicant must create a mailing list including the tax lot numbers and addresses of property owners within five hundred (500) feet of the outer boundaries of the tax lot or tax lots of the proposed project. This information can be obtained at a local title company.
- The Planning & Building Department may request that notice be provided to people other than those who own property within five hundred (500) feet of the site, if the Department believes that they are affected or otherwise represent an interest that may be affected by the proposed development.
- The mailing list and a copy of the mailed notice should be submitted with the affidavit of mailing.
- Envelopes returned to the post office should go to the Planning & Building Office so that they can be kept with the application file. The return address on the notices should read:

City of Newberg
Community Development
P.O. Box 970
Newberg, OR 97132

A return address stamp is available at the Planning & Building Office for your convenience.

Mailed Notice Deadlines:

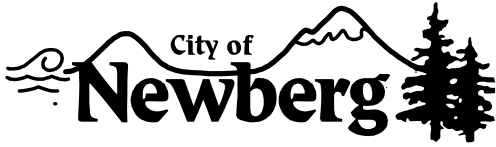
- Before mailing the notice, the applicant must submit a copy for approval to the Community Development Office at 414 E. First Street, Newberg, Oregon.
- For Type II actions, the notice must be mailed at least fourteen (14) days before a decision is rendered. For Type III actions, the notice must be mailed at least twenty (20) days before the first new hearing, or if two or more hearings are required, ten (10) days before the first new hearing.
- The affidavit of mailing must be submitted to the Planning & Building Office within two (2) days of mailing the notice.

Sample Notices:

A sample notice is included on the following page. Information to be filled in by the applicant is indicated by italicized text. Sample notices for each application type are located on the web at:

<http://www.newbergoregon.gov/planning/sample-notice-forms-type-ii-applications>

(Or to navigate there on your own from the homepage (www.newbergoregon.gov): Government, Community Development, Planning, Planning Forms)



Community Development Department

P.O. Box 970 ▪ 414 E First Street ▪ Newberg, Oregon 97132

503-537-1240. Fax 503-537-1272 www.newbergoregon.gov

WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to renovate and expand their existing building. You are invited to take part in the City's review of this project by sending in your written comments. For more details about giving comments, please see the back of this sheet.

The development would include a full renovation of the existing building, 9,125 SF of building additions, site improvements and the development of approximately 38,000 SF for parking on the adjacent lot.

APPLICANT: *Scott Edwards Architecture, Kathy Johnson*

TELEPHONE: *503.896.5332*

PROPERTY OWNER: *Virginia Garcia Memorial Health Center*

LOCATION: *2251 E. Hancock Street*

TAX LOT NUMBER: *Map 3 2 20AB #00500*



We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

Written Comments: File No.XX **(City staff will give you the file number for
City of Newberg your project at the time of application)**
Community Development Department
PO Box 970
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on **enter date two weeks from date you mailed notice**. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***Date notice is mailed***

CITY OF NEWBERG

REQUIREMENTS FOR POSTED NOTICES

For all Type II and Type III land use applications, the site must be posted with an approved notice. Newberg Development Code §15.100.260 establishes the standards for posted notices. Before notice is posted on the site, a copy of the notice must be submitted to the Planning & Building Office for review. Within two (2) days of posting the site, an affidavit of posting must be submitted to the Community Development office.

Posted notices must contain the following information:

- Planning Division file number
- A brief description of the proposal
- Phone number and address for the Newberg Planning & Building Department, 414 E. First Street, phone 503-537-1240

Guidelines for Posting Notice:

- The posted notice must be waterproof and a minimum of two (2) feet by three (3) feet in size.
- Each frontage of the site must be posted. If a frontage is more than six hundred (600) feet in length, additional notices are required for each six hundred (600) feet or fraction thereof. For example, a lot with a 1400' frontage on Wyooski Street must be posted with three notices along that frontage.
- The notices must not be posted within the public right-of-way, though they must be within ten (10) feet of it.
- The notices must be clearly visible to pedestrians and motorists in the public right-of-way, and must not be posted on trees.
- For Type II applications, the site must be posted at least fourteen (14) days before a decision is rendered.
- For Type III applications, the site must be posted at least ten days (10) before the first scheduled hearing.

Signs for posted notices:

The posted notices must be able to withstand adverse weather. All posted notice signs must conform to the attached example. Signs must be landscape orientation and white with black lettering ("sans-serif" font i.e. Arial or block printing).

Signs may be ordered custom-made from sign companies such as Chehalem Sign Co., or applicants may construct their own signs.

Acceptable materials for notice signs: (dimensions: minimum 2' x 3')

- Plywood (but sign face must be white)
- Plastic or corrugated plastic
- Foam core board (available at many art and hobby supply shops)
- Water resistant poster board
- Other weatherproof materials

Posted notice signs may not be attached to trees, and must be located outside the public right-of-way but within ten (10) feet of it. Therefore, the signs should have legs or stakes or otherwise be freestanding.

Removal of Posted Notice:

The notice must remain posted until a final decision is made. Within ten (10) days of the final decision, the notice(s) must be removed from the site by the applicant.

3' - 0"

Land Use Notice

FILE # DR2-12-010 / VAR-12-001 /
HISD-12-002

PROPOSAL: Design review for a major renovation of and addition to the existing clinic building, a Variance to reduce the required loading berths to one and a Variance to reduce the required glazing percentage to 36%

FOR FURTHER INFORMATION, CONTACT:

City of Newberg
Planning & Building Department
414 E First Street
Phone: 503-537-1240

2' - 0"

POSTED NOTICE

CITY OF NEWBERG

AFFIDAVIT OF NOTICING REQUIREMENTS

The affidavit on the following page must be submitted to the Community Development Department **within two (2) days of mailing notice** and **within two (2) days of posting notice**. The consequences of failure to mail and post notice, and to submit the affidavits within the two (2) day deadline are described in Newberg Development Code §15.100.210(J) and §15.100.260(I).

§15.100.210(J) - Failure to Mail the Notice:

Failure to mail the notice and affirm that the mailing was completed in conformance with the code shall result in:

- (1) Postponement of a decision until the mailing requirements have been met; or
- (2) Postponement of the hearing to the next regularly scheduled meeting or to such other meeting as may be available for the hearing; or
- (3) The entire process being invalidated; or
- (4) Denial of the application.

§15.100.260(I) - Failure to Post the Notice:

The failure of the posted notice to remain on the property shall not invalidate the proceedings. Failure by the applicant to post a notice and affirm that the posting was completed in conformance with the code shall result in:

- (1) Postponement of a decision until the mailing requirements have been met; or
- (2) Postponement of the hearing to the next regularly scheduled meeting or to such other meeting as may be available for the hearing; or
- (3) The entire process being invalidated; or
- (4) Denial of the application.

PLANNING DIVISION FILE #: _____

**CITY OF NEWBERG
AFFIDAVIT OF NOTICING**

REFERENCE ATTACHED LIST(S)/NOTICE(S)

I, _____, do hereby certify that the attached Notice of Land Use Action was:

- a) mailed to the following list of property owners, by United States mail, postage prepaid
on _____;
(date)
- b) posted on the site according to standards established in Newberg Development Code §15.100.260
on _____.
(date)

I acknowledge that failure to mail the notice in a timely manner constitutes an agreement by the applicant to defer the 120-day process limit and acknowledge that failure to mail will result in the automatic postponement of a decision on the application 15.100.210.(D)(2) _____.
(date)

Signature Date

Print name

§15.220.050 - TYPE II DESIGN REVIEW CRITERIA

Type II Site Design Review applies to the following activities:

- Any new development or remodel which is not specifically identified within Newberg Development Code § 15.220.020(A)(1).
- Telecommunication facilities.

The following development activities are exempt from Type II standards:

- Replacement of an existing item such as a roof, floor, door, window or siding.
- Plumbing and/or mechanical alterations which are completely internal to an existing structure.

Provide a written response that specifies how your project meets the following criteria:

- (1) *Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.*
- (2) *Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.*
- (3) *Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements*
- (4) *Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.*
- (5) *Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.*
- (6) *Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.*
- (7) *Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.*
- (8) *Sub district Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.*
- (9) *Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.*
- (10) *Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director. [Ord. 2763 § 1 (Exh. A § 7), 9-16-13; Ord. 2747 § 1 (Exh. A § 5), 9-6-11; Ord. 2451, 12-2-96. Code 2001 § 151.194.]*

PLEASE NOTE THAT THE REQUIRED VARIANCE INFORMATION IS INCLUDED IN THE DESIGN REVIEW DOCUMENT PACKAGE

DESIGN REVIEW CHECKLIST

The following items must be submitted with each application. Incomplete applications will not be processed. Incomplete or missing information may delay the review process. Check with the Planning Division regarding additional requirements for your project.

FEES

PUBLIC NOTICE INFORMATION – Draft of mailer notice and sign; mailing list of all properties within 500’.

CURRENT TITLE REPORT (~~within 60 days old~~) TITLE REPORT DATED OCTOBER, 2021 WAS APPROVED FOR SUBMITTAL BY ASHLEY SMITH

SUBMIT one original and three copies 8-1/2" x 11" or 11" x 17" reproducible document together with 20 copies of the following information. In addition, submit two (2) full size copies of all plans.

WRITTEN CRITERIA RESPONSE – Address the criteria listed on page 12.

SITE DEVELOPMENT PLAN. Make sure the plans are prepared so that they are at least 8 ½ x 11 inches in size and the scale is standard, being 10, 20, 30, 40, 50, 100 or multiples of 100 to the inch (such as 1":10', 1":20' or other multiples of 10). Include the following information in the plan set (information may be shown on multiple pages):

- Existing Site Features: Show existing landscaping, grades, slopes, wetlands and structures on the site and for areas within 100' of the site. Indicate items to be preserved and removed.
- Drainage & Grading: Show the direction and location of on and off-site drainage on the plans. This shall include site drainage, parking lot drainage, size and location of storm drain lines, and any retention or detention facilities necessary for the project. Provide an engineered grading plan if necessary. A preliminary storm water report is required (see Public works Design and Construction standards).
- Utilities: Show the location of and access to all public and private utilities, including sewer, water, storm water and any overhead utilities.
- Public Improvements: Indicate any public improvements that will be constructed as part of the project, including sidewalks, roadways, and utilities.
- Access, Parking, and Circulation: Show proposed vehicular and pedestrian circulation, parking spaces, parking aisles, and the location and number of access points from adjacent streets. Provide dimensions for parking aisles, back-up areas, and other items as appropriate. Indicate where required bicycle parking will be provided on the site along with the dimensions of the parking spaces.
- Site Features: Indicate the location and design of all on-site buildings and other facilities such as mail delivery, trash disposal, above ground utilities, loading areas, and outdoor recreation areas. Include appropriate buffering and screening as required by the code.
- Exterior Lighting Plan: Show all exterior lighting, including the direction of the lighting, size and type of fixtures, and an indication of the amount of lighting using foot candles for analysis.
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- ADA Plan Compliance: Indicate compliance with any applicable ADA provisions, including the location of accessible parking spaces, accessible routes from the entrance to the public way, and ramps for wheelchairs.
- Architectural Drawings: Provide floor plans and elevations for all planned structures.
- Signs and Graphics: Show the location, size, colors, materials, and lighting of all exterior signs, graphics or other informational or directional features if applicable.
- Other: Show any other site elements which will assist in the evaluation of the site and the project.

TRAFFIC STUDY

A traffic study shall be submitted for any project that generates in excess of forty (40) trips per p.m. peak hour. This requirement may be waived by the Director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the

Director for projects below forty (40) trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service.

§ 15.215.040 - TYPE II VARIANCE CRITERIA

DEFINITION: A variance is an exception to provisions of this code where strict or literal interpretation of the ordinances contained herein would result in practical difficulty and unnecessary physical hardship.

GENERAL REQUIREMENTS: Variances may be used to allow modification to specific standards contained in this code if the approval authority finds the applicant has satisfactorily documented compliance with the approval criteria. If a variance request is approved, the approval authority may attach conditions to the final decision in order to mitigate adverse impacts which might result from the approval.

The following regulations may not be varied:

- The uses permitted in the land use district.
- Definitions.
- Restrictions on the use or development that contain the word “prohibited.”
- Signs.

Provide a written response that specifies how your project meets the following criteria:

- (A) That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this code.
- (B) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties classified in the same zoning district.
- (C) That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.
- (D) That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.
- (E) That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

Have you met the criteria for a variance? Use these questions to help you determine whether your application meets the above criteria.

- 1) What code requirement and code section applies to the proposed variance (i.e: setback, lot coverage, height, etc.)?
- 2) What is the reason for the variance?
- 3) What difficulty or hardship would result from complying with the standard in the code?
- 4) How is your situation unique or exceptional and how is this different from other properties that have the same zoning (i.e: unusual lot shape, steep topography, stream on the property, etc.)?
- 5) What type of impacts would granting the variance have on the neighboring properties?
- 6) Are you aware of any concerns previously voiced by the neighbors and if so what are they?
- 7) What can you offer to minimize or mitigate the requested variance (i.e: landscaping, screening, public improvements, etc.)?

PLEASE NOTE THAT THE REQUIRED VARIANCE INFORMATION
IS INCLUDED IN THE DESIGN REVIEW DOCUMENT PACKAGE

VARIANCE CHECKLIST

The following information shall be submitted with each application. Incomplete applications will not be processed. Incomplete or missing information may delay the review process. Check with the Planning Division staff regarding additional requirements for your project.

FEES

PUBLIC NOTICE INFORMATION – Draft of mailer notice and sign; mailing list to all properties within 500’.

CURRENT TITLE REPORT – ~~(within 60 days old)~~ TITLE REPORT DATED OCTOBER, 2021 WAS APPROVED FOR SUBMITTAL BY ASHLEY SMITH

SUBMIT one original and three copies 8-1/2" x 11" or 11" x 17" reproducible document together with 20 copies of the following information. In addition, submit two (2) full size copies of all plans.

WRITTEN CRITERIA RESPONSE – Address the criteria listed on page 19.

WRITTEN STATEMENT – Prepare a written statement of the precise nature of the variance that is being requested and the reason that you cannot meet the applicable code requirement.

SITE PLAN. Make sure the plans are prepared so that they are at least 8 ½ x 11 inches in size and the scale is standard, being 10, 20, 30, 40, 50, 100 or multiples of 100 to the inch. Include the following information in the plan set (information may be shown on multiple pages):

- All existing and proposed streets
- Property lines and any easements
- Existing and proposed uses, structures, driveways and sidewalks
- Off-street parking and loading areas
- Landscaping
- Any other information that helps illustrate the proposal

§15.220.050 - TYPE II DESIGN REVIEW CRITERIA

Type II Site Design Review applies to the following activities:

- Any new development or remodel which is not specifically identified within Newberg Development Code § 15.220.020(A)(1).
- Telecommunication facilities.

The following development activities are exempt from Type II standards:

- Replacement of an existing item such as a roof, floor, door, window or siding.
- Plumbing and/or mechanical alterations which are completely internal to an existing structure.

Provide a written response that specifies how your project meets the following criteria:

- (1) *Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.*
- (2) *Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.*
- (3) *Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements*
- (4) *Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.*
- (5) *Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.*
- (6) *Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.*
- (7) *Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.*
- (8) *Sub district Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.*
- (9) *Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.*
- (10) *Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director. [Ord. 2763 § 1 (Exh. A § 7), 9-16-13; Ord. 2747 § 1 (Exh. A § 5), 9-6-11; Ord. 2451, 12-2-96. Code 2001 § 151.194.]*

PLEASE NOTE THAT THE REQUIRED VARIANCE INFORMATION IS INCLUDED IN THE DESIGN REVIEW DOCUMENT PACKAGE

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Preliminary Report

Fidelity National Title - Oregon
900 SW 5th Avenue, Portland, OR 97204

Escrow Officer: Paula Kingsley
Email: Paula.Kingsley@fnf.com
Phone: 503-222-2424
File No.: 45142128362

Property Address: 2251 E. Hancock Street, Newberg, OR 97132

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Fidelity National Title
Company of Oregon

PRELIMINARY REPORT

In response to the application for a policy of title insurance referenced herein Fidelity National Title Company of Oregon hereby reports that it is prepared to issue, or cause to be issued, as of the specified date, a policy or policies of title insurance describing the land and the estate or interest hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage of said policy or policies are set forth in Exhibit One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Fidelity National Title Insurance Company, a/an Florida corporation.

Please read the exceptions shown or referred to herein and the Exceptions and Exclusions set forth in Exhibit One of this report carefully. The Exceptions and Exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

This preliminary report is for the exclusive use of the parties to the contemplated transaction, and the Company does not have any liability to any third parties nor any liability until the full premium is paid and a policy is issued. Until all necessary documents are placed of record, the Company reserves the right to amend or supplement this preliminary report.

Countersigned

A handwritten signature in black ink, appearing to read "Kadeem Hussainy", written over a horizontal line.



Fidelity National Title

Company of Oregon

900 SW 5th Avenue, Portland, OR 97204
(503)222-2424 FAX (503)227-2274

PRELIMINARY REPORT

ESCROW OFFICER: Paula Kingsley
Paula.Kingsley@fnf.com
503-222-2424

ORDER NO.: 45142128362

TITLE OFFICER: Deborah Clark
deborah.clark@titlegroup.fntg.com
(503)472-6101

TO: Fidelity National Title Company of Oregon
900 SW 5th Avenue
Portland, OR 97204

ESCROW LICENSE NO.: 901000243

OWNER/SELLER: Sima Enterprises, LLC

BUYER/BORROWER: Virginia Garcia Memorial Health Center

PROPERTY ADDRESS: 2251 E. Hancock Street, Newberg, OR 97132

EFFECTIVE DATE: October 11, 2021, 08:00 AM

1. THE POLICY AND ENDORSEMENTS TO BE ISSUED AND THE RELATED CHARGES ARE:

	<u>AMOUNT</u>	<u>PREMIUM</u>
ALTA Owner's Policy 2006 Owner's Standard (Short Term Rate)	\$ 2,855,000.00	\$ 3,662.00
Government Lien Search		\$ 25.00

2. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Sima Enterprises, LLC, an Oregon limited liability company

4. THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON, AND IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT "A"
Legal Description

A tract of land in Section 20, Township 3 South, Range 2 West, Willamette Meridian, City of Newberg, Yamhill County, Oregon, and being part of that tract of land described in Deed from Siamak Eghlidi to Powell Built Homes, Inc., and recorded in Instrument No. 199707832, Yamhill County Deed Records, and being more particularly described as follows:

Beginning at the Northeast corner of said Powell Built Homes, Inc. tract, which is on record as being West 11.00 chains (726.00 feet) and North 4.91 chains (324.06 feet) from the Southeast corner of the Northwest one-quarter of the Richard Everest Conation Land Claim; thence South 00°14'14" West 137.09 feet, along the East line of said tract, to an iron rod and the true point of beginning; thence West 259.29 feet to an iron rod; thence South 00°15'54" West 159.13 feet to an iron rod on the North margin of Hancock Street; thence East 259.37 feet, along said margin, to the East line of said Powell tract; thence North 00°14'14" East 159.13 feet, along said line, to the true point of beginning.

AS OF THE DATE OF THIS REPORT, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:

GENERAL EXCEPTIONS:

- 1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests or claims, which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- 3. Easements, or claims of easement, which are not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
- 4. Any encroachment (of existing improvements located on the Land onto adjoining land or of existing improvements located on adjoining land onto the subject Land), encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the subject Land.
- 5. Any lien or right to a lien for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

SPECIFIC ITEMS AND EXCEPTIONS:

- 6. Unpaid Property Taxes are as follows:

Fiscal Year: 2021-2022
 Amount: \$11,970.63, plus interest, if any
 Levy Code: 29.0
Account No.: 56370
 Map No.: R3220AB 00500

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

- 7. Taxes, including current year, have been assessed with an exemption. If the exempt status is terminated under the statute prior to the date on which the assessment roll becomes the tax roll in the year in which said taxes were assessed, an additional tax may be levied.

Exemption: 307.130-Literary/Charitable/Science
Tax Account No.: 56370

- 8. Rights of the public to any portion of the Land lying within the area commonly known as Hancock Street.
- 9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Owners of adjoining property
 Purpose: Utilities
 Recording Date: January 21, 2000
Recording No.: 200000868
 Affects: See document for specifics

10. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: City of Newberg
Purpose: Utilities
Recording Date: February 25, 2000
[Recording No: 200002553](#)
Affects: See document for specifics

11. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$1,100,000.00
Dated: May 25, 2021
Trustor/Grantor: Sima Enterprises, LLC, an Oregon limited liability company
Trustee: First American Title Company
Beneficiary: Oregon Community Credit Union
Loan No.: 1205000112
Recording Date: May 28, 2021
[Recording No: 202111036](#)

12. An assignment of all moneys due, or to become due as rental or otherwise from said Land, to secure payment of an indebtedness, shown below and upon the terms and conditions therein

Amount: \$1,100,000.00
Assigned to: Oregon Community Credit Union
Assigned By: Sima Enterprises, LLC
Recording Date: May 28, 2021
[Recording No: 202111037](#)

13. Existing leases and tenancies, if any, and any interests that may appear upon examination of such leases.

14. The Company has on file a copy of the Operating Agreement for Sima Enterprises, LLC, dated March 3, 2021. A copy of any amendments subsequent to the date of said Operating Agreement should be furnished for review prior to closing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

15. If requested to issue an extended coverage ALTA loan policy, the following matters must be addressed:

- a) The rights of tenants holding under unrecorded leases or tenancies
- b) Matters disclosed by a statement as to parties in possession and as to any construction, alterations or repairs to the Land within the last 75 days. The Company must be notified in the event that any funds are to be used for construction, alterations or repairs.
- c) Any facts which would be disclosed by an accurate survey of the Land

ADDITIONAL REQUIREMENTS/NOTES:

- A. In addition to the standard policy exceptions, the exceptions enumerated above shall appear on the final 2006 ALTA Policy unless removed prior to issuance.

- B. Note: No utility search has been made or will be made for water, sewer or storm drainage charges unless the City/Service District claims them as liens (i.e. foreclosable) and reflects them on its lien docket as of the date of closing. Buyers should check with the appropriate city bureau or water service district and obtain a billing cutoff. Such charges must be adjusted outside of escrow.
- C. Note: Effective January 1, 2008, Oregon law (ORS 314.258) mandates withholding of Oregon income taxes from sellers who do not continue to be Oregon residents or qualify for an exemption. Please contact your Escrow Closer for further information.
- D. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Virginia Garcia Memorial Health Center

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- E. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.
- F. Note: There are no matters against the party(ies) shown below which would appear as exceptions to coverage in a title insurance product:

Parties: Virginia Garcia Memorial Health Center, an Oregon non-profit corporation

- G. THE FOLLOWING NOTICE IS REQUIRED BY STATE LAW: YOU WILL BE REVIEWING, APPROVING AND SIGNING IMPORTANT DOCUMENTS AT CLOSING. LEGAL CONSEQUENCES FOLLOW FROM THE SELECTION AND USE OF THESE DOCUMENTS. YOU MAY CONSULT AN ATTORNEY ABOUT THESE DOCUMENTS. YOU SHOULD CONSULT AN ATTORNEY IF YOU HAVE QUESTIONS OR CONCERNS ABOUT THE TRANSACTION OR ABOUT THE DOCUMENTS. IF YOU WISH TO REVIEW TRANSACTION DOCUMENTS THAT YOU HAVE NOT SEEN, PLEASE CONTACT THE ESCROW AGENT.

H. Recording Charge (Per Document) is the following:

County	First Page	Each Additional Page
Yamhill	\$81.00	\$5.00

Note: When possible the company will record electronically. An additional charge of \$5.00 applies to each document that is recorded electronically.

Note: Please send any documents for recording to the following address:
Portland Title Group
Attn: Recorder
1433 SW 6th Ave.
Portland, OR. 97201

Please email your release to the following email address: or-ttc-yamhillrecording@ticortitle.com

- I. Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.
- J. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

K. NOTE: IMPORTANT INFORMATION REGARDING PROPERTY TAX PAYMENTS:

Fiscal Year:	July 1st through June 30th
Taxes become a lien on real property, but are not yet payable:	July 1st
Taxes become certified and payable (approximately on this date):	October 15th
First one third payment of taxes is due:	November 15th
Second one third payment of taxes is due:	February 15th
Final payment of taxes is due:	May 15th

Discounts: If two thirds are paid by November 15th, a 2% discount will apply. If the full amount of the taxes are paid by November 15th, a 3% discount will apply.

Interest: Interest accrues as of the 15th of each month based on any amount that is unpaid by the due date. No interest is charged if the minimum amount is paid according to the above mentioned payment schedule.

EXHIBIT ONE

2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;
 - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
 - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
 - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;

- not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.



Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:

<http://www.fbi.gov>

Internet Crime Complaint Center:

<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

CITY OF NEWBERG

REQUIREMENTS FOR MAILED NOTICES

For all Type II and Type III land use applications, mailed notice must be sent to all property owners within five hundred (500) feet of the site. Newberg Development Code §15.100.210 sets forth the requirements for mailed notices. The applicant is responsible for preparing and mailing the notices, for paying the postage, and for submitting an affidavit of mailing within two days of mailing the notices.

Mailing List:

- The applicant must create a mailing list including the tax lot numbers and addresses of property owners within five hundred (500) feet of the outer boundaries of the tax lot or tax lots of the proposed project. This information can be obtained at a local title company.
- The Planning & Building Department may request that notice be provided to people other than those who own property within five hundred (500) feet of the site, if the Department believes that they are affected or otherwise represent an interest that may be affected by the proposed development.
- The mailing list and a copy of the mailed notice should be submitted with the affidavit of mailing.
- Envelopes returned to the post office should go to the Planning & Building Office so that they can be kept with the application file. The return address on the notices should read:

City of Newberg
Community Development
P.O. Box 970
Newberg, OR 97132

A return address stamp is available at the Planning & Building Office for your convenience.

Mailed Notice Deadlines:

- Before mailing the notice, the applicant must submit a copy for approval to the Community Development Office at 414 E. First Street, Newberg, Oregon.
- For Type II actions, the notice must be mailed at least fourteen (14) days before a decision is rendered. For Type III actions, the notice must be mailed at least twenty (20) days before the first new hearing, or if two or more hearings are required, ten (10) days before the first new hearing.
- The affidavit of mailing must be submitted to the Planning & Building Office within two (2) days of mailing the notice.

Sample Notices:

A sample notice is included on the following page. Information to be filled in by the applicant is indicated by italicized text. Sample notices for each application type are located on the web at:

<http://www.newbergoregon.gov/planning/sample-notice-forms-type-ii-applications>

(Or to navigate there on your own from the homepage (www.newbergoregon.gov): Government, Community Development, Planning, Planning Forms)



Community Development Department

P.O. Box 970 ▪ 414 E First Street ▪ Newberg, Oregon 97132

503-537-1240. Fax 503-537-1272 www.newbergoregon.gov

WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to renovate and expand their existing building. You are invited to take part in the City's review of this project by sending in your written comments. For more details about giving comments, please see the back of this sheet.

The development would include a full renovation of the existing building, 9,125 SF of building additions, site improvements and the development of approximately 38,000 SF for parking on the adjacent lot.

APPLICANT: *Scott Edwards Architecture, Kathy Johnson*

TELEPHONE: *503.896.5332*

PROPERTY OWNER: *Virginia Garcia Memorial Health Center*

LOCATION: *2251 E. Hancock Street*

TAX LOT NUMBER: *Map 3 2 20AB #00500*



We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

Written Comments: File No.XX **(City staff will give you the file number for
City of Newberg your project at the time of application)**
Community Development Department
PO Box 970
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on **enter date two weeks from date you mailed notice**. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***Date notice is mailed***

CITY OF NEWBERG

REQUIREMENTS FOR POSTED NOTICES

For all Type II and Type III land use applications, the site must be posted with an approved notice. Newberg Development Code §15.100.260 establishes the standards for posted notices. Before notice is posted on the site, a copy of the notice must be submitted to the Planning & Building Office for review. Within two (2) days of posting the site, an affidavit of posting must be submitted to the Community Development office.

Posted notices must contain the following information:

- Planning Division file number
- A brief description of the proposal
- Phone number and address for the Newberg Planning & Building Department, 414 E. First Street, phone 503-537-1240

Guidelines for Posting Notice:

- The posted notice must be waterproof and a minimum of two (2) feet by three (3) feet in size.
- Each frontage of the site must be posted. If a frontage is more than six hundred (600) feet in length, additional notices are required for each six hundred (600) feet or fraction thereof. For example, a lot with a 1400' frontage on Wyooski Street must be posted with three notices along that frontage.
- The notices must not be posted within the public right-of-way, though they must be within ten (10) feet of it.
- The notices must be clearly visible to pedestrians and motorists in the public right-of-way, and must not be posted on trees.
- For Type II applications, the site must be posted at least fourteen (14) days before a decision is rendered.
- For Type III applications, the site must be posted at least ten days (10) before the first scheduled hearing.

Signs for posted notices:

The posted notices must be able to withstand adverse weather. All posted notice signs must conform to the attached example. Signs must be landscape orientation and white with black lettering ("sans-serif" font i.e. Arial or block printing).

Signs may be ordered custom-made from sign companies such as Chehalem Sign Co., or applicants may construct their own signs.

Acceptable materials for notice signs: (dimensions: minimum 2' x 3')

- Plywood (but sign face must be white)
- Plastic or corrugated plastic
- Foam core board (available at many art and hobby supply shops)
- Water resistant poster board
- Other weatherproof materials

Posted notice signs may not be attached to trees, and must be located outside the public right-of-way but within ten (10) feet of it. Therefore, the signs should have legs or stakes or otherwise be freestanding.

Removal of Posted Notice:

The notice must remain posted until a final decision is made. Within ten (10) days of the final decision, the notice(s) must be removed from the site by the applicant.

3' - 0"

Land Use Notice

FILE # DR2-12-010 / VAR-12-001 /
HISD-12-002

PROPOSAL: Design review for a major renovation of and addition to the existing clinic building, a Variance to reduce the required loading berths to one and a Variance to reduce the required glazing percentage to 36%

FOR FURTHER INFORMATION, CONTACT:

City of Newberg
Planning & Building Department
414 E First Street
Phone: 503-537-1240

2' - 0"

POSTED NOTICE

CITY OF NEWBERG

AFFIDAVIT OF NOTICING REQUIREMENTS

The affidavit on the following page must be submitted to the Community Development Department **within two (2) days of mailing notice** and **within two (2) days of posting notice**. The consequences of failure to mail and post notice, and to submit the affidavits within the two (2) day deadline are described in Newberg Development Code §15.100.210(J) and §15.100.260(I).

§15.100.210(J) - Failure to Mail the Notice:

Failure to mail the notice and affirm that the mailing was completed in conformance with the code shall result in:

- (1) Postponement of a decision until the mailing requirements have been met; or
- (2) Postponement of the hearing to the next regularly scheduled meeting or to such other meeting as may be available for the hearing; or
- (3) The entire process being invalidated; or
- (4) Denial of the application.

§15.100.260(I) - Failure to Post the Notice:

The failure of the posted notice to remain on the property shall not invalidate the proceedings. Failure by the applicant to post a notice and affirm that the posting was completed in conformance with the code shall result in:

- (1) Postponement of a decision until the mailing requirements have been met; or
- (2) Postponement of the hearing to the next regularly scheduled meeting or to such other meeting as may be available for the hearing; or
- (3) The entire process being invalidated; or
- (4) Denial of the application.

PLANNING DIVISION FILE #: _____

**CITY OF NEWBERG
AFFIDAVIT OF NOTICING**

REFERENCE ATTACHED LIST(S)/NOTICE(S)

I, _____, do hereby certify that the attached Notice of Land Use Action was:

- a) mailed to the following list of property owners, by United States mail, postage prepaid
on _____;
(date)

- b) posted on the site according to standards established in Newberg Development Code §15.100.260
on _____.
(date)

I acknowledge that failure to mail the notice in a timely manner constitutes an agreement by the applicant to defer the 120-day process limit and acknowledge that failure to mail will result in the automatic postponement of a decision on the application 15.100.210.(D)(2) _____.
(date)

Signature Date

Print name



VIRGINIA GARCIA MEMORIAL HEALTH CENTER
NEWBERG WELLNESS CENTER
DESIGN REVIEW APPLICATION

SEPTEMBER 6, 2022

TABLE OF CONTENTS

- 1 | SITE AND ZONING INFORMATION
- 2 | PROJECT DESCRIPTION
- 3 | DESIGN DRAWINGS
- 4 | APPENDIX



1| SITE AND ZONING INFORMATION

MAIN PROJECT SITE

Address: 2251 E Hancock St, Newberg, OR 97132

Tax Lot: MAP 3 2 20AB #00500

Property Owner: Virginia Garcia Memorial Health Center

Zoning: C-2 Community Commercial

Existing Use: Medical Office

Proposed Use: Medical Office

Total Site Size: 41,223 sf

Existing Building Size: 13,107 sf

NORTH PARKING LOT

Tax Lot: MAP 3 2 20AB 00702

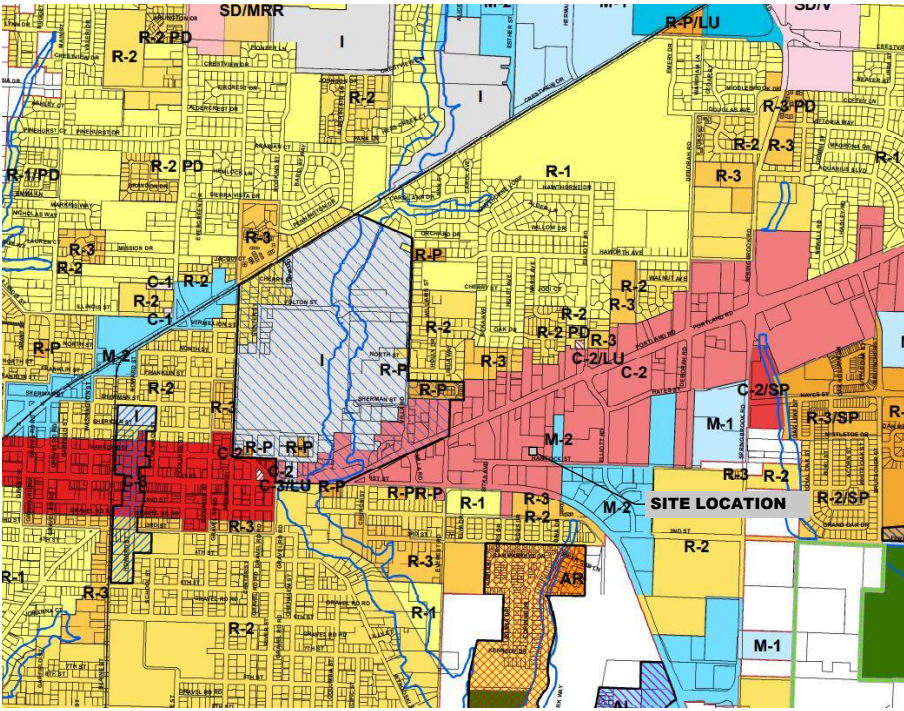
Property Owner: Goodwill Industries of the Columbia Willamette

Zoning: C-2 Community Commercial

Existing Use: Parking

Proposed Use: Parking

Total Site Size: 43,563 sf



ZONING

Zoning:	Both project sites are C-2 Community Commercial
Adjacent Site Zoning:	Both project sites are surrounded by C-2 Community Commercial
Setbacks:	Front yard setback - 10' min. Side yard setback - none
Landscape Coverage:	Required: 15% Provided: 25% North Lot Provided: 17% Main Lot
Height Limitation:	No building height limitation because neither abut residential
Expected Land Use Review:	Type II, major building addition
Off- Street Parking:	Medical/dental office 3.5 spaces per 1,000 gsf Required: 77 min; 92 max Provided: 86

Note: Building parking is split between the main project site and the north parking lot site. The north parking will be a long-term shared access agreement between land owners. Agreement between owners and the City of Newberg are ongoing at the time of the submittal. We are requesting for Design Review to commence prior to agreement finalization. Agreement by all three parties will need to be finalized prior to Design Review approval.

No designated employee parking is provided.

Bicycle Parking:	1 space for every 10,000 gsf Required: 3 Provided: 4 Short Term
Mailed Notice:	Mailed notice required for Type II at least 14 days prior to decision rendered.
Loading Berths:	Required: 2 Provided: 1 Note: See appendix for loading berth variance request.
Glazing Requirements:	40% on the ground floor facade facing public street; 36% provided Note: See appendix for glazing requirement variance. 20% on other ground floor facades not facing public street: Provided: North elevation 25%, East elevation 28%; West elevation 25%

2| PROJECT DESCRIPTION

EXISTING SITE - MAIN PROJECT SITE

The site was purchased by long term tenant Virginia Garcia Memorial Health Center in 2021 in hopes to expand the health, dental and wellness services they provide to the community.

The main building site has a long rectangular multi-tenant building, parking to the south, drive aisle on the east and west side and parking to the north. There are existing trees on the north, east and west side of the site. Trash enclosure is located on the west side of the site.

It is unknown when the existing building was built but presumably in the early 90s. The building has a colorful band of green mansard roofs and concrete pilasters that differentiate it from other buildings of the type.



Currently, the building has four tenants, moving west to east:

- VGMHC Medical Office
- County Mental Health Office
- VGMHC Dental Office
- Newberg WIC
- 2nd Floor - VGMHC Offices



EXISTING SITE - NORTH PARKING LOT

The north parking is owned by Goodwill Industries and Virginia Garcia Memorial Health Center will be leasing under a long-term lease. The site is fairly flat and is currently paved.

The site has a small lean-to structure that would be demolished as part of the new project plans.



THE NEIGHBORS

The surrounding neighbors consist of commercial and retail uses. All buildings are set back off the main street frontage. Hancock Street, the frontage along the southern boundary of the site, is not a major transit street and has low pedestrian traffic with intermittent pedestrian walkways.



VIRGINIA GARCIA MEMORIAL HEALTH CENTER

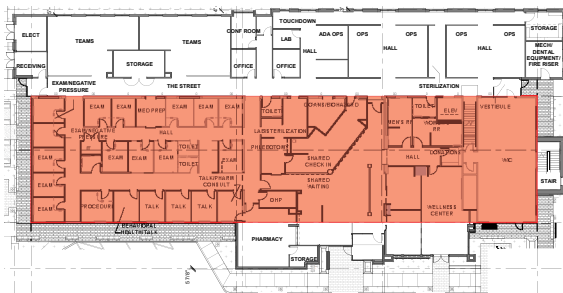
The mission of the Virginia Garcia Memorial Health Center, a non-profit, is to provide high quality, comprehensive, and culturally appropriate primary health care to the communities of Washington and Yamhill counties with a special emphasis on migrant and seasonal farmworkers and others with barriers to receiving health care.

- | We believe that health care is a human right and that treating the whole person results in a healthier outcome.
- | We are committed to providing a safe, culturally competent environment where our patient’s diversity is celebrated and everyone is welcome.
- | We value our community and work every day to understand the needs of our patients through partnerships and innovative approaches to health care.
- | We strive to create an environment for our staff that encourages partnership. We understand that the work we do today ensures the health of our patients tomorrow.

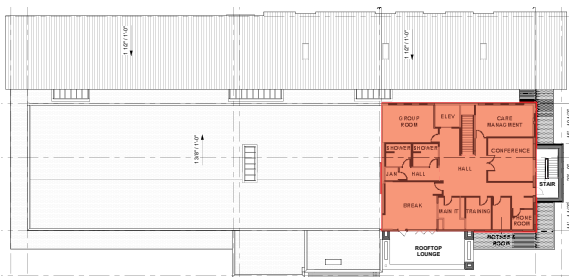


NEWBERG WELLNESS CENTER - INTERIOR

The project is to expand the existing building to accommodate the community needs for medical office, dental office and wellness. The existing building is 13,107 GSF. With the new addition the building will be 22,131 GSF. WIC Newberg, the east tenant, will remain in the building for the foreseeable future. The County Mental Health tenant, one of the middle tenants, will be vacating the building prior to construction start. Building expansion is expected to be about 9,024 GSF with primary expansion on the north and south sides of the building and the new stair tower on the east side of the site. Drive aisle and parking on the north, east and west are expected to be removed as part of this project.



New First Floor - existing building highlighted



New Second Floor - existing building highlighted

Overall project program:

- | Medical office - 15 exam rooms, 1 procedure room and 5 talk rooms
- | Dental office - 9 dental operatories, sterilization and x-ray
- | Pharmacy
- | Lab services
- | Multi-purpose wellness center
- | Support spaces

NEWBERG WELLNESS CENTER - DESIGN INSPIRATION

The direction given to the design team was to deliver a design that would connect to the Latinx community, the primary demographic of people served at this facility. To make this visual and design connection we have taken inspiration from the mid-century Mexican modernist designs of Luis Barragan and Ricardo Legorreta which pairs simple modern forms in saturated color with traditional materials like stone, stucco and heavy timber.

The work of Barragan is recognizable for its typical composition of low block forms, the use of bold colors, the connection of interior spaces to exterior landscape, the use of natural daylight, and the use of grids.

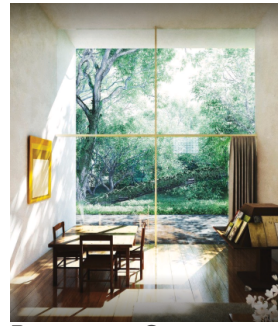
The work of Legorreta is typified by solid geometric shapes, the dramatic use of light and shadow, super saturated color, and perforated walls with gridded openings.

LEGORRETA

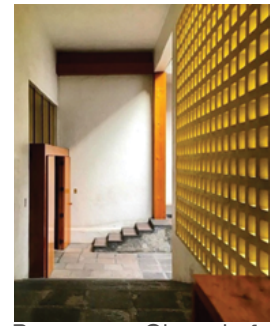
- Interplay of Light and Shadow
- Solid Geometric Shapes
- Striking Color Combinations of Earth Tones

BARRAGAN

- Solid Forms
- Bold Color
- Heavy Timber
- Grids
- Natural Light
- A Composition of Low Box Forms
- Connection to the Exterior and Landscape



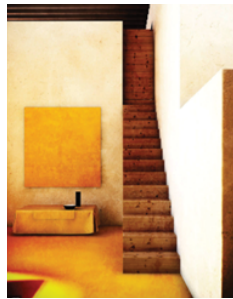
Barragan - Casa



Barragan - Chapel of Capuccinas



Barragan - Jardin Del Pedregal



Barragan - Casa



Barragan - Casa



Legorreta - Camino Real Hotel



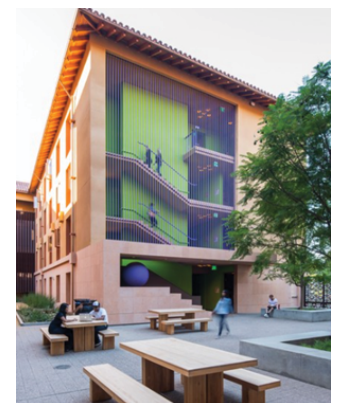
Legorreta - House Adrenaline



Legorreta - Centro Nacional De Las Artes



Legorreta - Stanford University

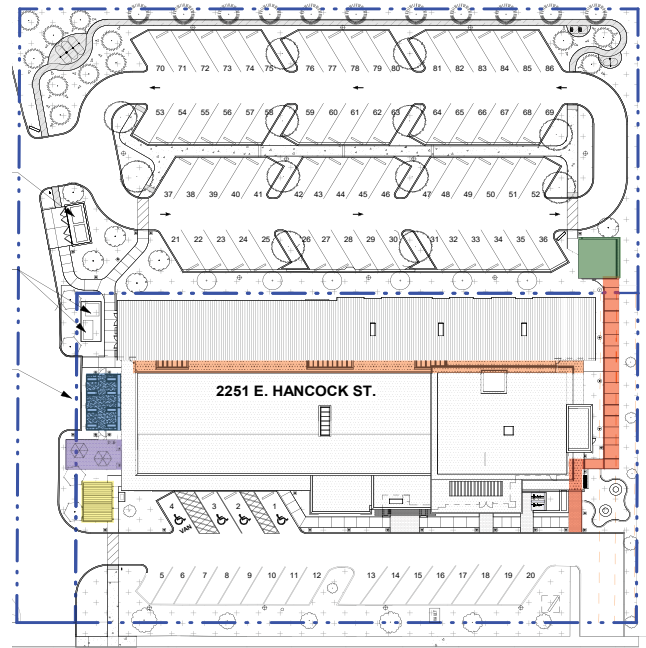


Legorreta - Stanford University

NEWBERG WELLNESS CENTER - EXTERIOR DESIGN

The main south elevation of the building design is composed of a collection of colored box forms ranging from tan color for the base building to a rich rust color for the pharmacy, wellness center and stair tower masses and a vibrant gold for the main entry. The collection of forms is connected to an arcade running around the west, south and east sides of the building. The arcades are punctuated by gridded screens that act as filters for the sun as well as provide colorful accents to the base building. This gives the design a bold and upbeat character while tying the design to the modernist inspiration and the vibrant Latinx culture. Above the main blocks is the mass of the wellness center punctuated by an outdoor terrace at the second floor that connects to the staff break area.

The west side of the lot strings together a series of outdoor programmed spaces along the arcade. On the north end is the west entry into "the Street" shown in orange, the main internal east/west circulation spine of the building. At the north end of the site outboard of the arcade is the community garden with raised beds for fresh food. To the south is an outdoor plaza with tables and seating for lunch breaks, stopping points for patients, or outdoor community outreach events like food drives. At the south end is a small pavilion for long term bike parking with a covered area for a bicycle repair tools for the community.



The east side of the building is dominated by the mass of the stair tower and arcade. Outboard of the building runs "the Boulevard", a wide heavily trafficked exterior walkway flanked by landscape. At the north end of the Boulevard is a trellised entry pavilion leading visitors from the north parking lot to the building entries on the south. This connects into a walking path to the north with future exercise equipment. At the south end of the Boulevard is a landscaped child play area with simple raised berms, a water feature and a bench.

The north elevation functions as a secondary front as it faces the north parking lot. The mass is a long bar punctuated with bands of windows and pops of color. The main goal is to pull the visitors around the building to the front entries using the Boulevard.



NEWBERG WELLNESS CENTER - SITE

BUILDING ENTRANCES AND MASSING

The existing building is set back from Hancock street. With the new addition, the building will still be set back from the primary street but will be more prominent. There will be three major entries oriented to the primary street - the main clinic entry into the waiting room for VGMHC, a secondary exit for entry into the wellness center for VGMHC and the main clinic entry into the waiting room for Newberg WIC.

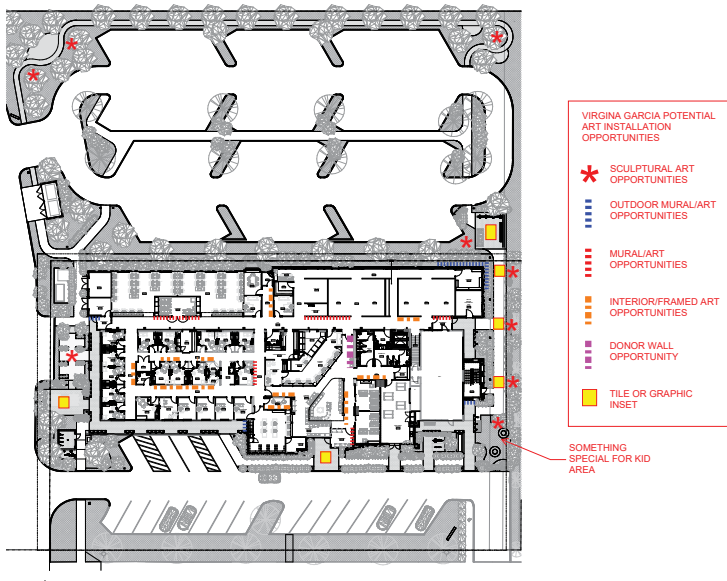
The building massing has multiple levels of height. The west side of the south facade is 1 story while the east side of the south facade is 2 story. Between the story change and the articulation of the building entries the massing is broken down to be pedestrian friendly.

ART AND MURALS

This project will emphasize culturally appropriate art that enhances the built environment and creates community. We have delineated several areas for potential art installations. Although we will likely not be able to place art at each location, we will be looking at each of the locations closely as we continue design.

As for murals our priority location is in the upper northeast corner of the building. We have an extensive wayfinding challenge of getting building visitors to park in the north parking lot and having to traverse the east walkway to get to the south side front door. Using a culturally appropriate mural will help emphasize wayfinding and provide interest on the north elevation which is muted compared to the south elevation.

Murals will be permitted through City of Newberg.



WINDOWS ON THE GROUND FLOOR FACADE ON PRIMARY STREET - SOUTH ELEVATION

Moving from west to east, the first block of rooms is the medical clinic. We have maximized the glazing to meet the needs of the clinic and to maintain structural integrity of the existing south wall. We have provided natural light at the end of the hallway with a nice large window. We have also created large window openings at the procedure room and talk rooms. Between conflicts of wall mounted equipment and balancing the patient privacy we feel we have maximized the square footage in this area.

The next space to the east is the pharmacy space. Security of the space is the utmost importance since they will be storing narcotics. We have provided four punched openings high up in the wall to allow for natural light while maintaining security to the space.

The next space to the east is the waiting room. We have maximized the glazing with a full storefront glazed wall while maintaining the entry portal.

The next space to the east is the wellness center. We have a significant amount of glazing in the room but still want to provide patient privacy. In particular, we have a solid wall around the teaching kitchen so that people can learn basic cooking skills out of the view of the public.

The next space to the east is the Newberg WIC space. They are an existing tenant and we are proposing to leave the glazing as currently constructed.

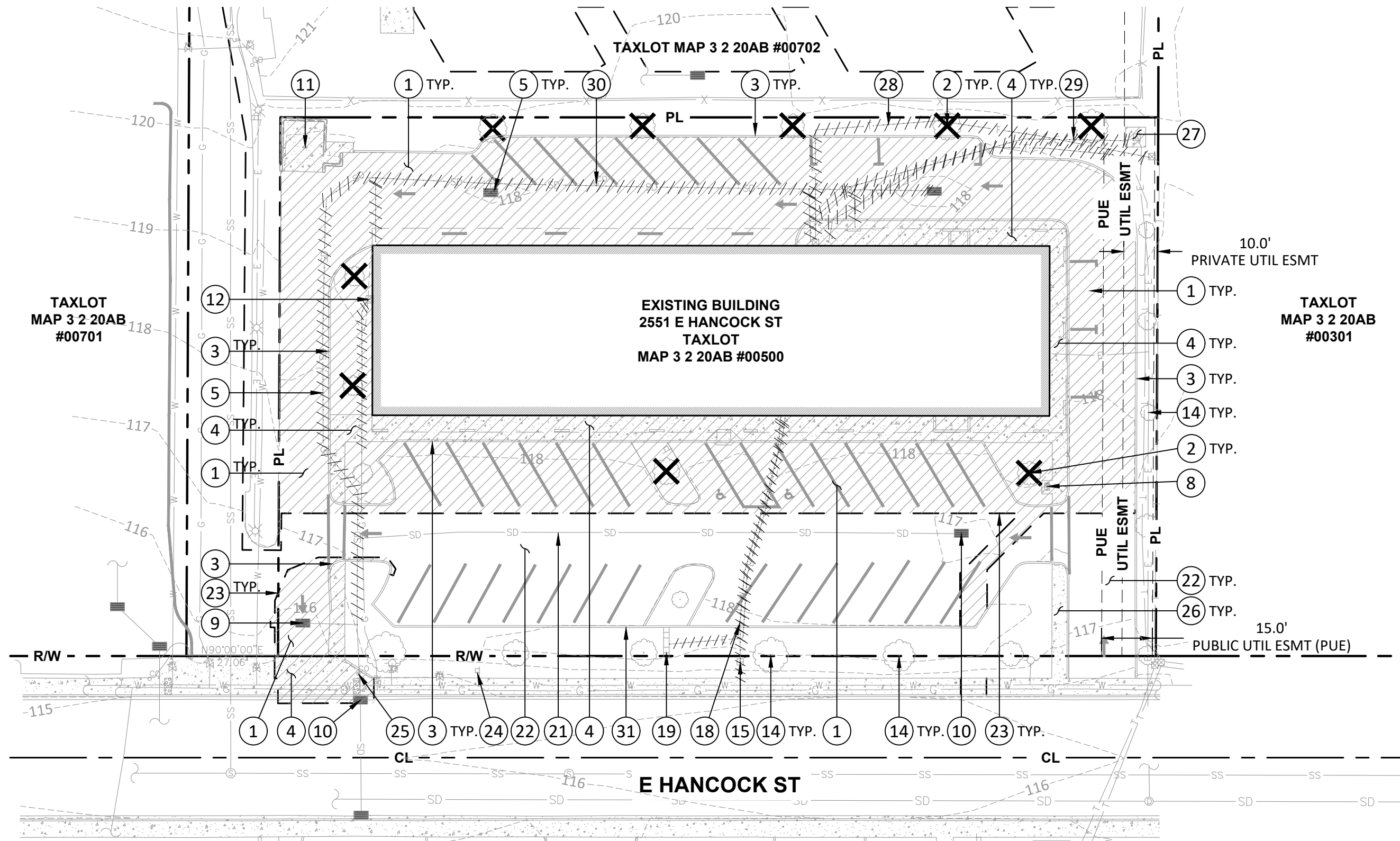
The last space to the east is the new stair tower. We have provided punched openings at the stairs in line with the architectural language for the building.

Because of the use of the spaces along the south elevation, we feel we have maximized the glazing within programmatic reason but are falling short of the required 40%. Please see the variance paperwork in the appendix.

3| DESIGN DRAWINGS

- | Cover
- | C1.0 Main Site - Existing Conditions and Demolition Plan
- | C1.1 Main Site - Demolition Plan Notes
- | C2.0 Main Site - Civil Site, Grading, Utility Plan
- | C2.1 Main site - Construction notes
- | C1.0A North Lot - Existing Conditions and Demolition Plan
- | C1.1A North Lot - Demolition Plan Notes
- | C2.0A North Lot - Civil Site, Grading, Utility Plan
- | C2.1A North Lot - Construction Notes
- | A1.0 Overall Site Plan
- | A1.1 North Parking Lot Plan
- | A1.2 Main Site Plan
- | A2.1 First Floor Plan
- | A2.2 Second Floor Plan
- | A2.3 Roof Plan
- | A3.1 North and South Elevations
- | A3.2 East and West Elevations
- | A7.1 Site Structures
- | A7.2 Site Structures
- | A7.3 Site Structures
- | A7.4 Site Structures
- | A7.5 Site Structures
- | A7.6 Signage Details
- | L1.01 Materials Plan - South
- | L1.02 Materials Plan - North
- | L2.01 Preliminary Grading Plan - South
- | L2.02 Preliminary Grading Plan - North
- | L3.00 Planting Schedule & Notes
- | L3.02 Planting Plan - South
- | L3.03 Planting Plan - North
- | E1.0 Site Plan - Lighting - North
- | E1.1 Site Plan - Lighting - South
- | E1.2 Site Plan - Lighting - North - Photometrics
- | E1.3 Site Plan - Lighting - South - Photometrics



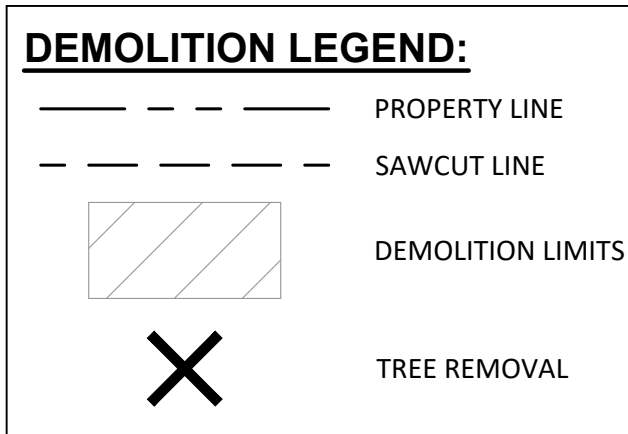


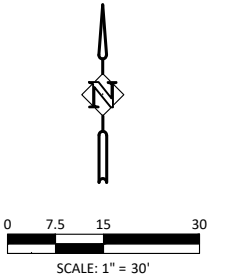
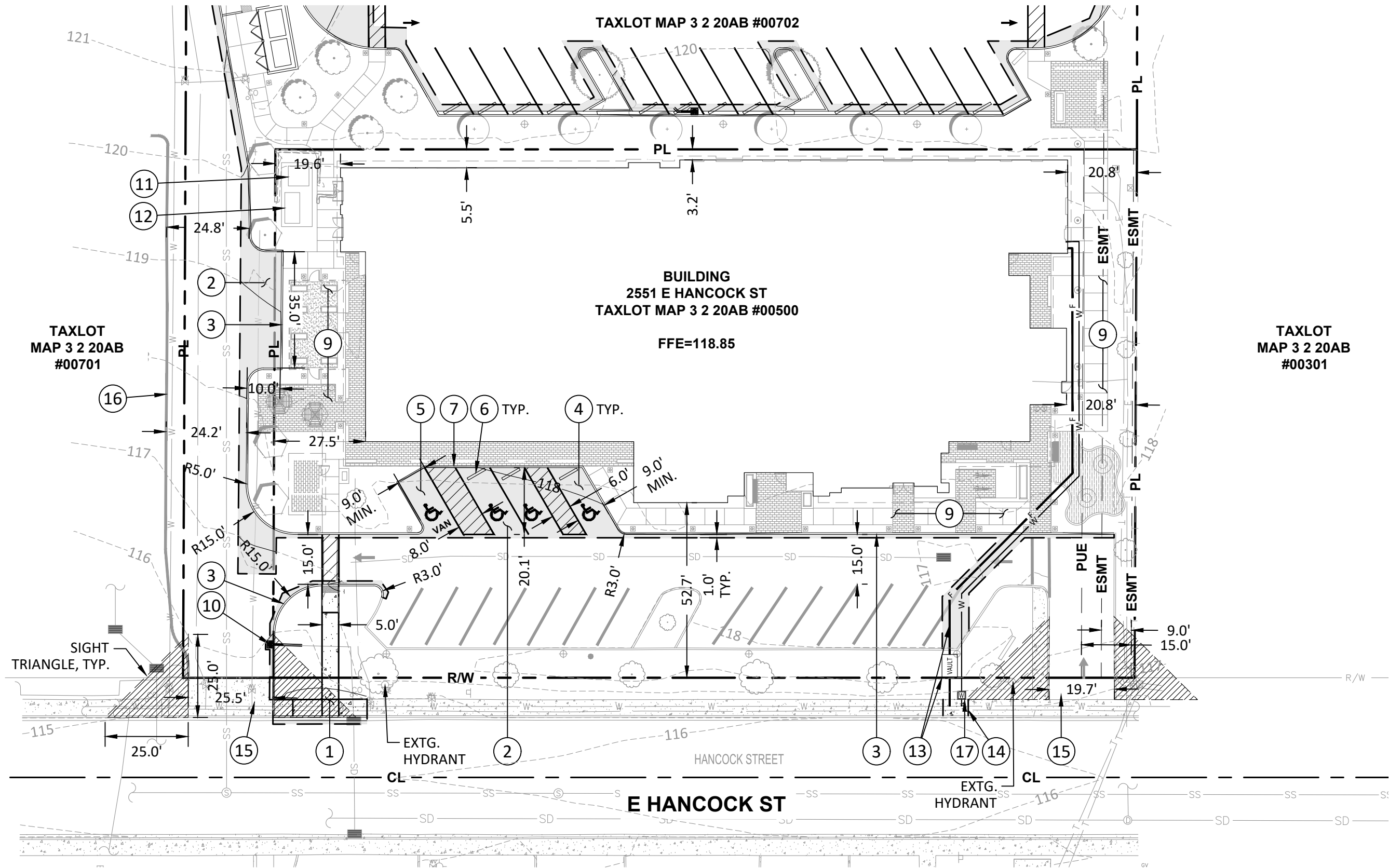
PLAN VIEW

SCALE: 1" = 30'

DEMOLITION NOTES:

- ① REMOVE EXISTING ASPHALT SECTION.
- ② REMOVE EXISTING TREE.
- ③ REMOVE EXISTING CURB.
- ④ REMOVE EXISTING SIDEWALK SECTION.
- ⑤ EXISTING CATCH BASIN AND STORM LINES TO BE REMOVED.
- ⑧ REMOVE EXISTING SHARED-USE MAILBOX.
- ⑨ REMOVE EXISTING CATCH BASIN.
- ⑩ EXISTING CATCH BASIN TO REMAIN. PROTECT IN PLACE.
- ⑪ EXISTING TRASH ENCLOSURE TO BE DEMOLISHED.
- ⑫ EXISTING GAS METER TO BE RELOCATED. COORDINATE WITH PLUMBING AND NW NATURAL.
- ⑭ EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- ⑮ EXISTING 1.5" WATER METER TO BE REMOVED. COORDINATE WITH CITY OF NEWBERG.
- ⑱ EXISTING WATER SERVICE LINE TO REMAIN. PROTECT IN PLACE.
- ⑲ REMOVE EXISTING MONUMENT SIGN.
- ⑳ EXISTING STORM LINE TO REMAIN. PROTECT IN PLACE.
- ㉑ EXISTING ASPHALT TO REMAIN. PROTECT IN PLACE.
- ㉒ SAWCUT LIMITS.
- ㉓ EXISTING SIGN TO REMAIN. PROTECT IN PLACE.
- ㉔ EXISTING CLEANOUT AND STORM LINE TO REMAIN. PROTECT IN PLACE.
- ㉕ EXISTING SIDEWALK TO REMAIN. PROTECT IN PLACE.
- ㉖ REMOVE EXISTING TRANSFORMER AND CONCRETE PAD. CONTRACTOR TO COORDINATE WITH PGE PRIOR TO REMOVAL.
- ㉗ REMOVE EXISTING COMMUNICATIONS LINE. CONTRACTOR TO COORDINATE WITH FRANCHISE OWNER PRIOR TO REMOVAL.
- ㉘ REMOVE EXISTING UNDERGROUND POWER LINE. CONTRACTOR TO COORDINATE WITH PGE PRIOR TO REMOVAL.
- ㉙ REMOVE EXISTING STORM CLEANOUT
- ㉚ EXISTING CURB TO REMAIN. PROTECT IN PLACE.



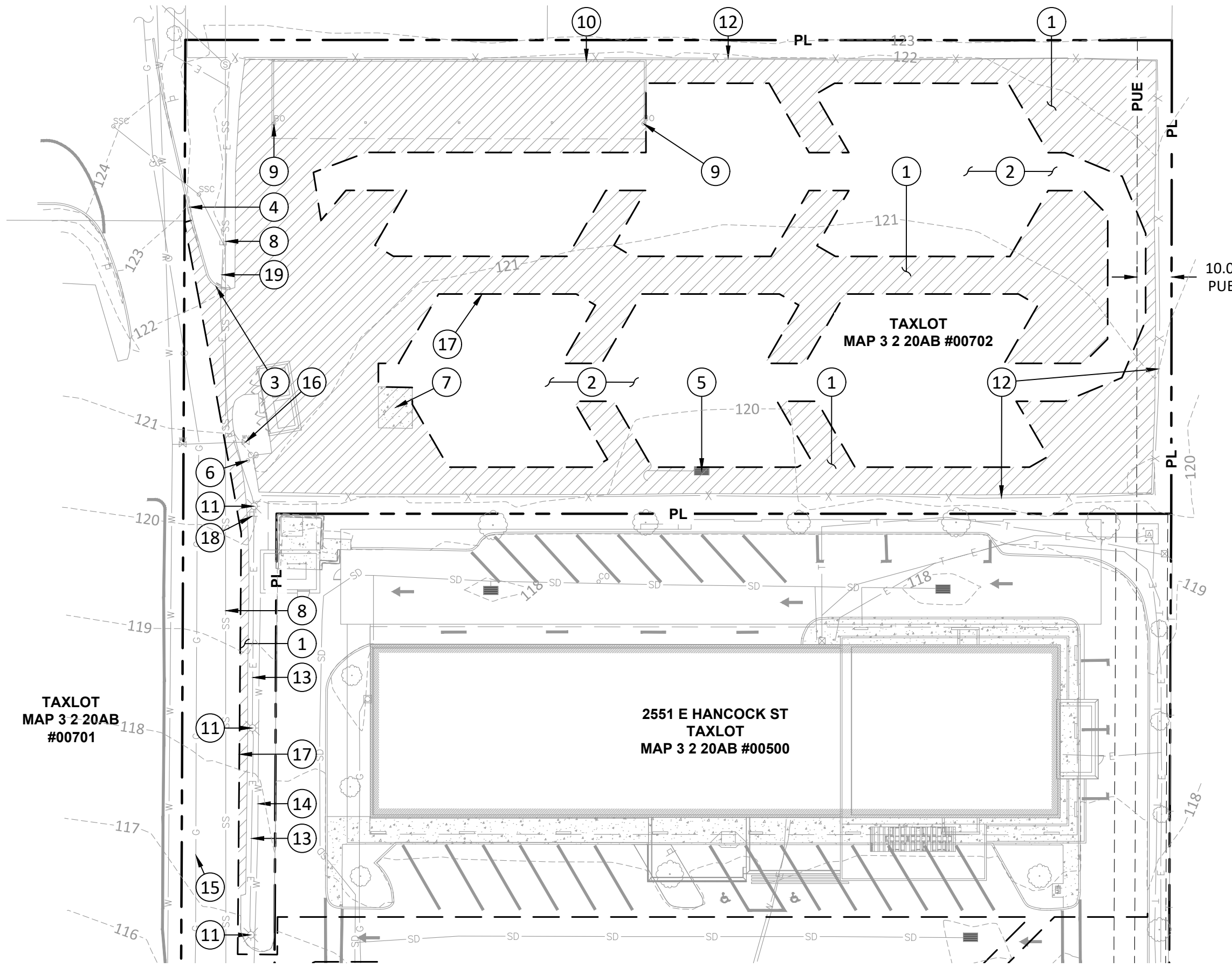


HBPR Harper Houf Peterson Righellis Inc.
 ENGINEERS/PLANNERS
 LANDSCAPE ARCHITECTS/SURVEYORS
 205 SE Spokane Street, Suite 200, Portland, OR 97202
 phone: 503.221.1131 www.hbpr.com fax: 503.221.1171

SE Scott Edwards Architecture

CONSTRUCTION NOTES:

- ① CONCRETE SIDEWALK SECTION.
- ② ASPHALT PAVEMENT SECTION.
- ③ CONSTRUCT STANDARD CONCRETE CURB.
- ④ CONSTRUCT ACCESSIBLE PARKING STALL SIGNING AND STRIPING.
- ⑤ CONSTRUCT VAN ACCESSIBLE PARKING STALL SIGNING AND STRIPING.
- ⑥ INSTALL CONCRETE WHEEL STOP.
- ⑦ CONSTRUCT FLUSH CURB.
- ⑨ PEDESTRIAN & LANDSCAPE AREAS, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ⑩ INSTALL TRAPPED CATCH BASIN. CONNECT TO EXISTING STORM LEAD.
- ⑪ PROPOSED ELECTRICAL TRANSFORMER.
- ⑫ PROPOSED GENERATOR.
- ⑬ PROPOSED FIRE SERVICE TAP, BACKFLOW, VAULT, AND D.I.P FIRE SERVICE TO BUILDING.
- ⑭ REPAIR EXISTING PUBLIC SIDEWALK.
- ⑮ EXISTING DRIVEWAY TO REMAIN.
- ⑯ EXISTING DRIVE AISLE PAVEMENT STRIPING TO REMAIN.
- ⑰ NEW 1.5" WATER SERVICE AND METER PER CITY STANDARD DRAWING 309. COORDINATE WITH CITY OF NEWBERG.

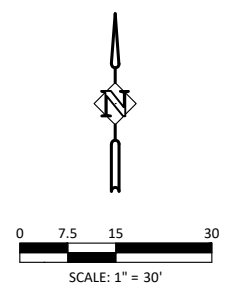


TAXLOT
MAP 3 2 20AB
#00301

TAXLOT
MAP 3 2 20AB
#00701

2551 E HANCOCK ST
TAXLOT
MAP 3 2 20AB #00500

PLAN VIEW
SCALE: 1" = 30'



HP Harper
Houf Peterson
Righellis Inc.
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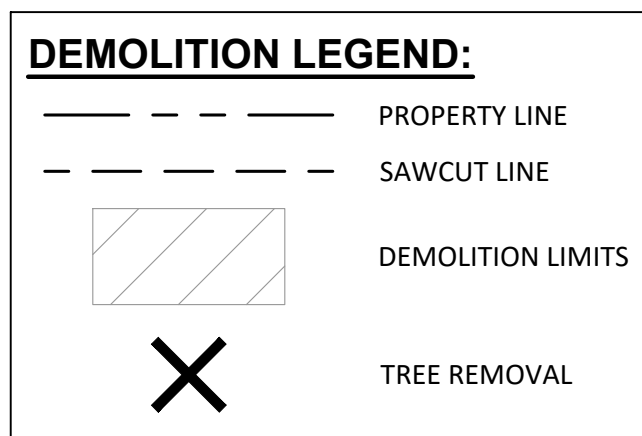
C1.0A NORTH LOT - EXISTING CONDITIONS AND DEMOLITION
PLAN

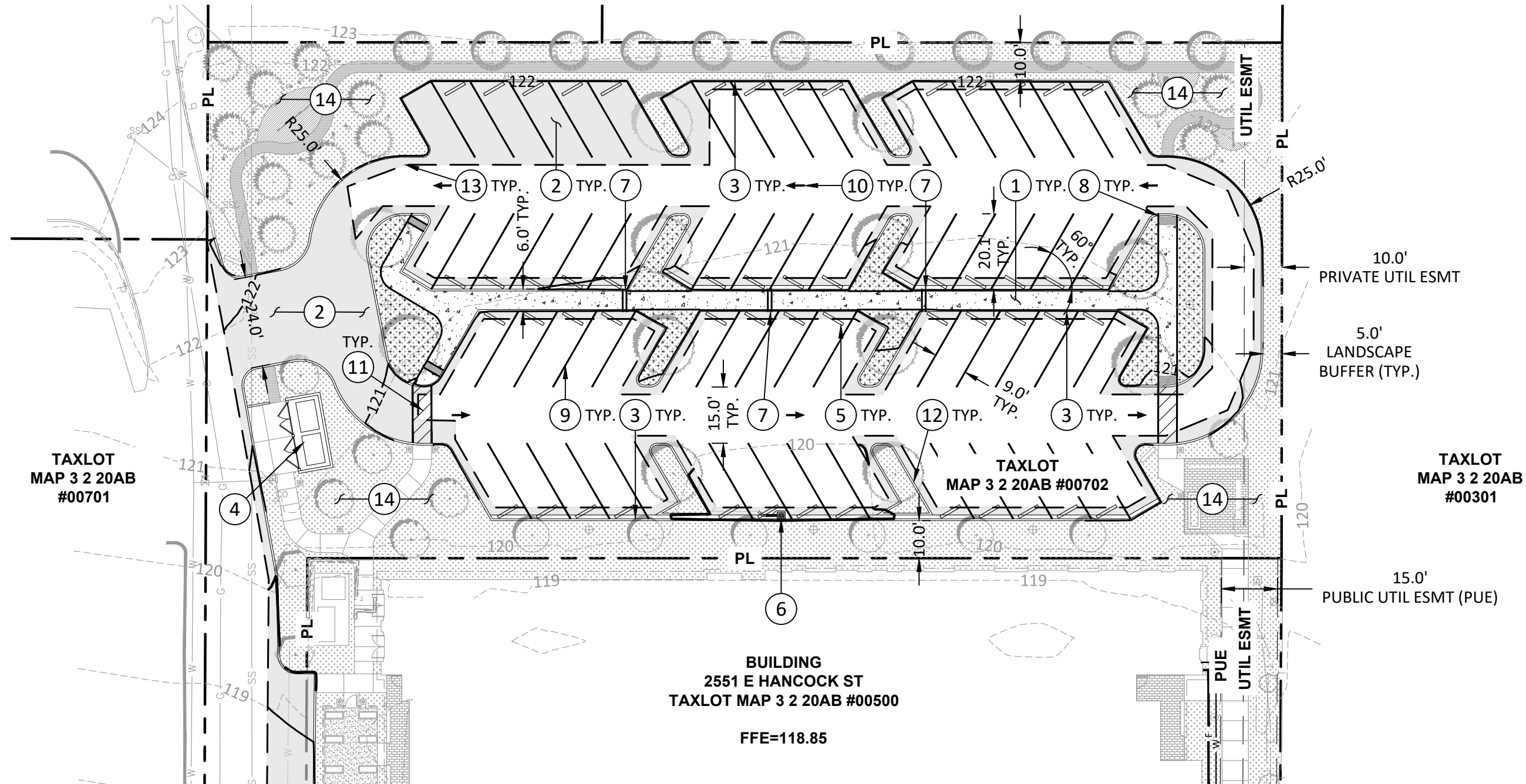
VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

SE Scott
Edwards
Architecture

DEMOLITION NOTES:

- ① REMOVE EXISTING ASPHALT SECTION.
- ② EXISTING ASPHALT TO REMAIN. PROTECT IN PLACE.
- ③ REMOVE EXISTING CURB.
- ④ EXISTING CURB TO REMAIN. PROTECT IN PLACE.
- ⑤ REMOVE EXISTING CATCH BASIN. PRESERVE EXISTING STORM LINE FOR FUTURE CONNECTION.
- ⑥ EXISTING CLEANOUT AND STORM LINE TO REMAIN. PROTECT IN PLACE.
- ⑦ REMOVE EXISTING CONCRETE SECTION.
- ⑧ EXISTING SANITARY LINE TO REMAIN. PROTECT IN PLACE.
- ⑨ REMOVE EXISTING BOLLARD.
- ⑩ REMOVE EXISTING STRUCTURE.
- ⑪ REMOVE EXISTING LIGHT POST.
- ⑫ REMOVE EXISTING FENCE.
- ⑬ REMOVE EXISTING UNDERGROUND POWER LINE.
- ⑭ EXISTING WATER LINE TO REMAIN. PROTECT IN PLACE.
- ⑮ EXISTING GAS LINE TO REMAIN. PROTECT IN PLACE.
- ⑯ EXISTING WATER VALVE TO REMAIN. PROTECT IN PLACE.
- ⑰ SAWCUT LIMITS.
- ⑱ REMOVE EXISTING SIGN.
- ⑲ EXISTING UNDERGROUND POWER LINE TO REMAIN. PROTECT IN PLACE.





TAXLOT
MAP 3 2 20AB
#00701

TAXLOT
MAP 3 2 20AB #00702

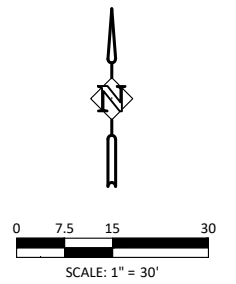
TAXLOT
MAP 3 2 20AB
#00301

BUILDING
2551 E HANCOCK ST
TAXLOT MAP 3 2 20AB #00500
FFE=118.85

10.0'
PRIVATE UTIL ESMT

5.0'
LANDSCAPE
BUFFER (TYP.)

15.0'
PUBLIC UTIL ESMT (PUE)



C2.0A NORTH LOT - CIVIL SITE, GRADING, UTILITY PLAN

PLAN VIEW
SCALE: 1" = 30'

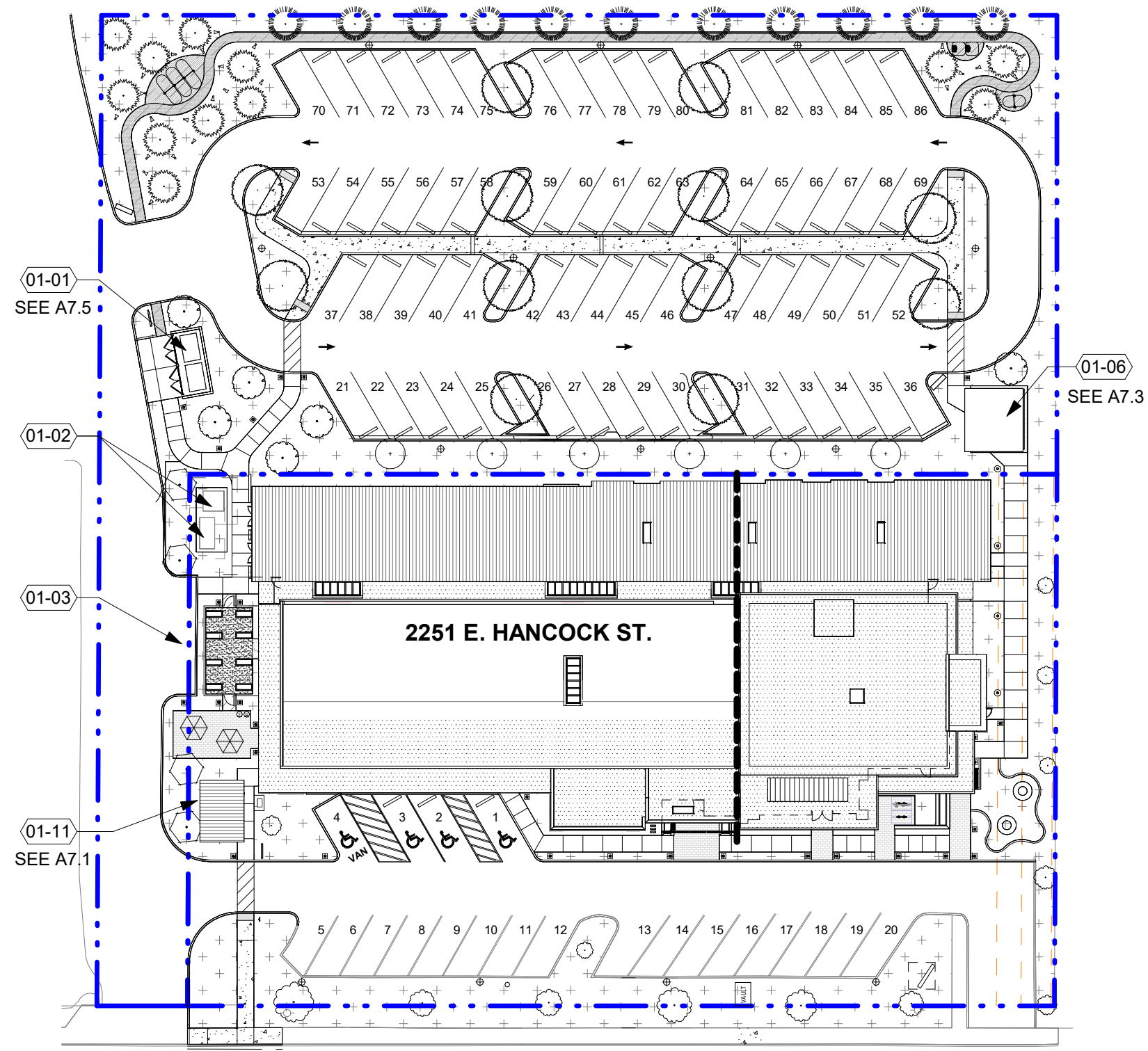
VIRGINIA GARCIA NEWBERG CLINIC
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phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

Scott Edwards Architecture

CONSTRUCTION NOTES:

- ① CONCRETE SIDEWALK SECTION.
- ② ASPHALT PAVEMENT SECTION.
- ③ CONSTRUCT STANDARD CONCRETE CURB.
- ④ PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- ⑤ INSTALL CONCRETE WHEEL STOP.
- ⑥ CONSTRUCT TRAPPED CATCH BASIN. CONNECT TO EXISTING STORM LEAD.
- ⑦ CONSTRUCT CONCRETE DRAINAGE FLOW-THROUGH CHANNEL UNDER SIDEWALK.
- ⑧ CONSTRUCT PEDESTRIAN CURB RAMP.
- ⑨ CONSTRUCT STANDARD PARKING STALL STRIPING.
- ⑩ CONSTRUCT WHITE TRAFFIC ARROW SYMBOL.
- ⑪ CONSTRUCT WHITE CROSS-HATCH CROSSWALK STRIPING.
- ⑫ CONSTRUCT LANDSCAPE ISLAND WITH DRAINAGE FLOW-THROUGH SCUPPER.
- ⑬ SAWCUT LIMITS.
- ⑭ PEDESTRIAN & LANDSCAPE AREAS, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.



PARKING CALCULATION

3.5 PARKING SPACES PER 1,000 SF REQUIRED

TOTAL BUILDING AREA = 22,131 SF

22 X 3.5 = 77
77 TOTAL SPACES REQUIRED

MAX PARKING SPACES ALLOWED = 1 1/5 x
MINIMUM REQUIRED

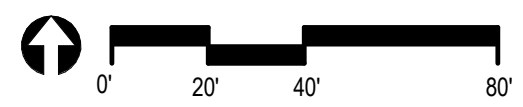
77 X 1.2 = 92.4
92 MAXIMUM SPACES ALLOWED

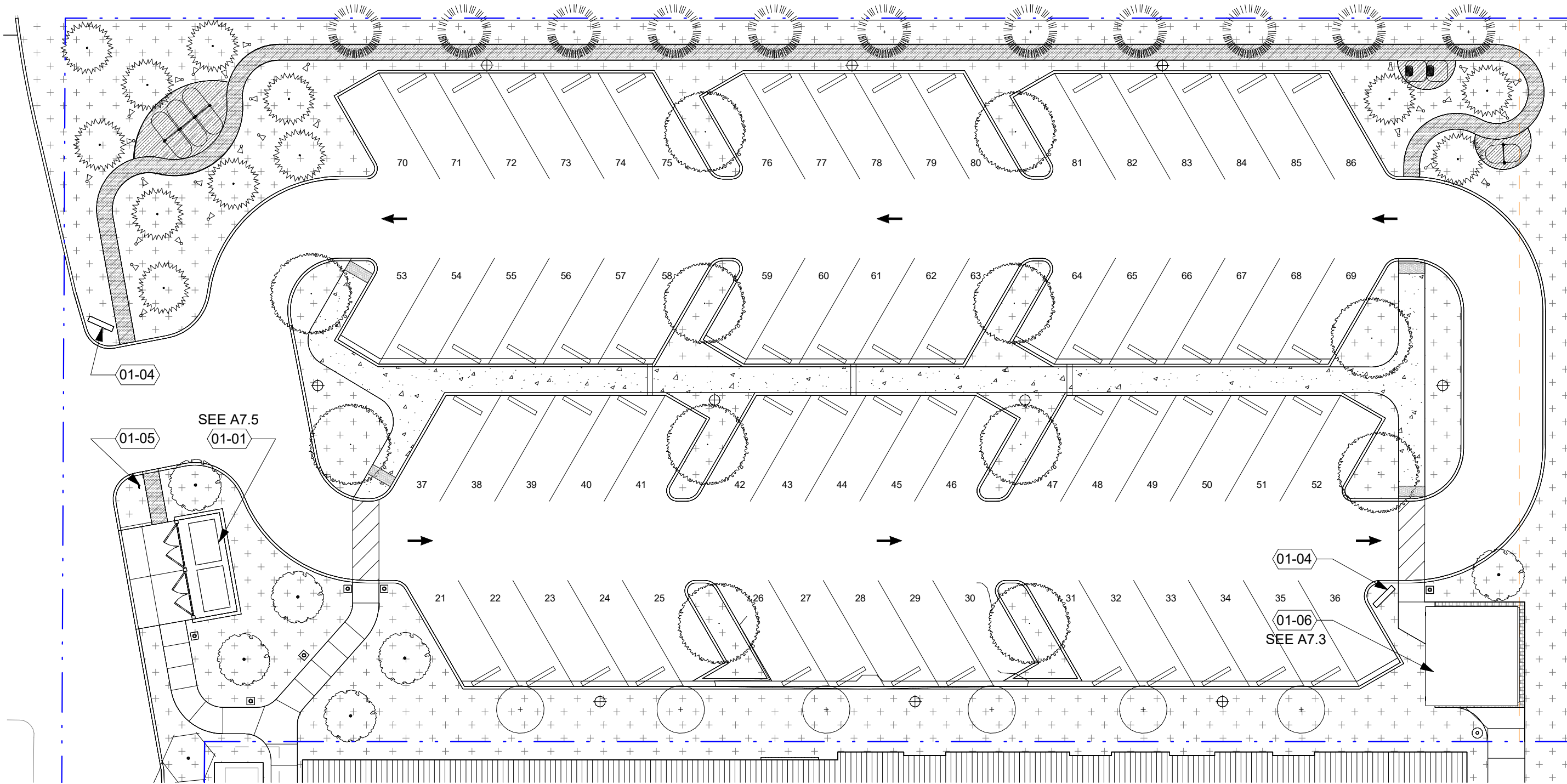
20 (E) + 66 = 86 PROVIDED

KEYNOTES 07-02

- 01-01 TRASH ENCLOSURE WITH ACCESS FROM SERVICE DRIVE
- 01-02 TRANSFORMER AND GENERATOR
- 01-03 LOADING BERTH
- 01-04 MONUMENT SIGN
- 01-05 DIRECTIONAL SIGNAGE
- 01-06 SITE ENTRY PAVILION
- 01-07 NEW CURB AND LANDSCAPING
- 01-08 COMMUNITY GARDEN BEDS
- 01-09 OUTDOOR SEATING AREA
- 01-10 MAILBOXES
- 01-11 LONG-TERM BIKE PARKING - 4 SPACES
- 01-12 ACCESSIBLE ROUTE
- 01-13 NEW PARKING AND STRIPING - SEE CIVIL
- 01-14 MAIN BUILDING ENTRY
- 01-16 KIDS' PLAY AREA
- 01-17 WATER FEATURE
- 01-19 SHORT-TERM BIKE PARKING - 4 SPACES
- 01-20 EXISTING PARKING TO REMAIN
- 01-21 EXISTING FIRE HYDRANT

E. HANCOCK ST.



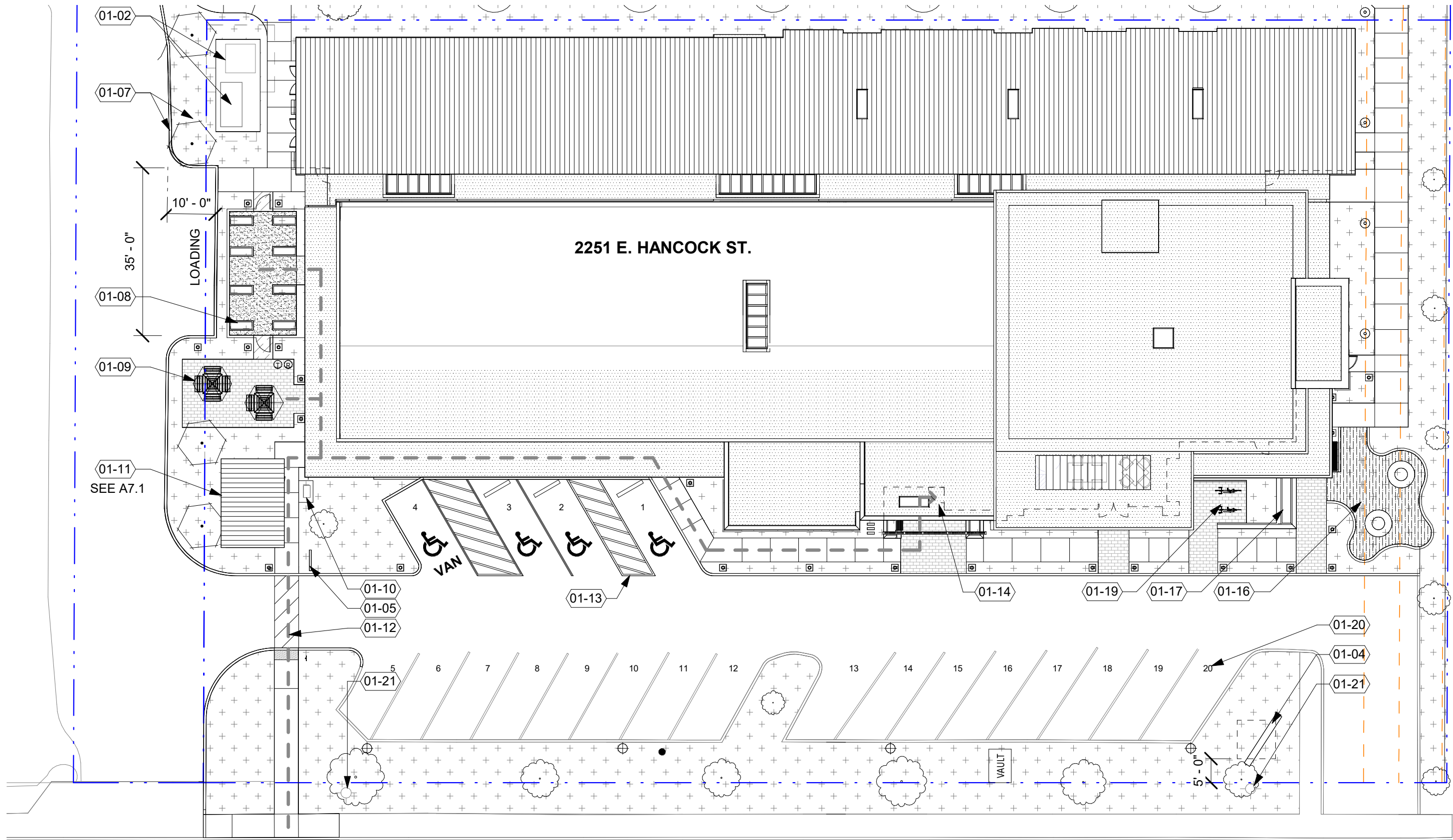


NORTH PARKING LOT PLAN
A1.1



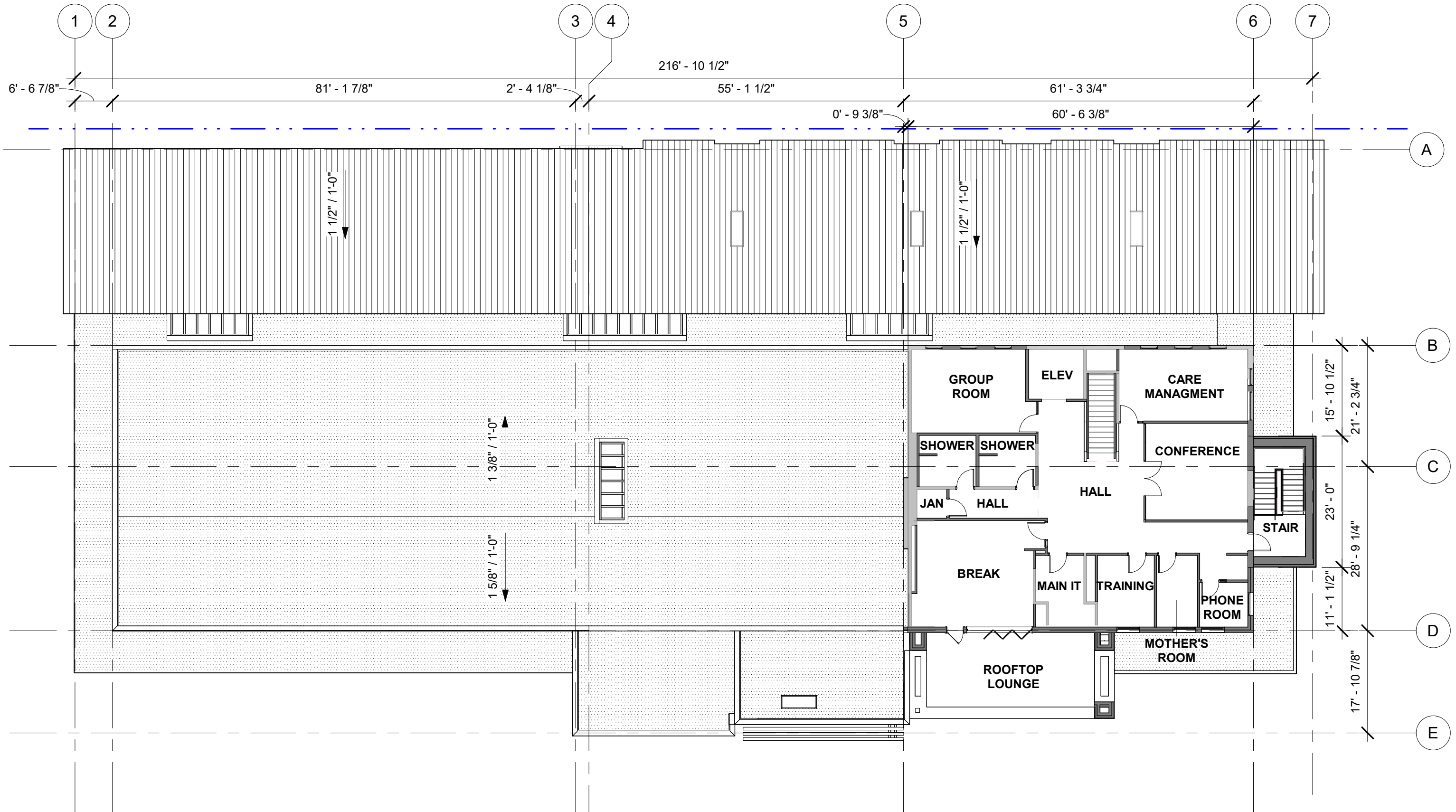
VIRGINIA GARCIA NEWBERG CLINIC
 21162 09/06/22





E. HANCOCK ST.



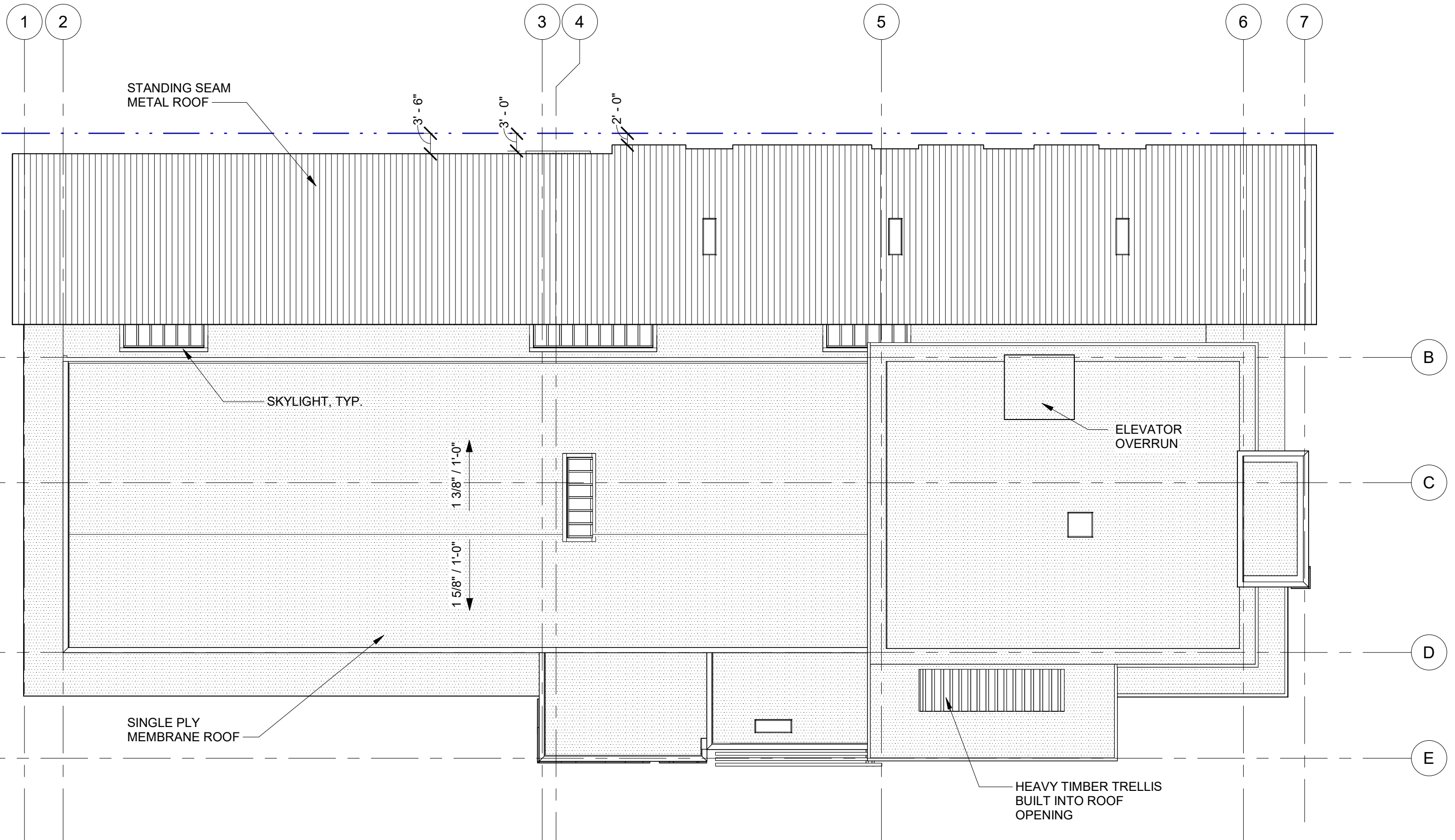


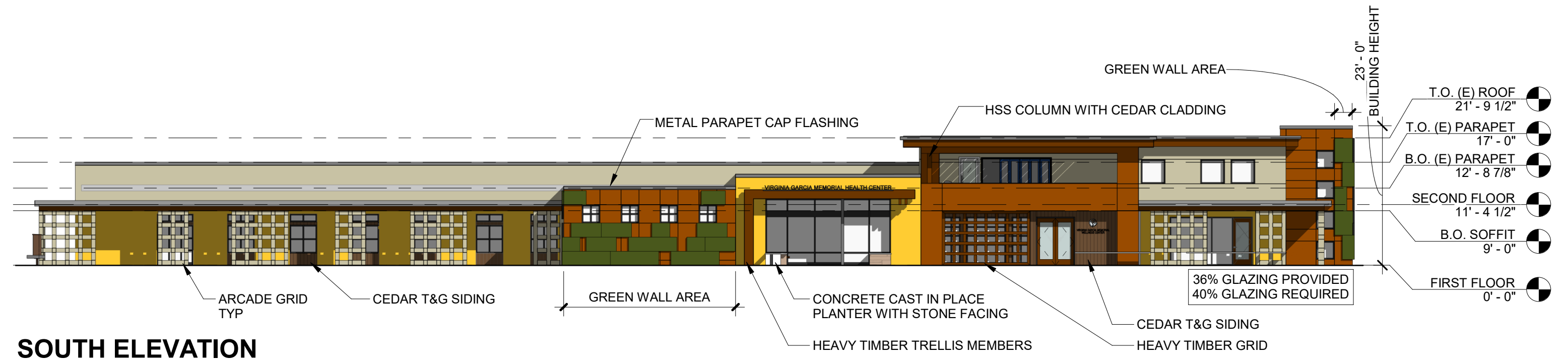
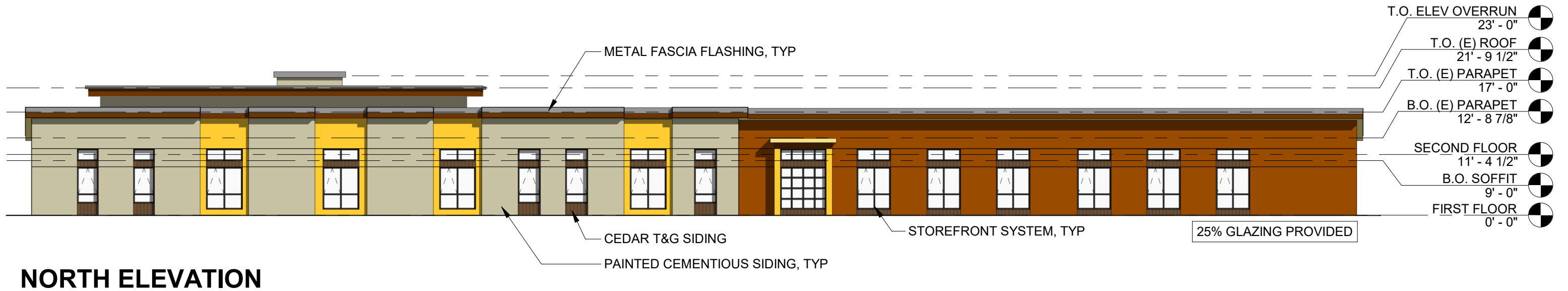
SECOND FLOOR PLAN
A2.2

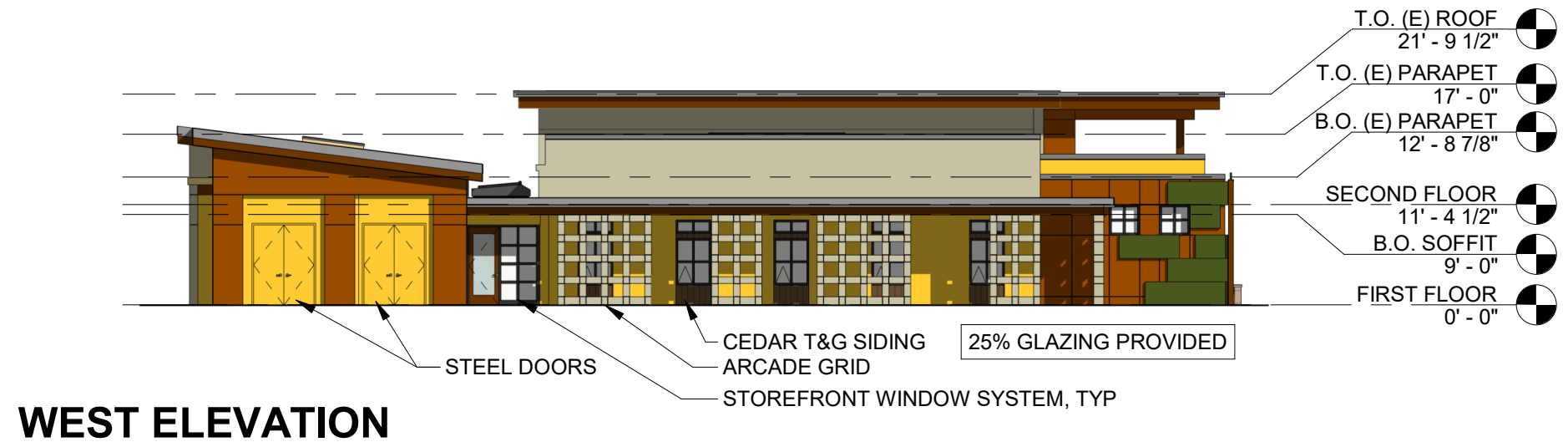
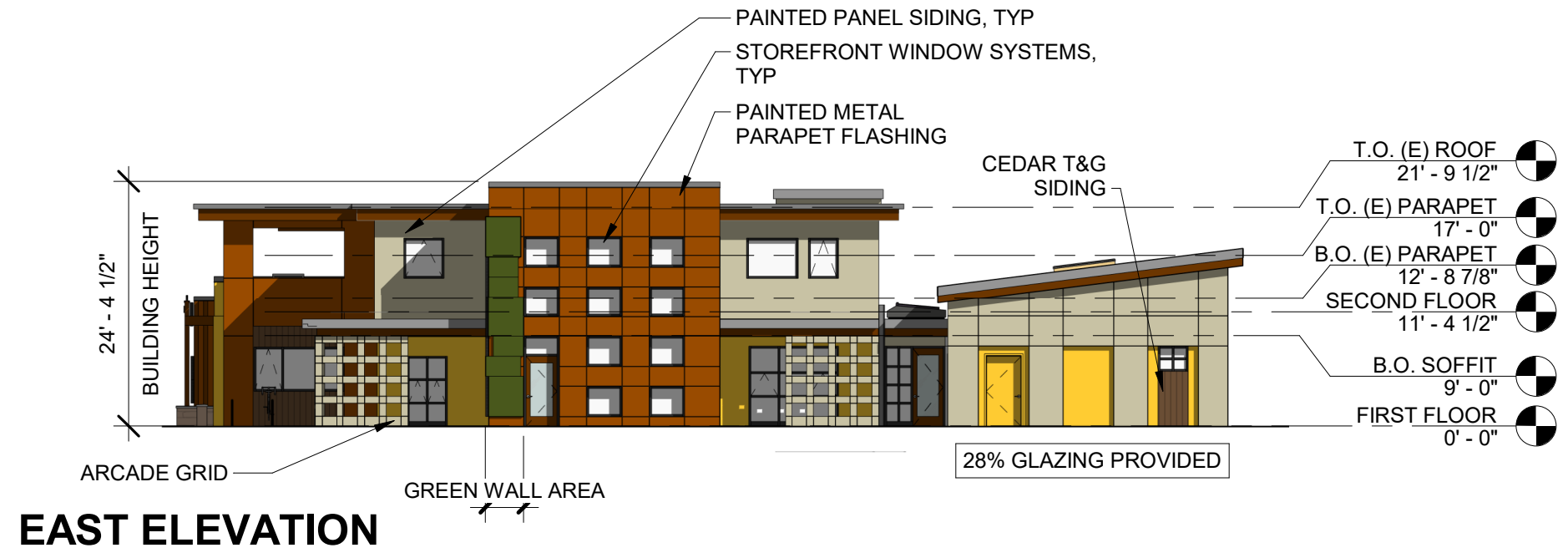


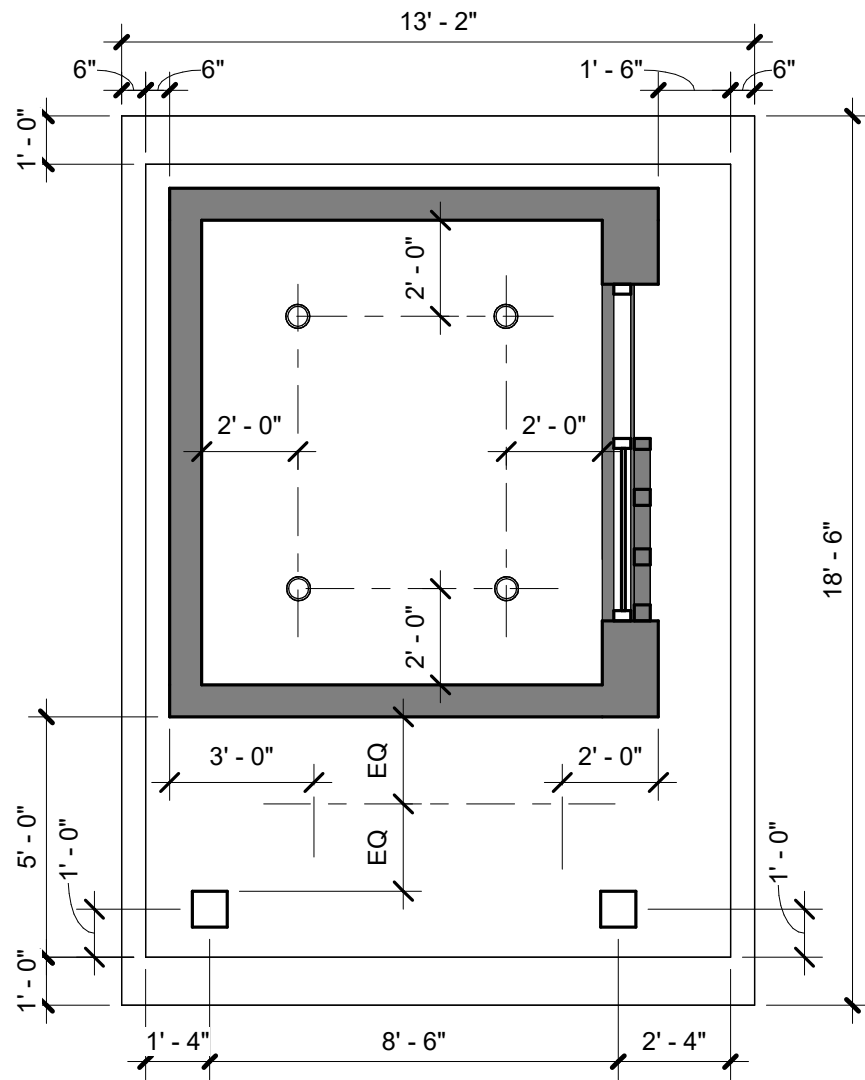
VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

Scott Edwards Architecture

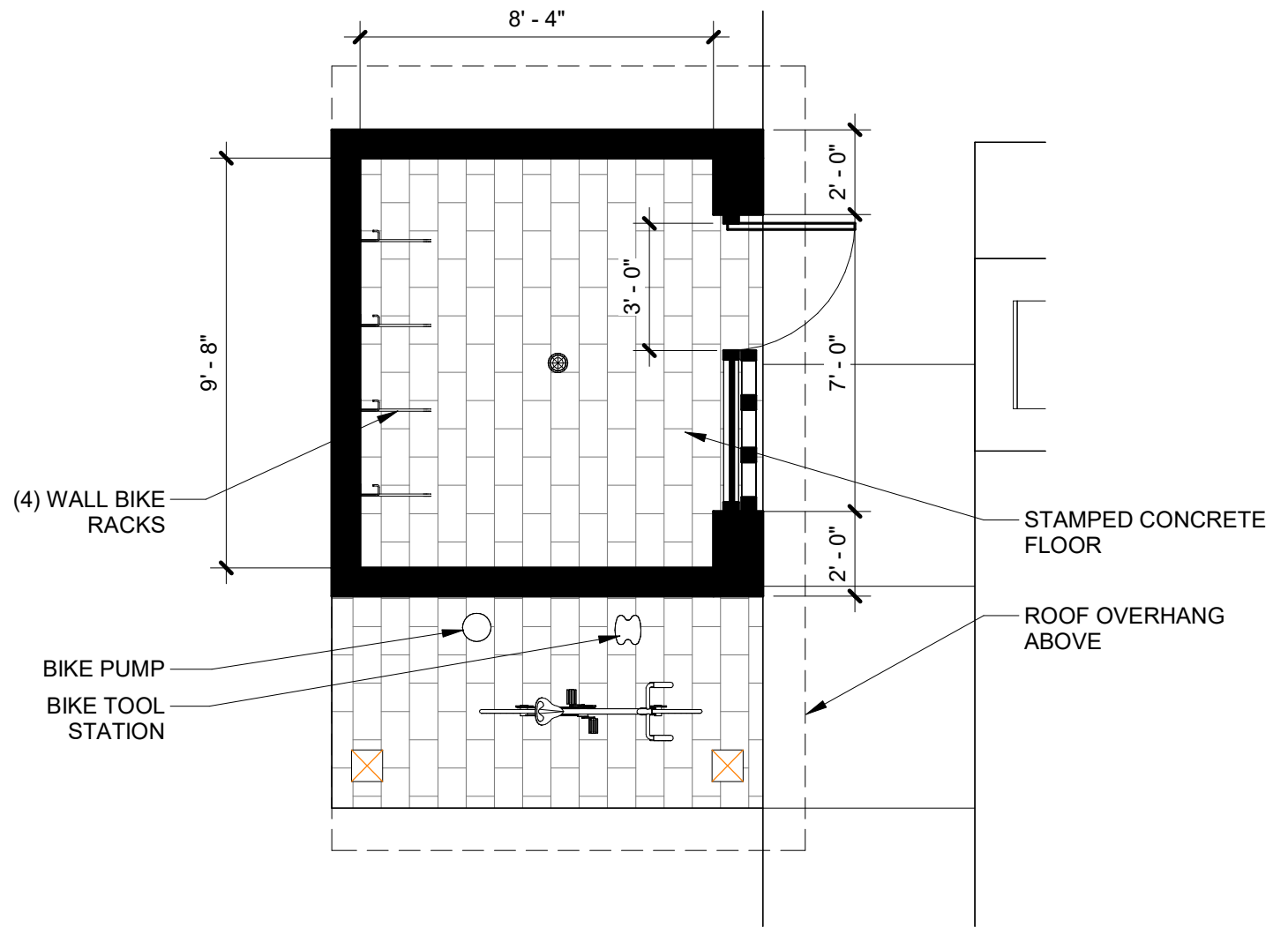




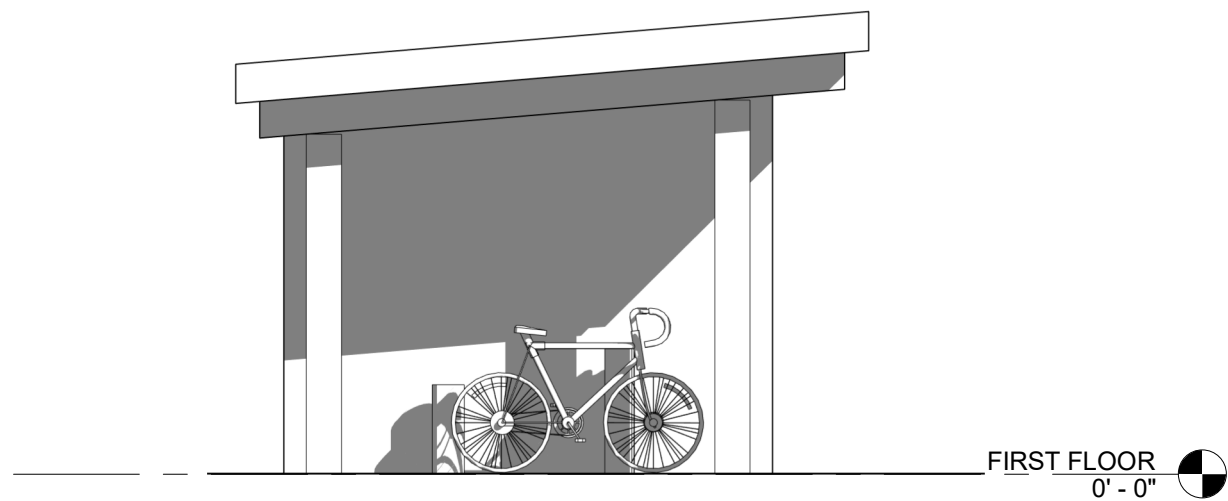




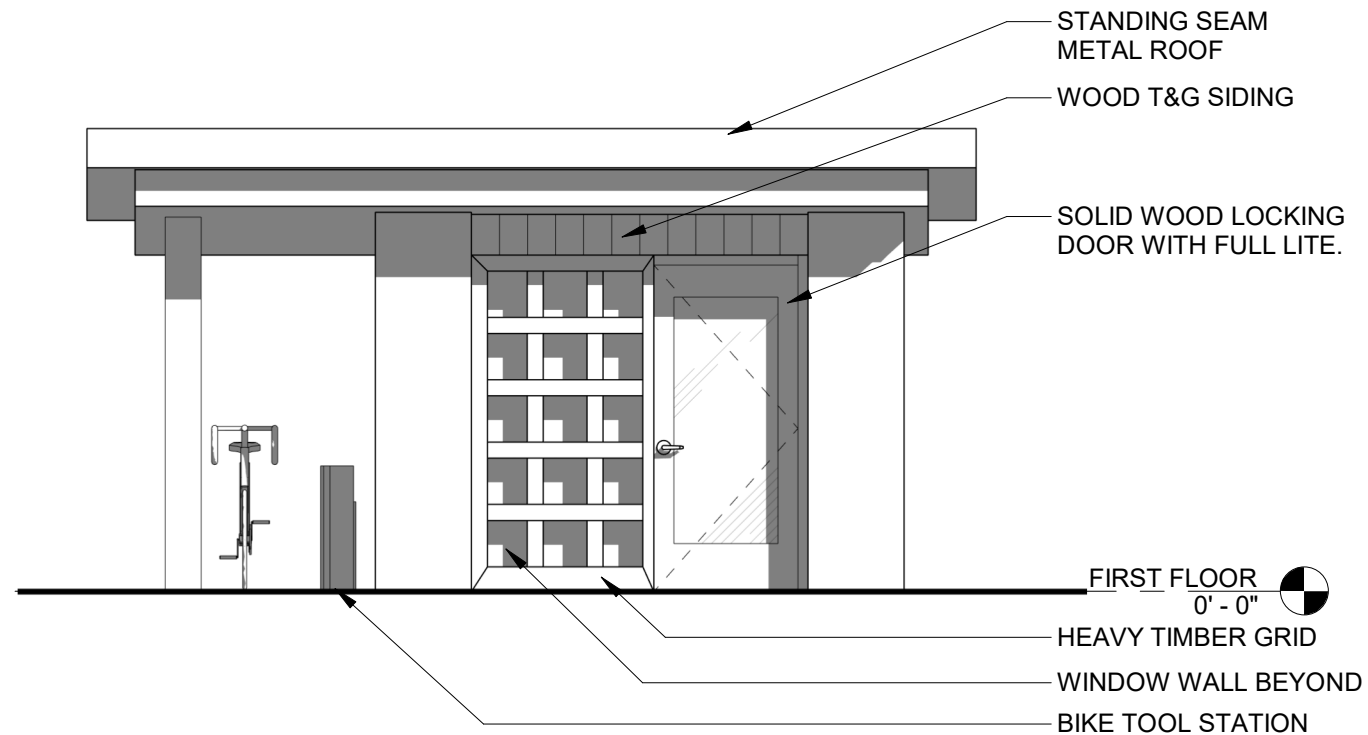
2 RCP - BIKE PARKING
1/4" = 1'-0"



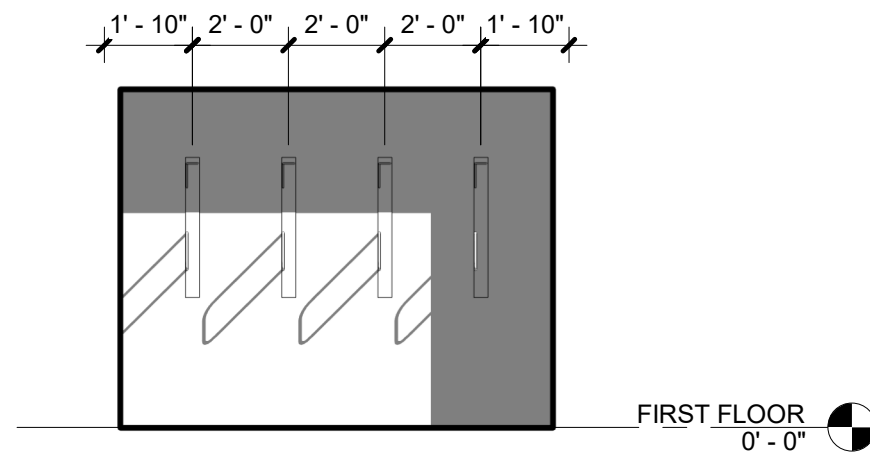
1 FLOOR PLAN - BIKE PARKING
1/4" = 1'-0"



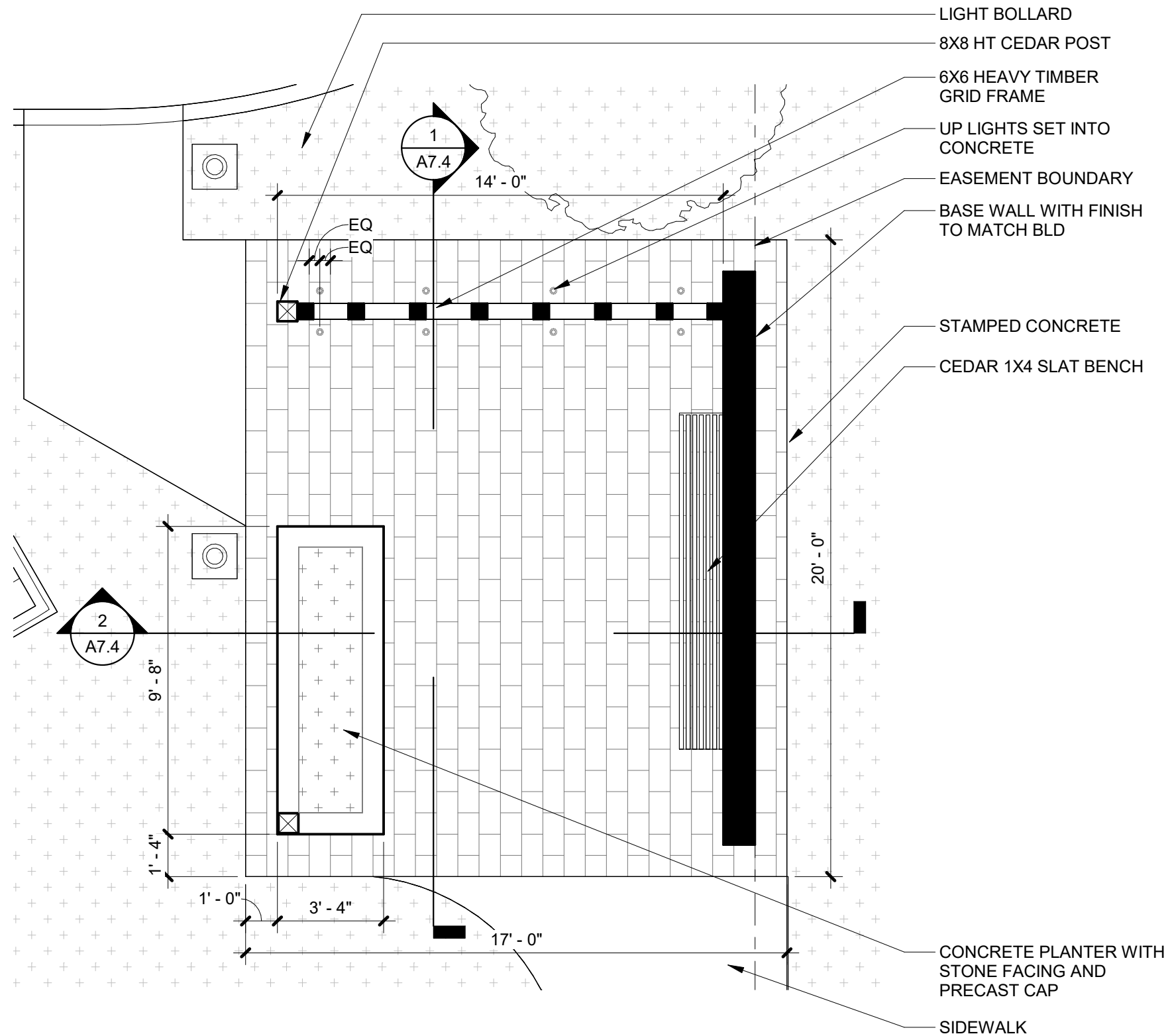
3 SOUTH ELEVATION - BIKE PARKING
1/4" = 1'-0"



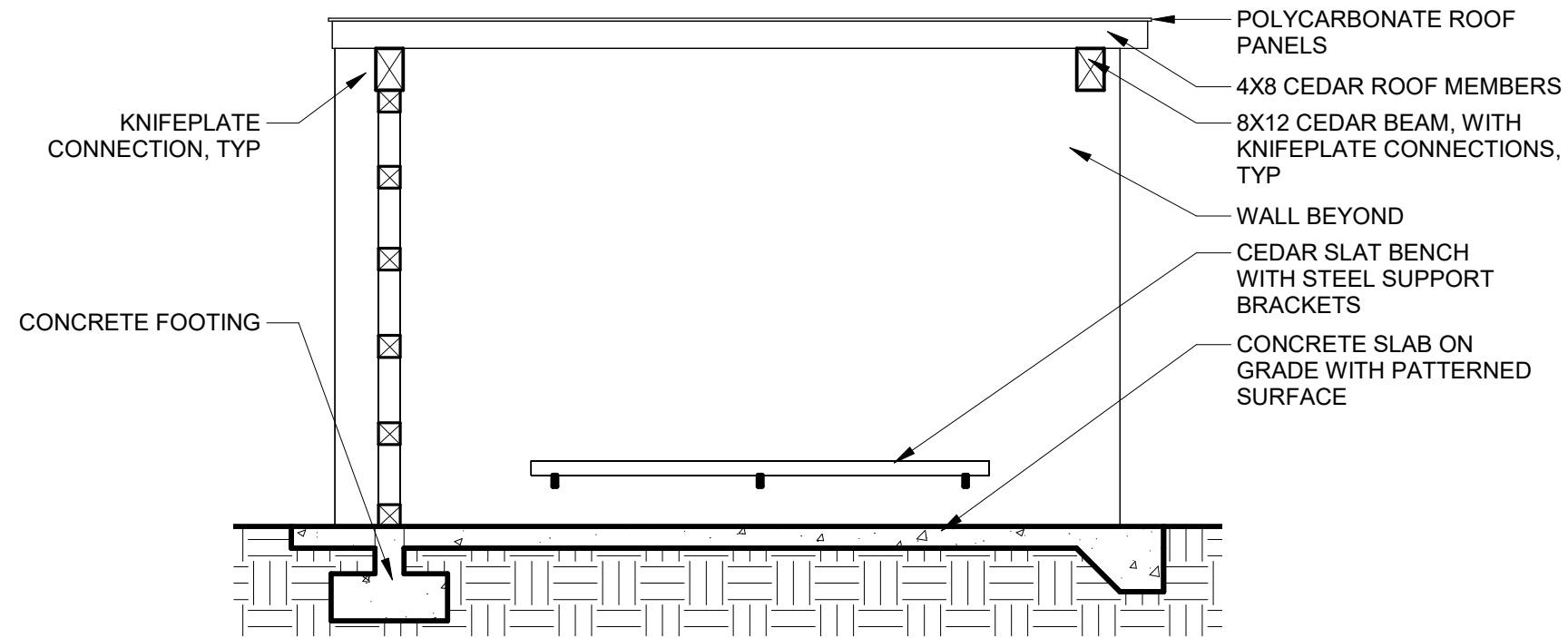
1 EAST ELEVATION - BIKE PARKING
1/4" = 1'-0"



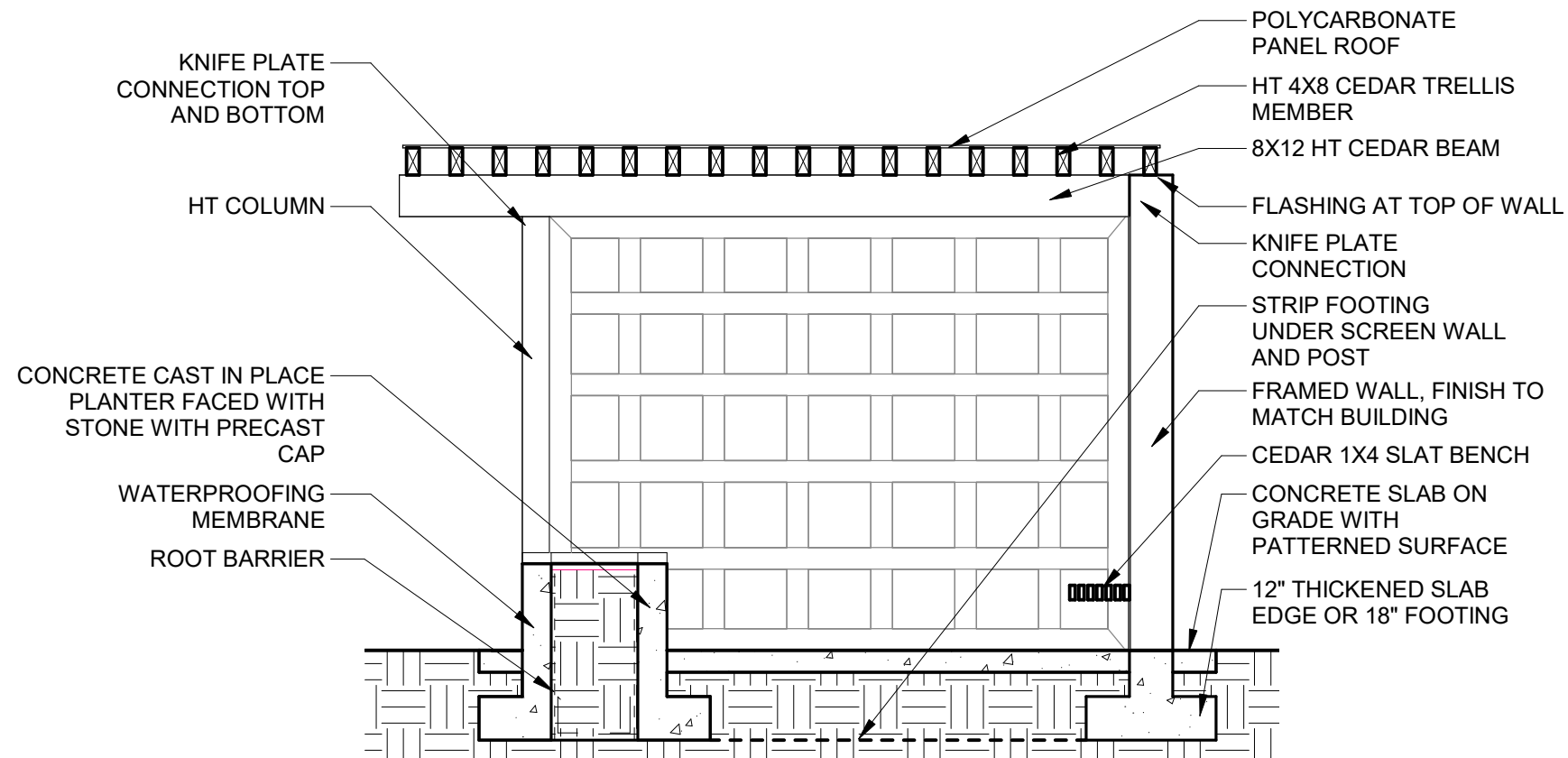
2 INTERIOR ELEVATION - BIKE PARKING
1/4" = 1'-0"



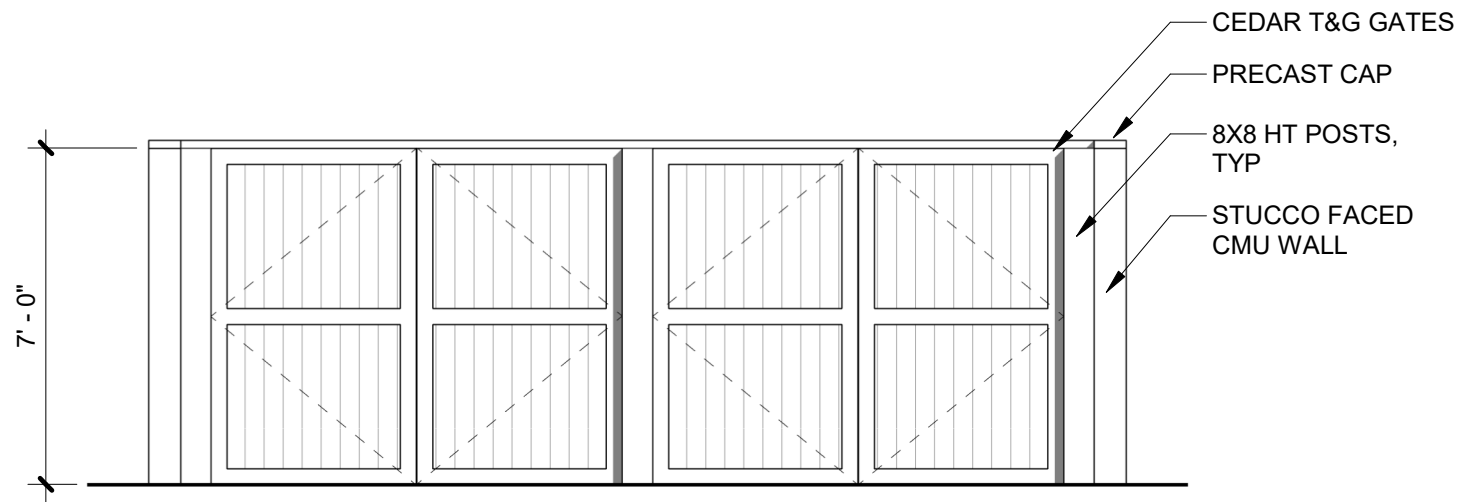
1 FLOOR PLAN - ENTRY PAVILION
 1/4" = 1'-0"



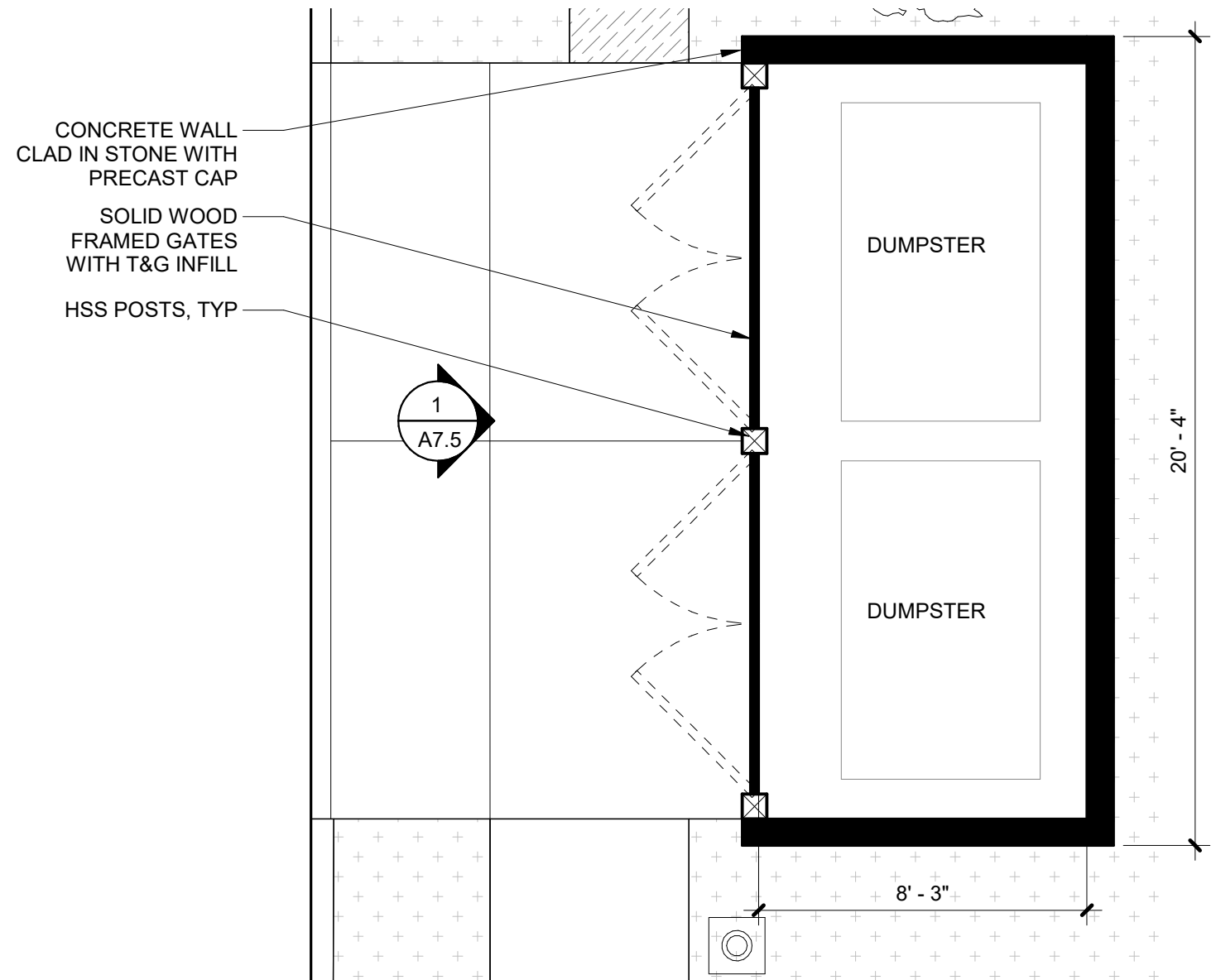
1 EAST ENTRY PAVILION - EAST SECTION
1/4" = 1'-0"



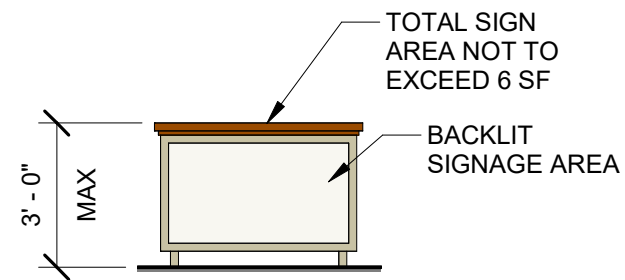
2 EAST ENTRY PAVILION - NORTH SECTION
1/4" = 1'-0"



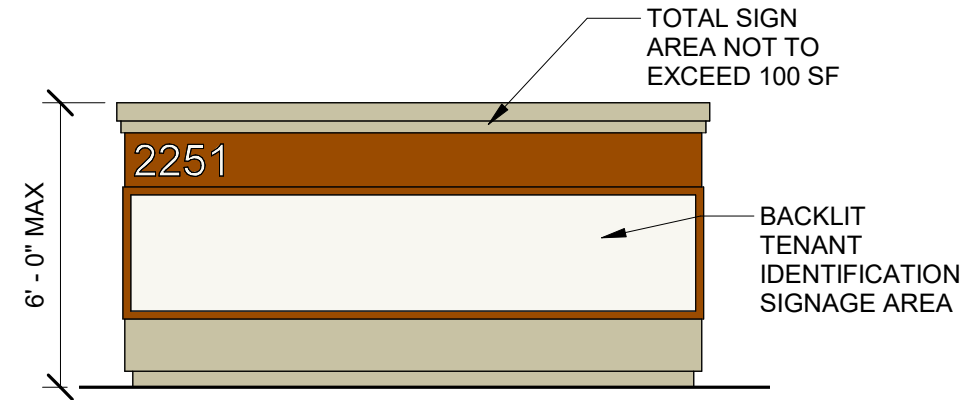
1 FRONT ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



2 FLOOR PLAN - TRASH ENCLOSURE
1/4" = 1'-0"



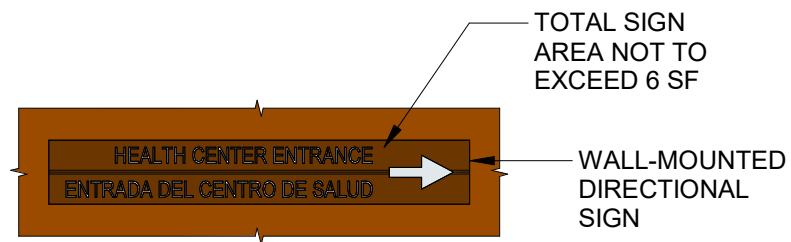
DIRECTIONAL SIGNAGE PRECEDENT



MONUMENT SIGN PRECEDENT

3 DIRECTIONAL SIGNAGE
1/4" = 1'-0"

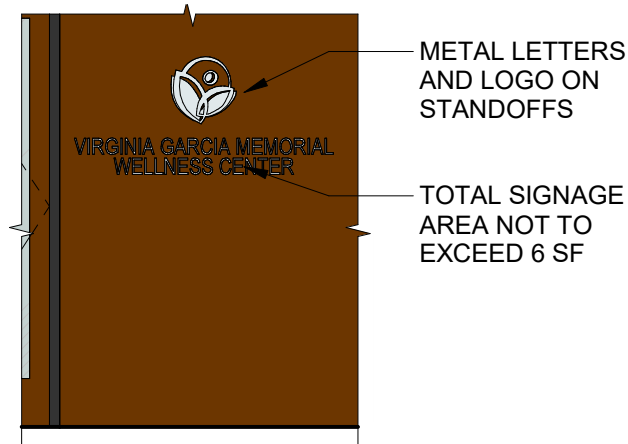
1 MONUMENT SIGN
1/4" = 1'-0"



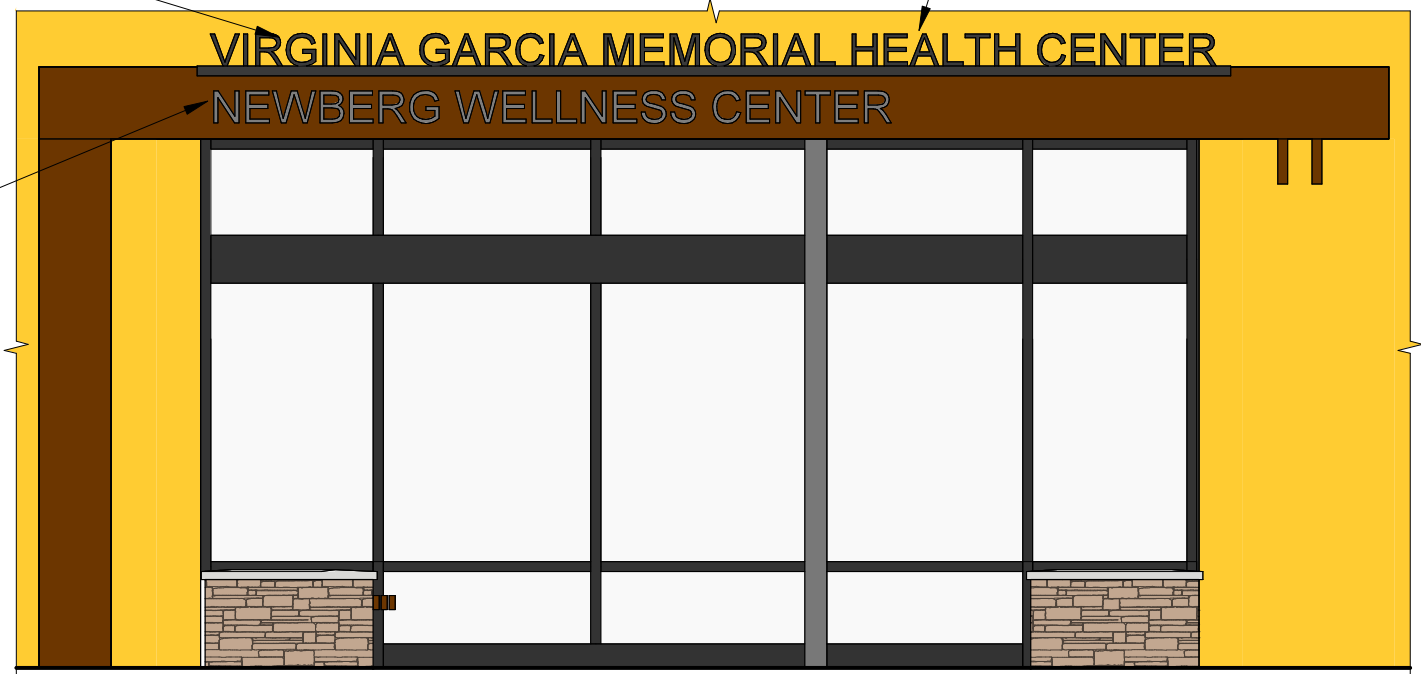
METAL LETTERS MOUNTED TO TOP OF HEAVY TIMBER TRELLIS

TOTAL SIGN AREA NOT TO EXCEED 259 SF

4 PARKING PAVILION SIGNAGE
1/2" = 1'-0"

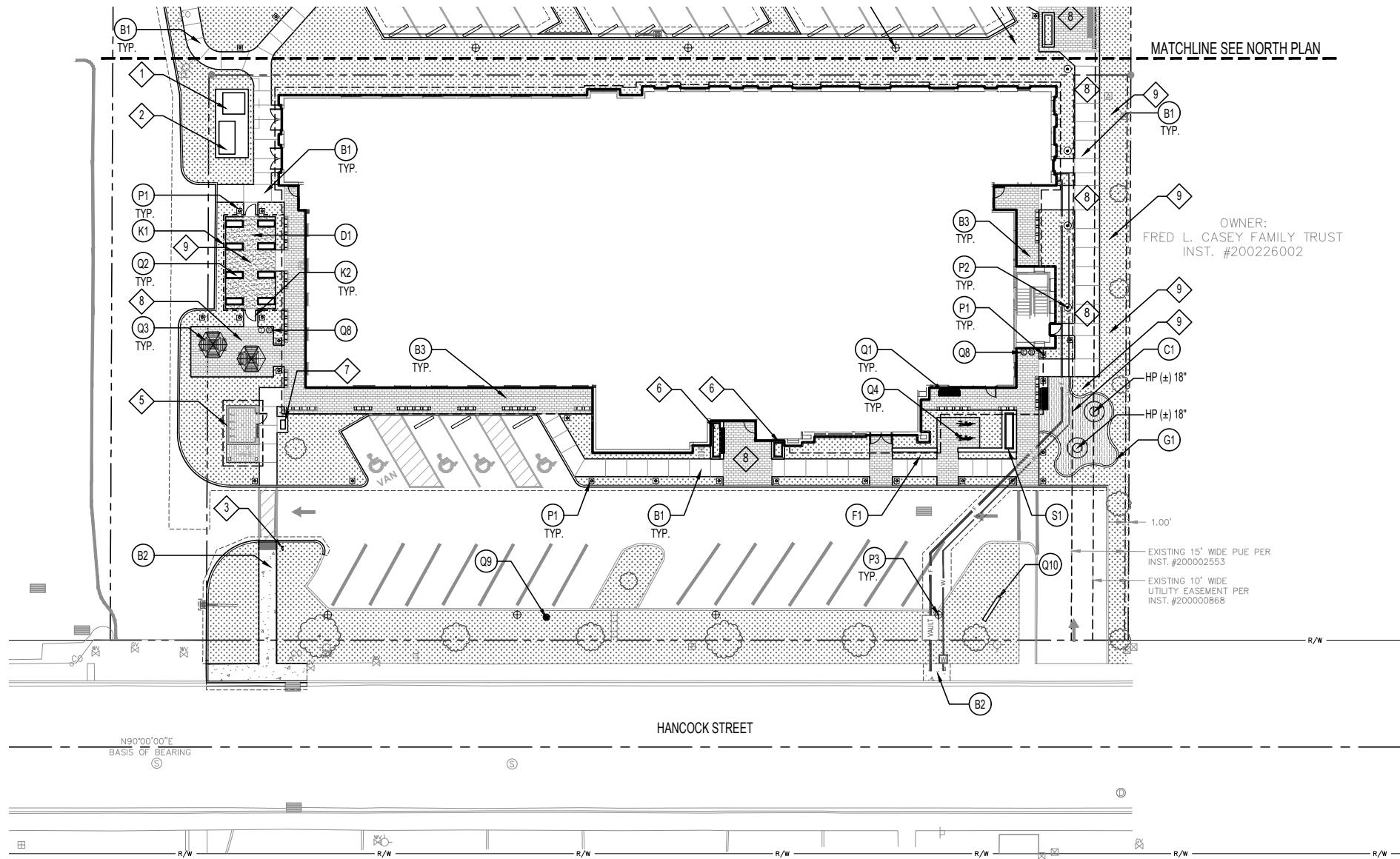


METAL LETTERS MOUNTED TO FACE OF HEAVY TIMBER TRELLIS



5 BUILDING SIGNAGE - WELLNESS CENTER
1/4" = 1'-0"

2 BUILDING SIGNAGE - MAIN ENTRY
1/4" = 1'-0"



MATERIALS SCHEDULE

PAVEMENTS

- (A1) ASPHALT PAVING (SEE CIVIL)
- (B1) CONCRETE PAVING - PEDESTRIAN
- 4" CONCRETE OVER 6" AGGREGATE BASE
- BROOM FINISH, SAW CUT JOINTS
- (B2) CONCRETE PAVING - PEDESTRIAN (SEE CIVIL)
- (B3) DECORATIVE CONCRETE PAVING - PEDESTRIAN
- STAMPED FINISH w/ INSET TILE OR GRAPHIC PER PLAN
- INTEGRAL COLOR w/ GRAPHIC
- (C1) SYNTHETIC TURF SAFETY SURFACING
- 3 TO 5 COLORS
- FOREVER LAWN PLAYGROUND GRASS, BASIS OF DESIGN
- (D1) DECOMPOSED GRANITE - COMMUNITY GARDEN
- 3" OF 1/4" MINUS
- TAN/GOLD COLOR
- (E1) BARK MULCH - WALKING PATH
- 3" MINIMUM DEPTH
- (E2) ENGINEERED WOOD FIBER - FITNESS EQUIPMENT
- 12" DEPTH; SUB DRAIN SYSTEM

STAIRS, RAMPS, WALLS, AND CURBS

- (F1) NATURAL STONE WALL w/ CAP
- MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN
- (G1) FLUSH CONCRETE CURB
- 18" DEEP, 6" WIDE
- (H1) METAL EDGER
- PERMALOC ALUMINUM EDGING; BASIS OF DESIGN

RAILINGS, GATES, AND FENCES

- (K1) 48" HT. DECORATIVE METAL PANEL FENCE
- B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN
- PATTERN OPTION: A 07
- (K2) 48" HT. DECORATIVE METAL PANEL GATE
- B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN
- PATTERN OPTION: A 07

SITE FURNISHINGS

- (P1) LIGHT BOLLARD
- SEE ELECTRICAL
 - (P2) LIGHT POLE - PEDESTRIAN
- SEE ELECTRICAL
 - (P3) LIGHT POLE - PARKING LOT
- SEE ELECTRICAL
 - (P4) LANDSCAPE UPLIGHTING
- 60 DEGREE BEAM SPREAD, SEE ELECTRICAL
 - (Q1) BENCH w/ BACK
- FORMS-SURFACES STANDALONE 6' BENCH, BASIS OF DESIGN
 - (Q2) RAISED PLANTER
- 5' LENGTH x 2' WIDTH
- JUNIPER OR CEDAR TIMBERS
 - (Q3) TABLES, CHAIRS, & SUNSHADE
- TYPE A, 4 SURFACE MOUNT BENCHES
- TYPE B, 3 SURFACE MOUNT BENCHES; ADA
- FORMS-SURFACES APEX ENSEMBLE, BASIS OF DESIGN
- FORMS-SURFACES SOLERIS SUNSHADE, BASIS OF DESIGN
 - (Q4) (2) BIKE RACKS
- TIMBERFORM CYCLOOPS MODEL NO. 2170-3-06, BASIS OF DESIGN
 - (Q5) FITNESS EQUIPMENT
- KOMPAN PUSH UP BAR, BASIS OF DESIGN
 - (Q6) FITNESS EQUIPMENT
- KOMPAN 16 INCH AND 24 INCH STEP, BASIS OF DESIGN
 - (Q7) FITNESS EQUIPMENT
- KOMPAN INCLINE PRESS, BASIS OF DESIGN
 - (Q8) LITTER / RECYCLING
- LANDSCAPE FORMS PETOSKEY, BASIS OF DESIGN
 - (Q9) EV CHARGING STATION (SEE ELECTRICAL)
 - (Q10) MONUMENT SIGNS
- SITE FURNISHINGS - SPECIALTY FEATURES**
- (S1) WATER FEATURE
- MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN

SOIL PREPARATION NOTE

1. SOIL PREP - RIP SUBGRADE TO DEPTH OF 4" BELOW AMENDED LAYER. TILL 3" COMPOST INTO TOP 12" PLACED TOPSOIL.

IRRIGATION NOTE

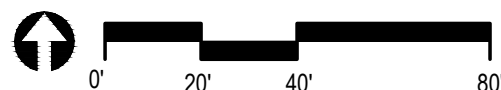
1. ALL PLANTING AREAS TO BE IRRIGATED w/ FULLY AUTOMATIC IRRIGATION SYSTEM.

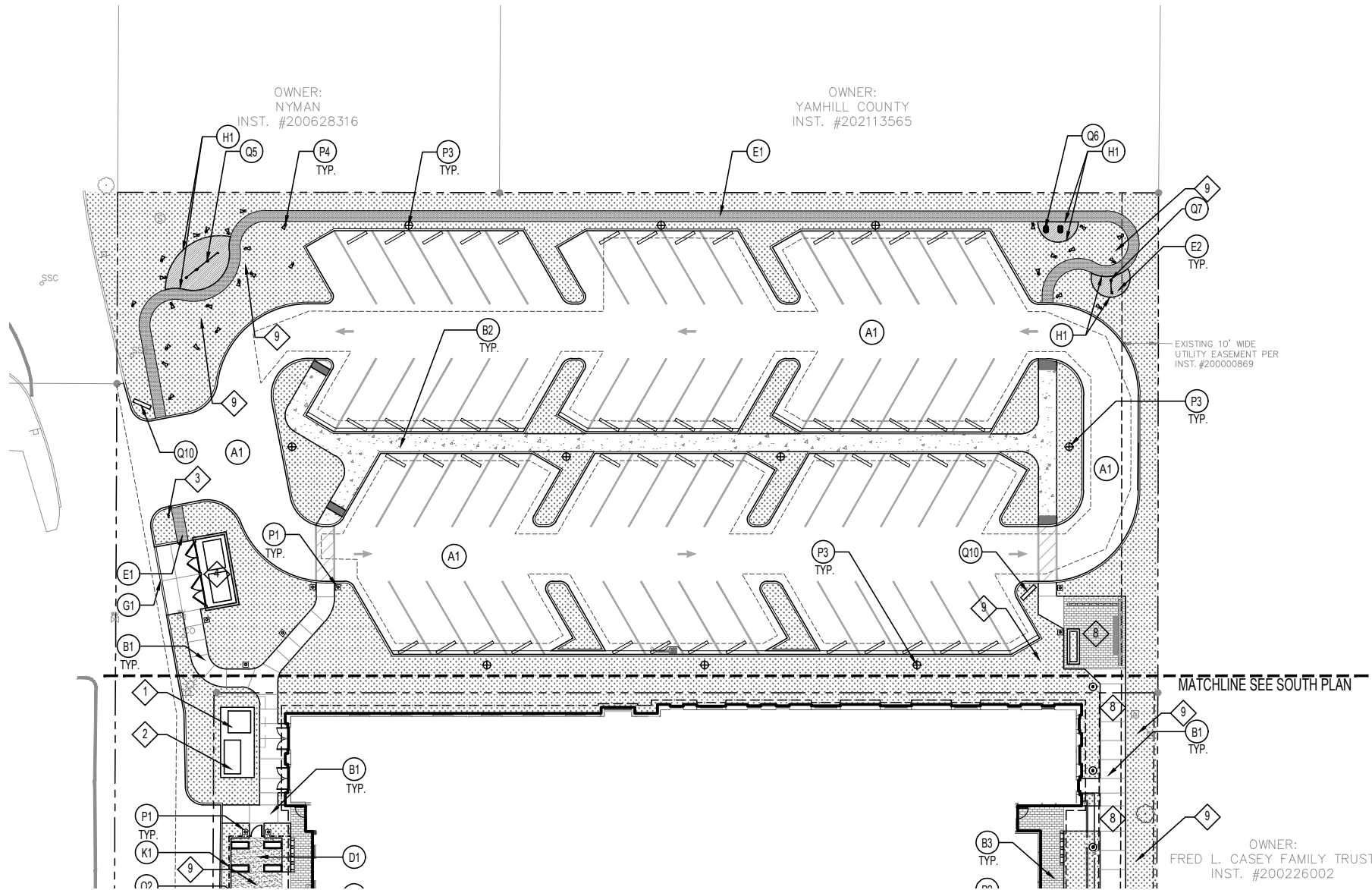
KEY NOTES

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2. ELECTRICAL GENERATOR - REFER TO ELECTRICAL
3. PARKING DIRECTIONAL SIGNAGE - REFER TO ARCHITECT
4. TRASH ENCLOSURE
5. BIKE ENCLOSURE
6. PLANTERS AT BUILDING - REFER TO ARCHITECT
7. USPS MAILBOXES - REFER TO ARCHITECT
8. PROPOSED FUTURE ART INSTALLATION - DECORATIVE CONCRETE GRAPHIC
9. PROPOSED FUTURE ART INSTALLATION - SCULPTURE

MATERIALS LEGEND

- PROPERTY LINE
- [Pattern] PLANTING AREA
- TYP. TYPICAL
- HP HIGH POINT
- [Tree Symbol] EXISTING TREES





MATERIALS SCHEDULE

PAVEMENTS	SITE FURNISHINGS
(A1) ASPHALT PAVING (SEE CIVIL)	(P1) LIGHT BOLLARD - SEE ELECTRICAL
(B1) CONCRETE PAVING - PEDESTRIAN - 4" CONCRETE OVER 6" AGGREGATE BASE - BROOM FINISH, SAW CUT JOINTS	(P2) LIGHT POLE - PEDESTRIAN - SEE ELECTRICAL
(B2) CONCRETE PAVING - PEDESTRIAN (SEE CIVIL)	(P3) LIGHT POLE - PARKING LOT - SEE ELECTRICAL
(B3) DECORATIVE CONCRETE PAVING - PEDESTRIAN - STAMPED FINISH w/ INSET TILE OR GRAPHIC PER PLAN - INTEGRAL COLOR w/ GRAPHIC	(P4) LANDSCAPE UPLIGHTING - 60 DEGREE BEAM SPREAD, SEE ELECTRICAL
(C1) SYNTHETIC TURF SAFETY SURFACING - 3 TO 5 COLORS - FOREVER LAWN PLAYGROUND GRASS, BASIS OF DESIGN	(Q1) BENCH w/ BACK - FORMS-SURFACES STANDALONE 6' BENCH, BASIS OF DESIGN
(D1) DECOMPOSED GRANITE - COMMUNITY GARDEN - 3" OF 1/4" MINUS - TAN/GOLD COLOR	(Q2) RAISED PLANTER - 5' LENGTH x 2' WIDTH - JUNIPER OR CEDAR TIMBERS
(E1) BARK MULCH - WALKING PATH - 3" MINIMUM DEPTH	(Q3) TABLES, CHAIRS, & SUNSHADE - TYPE A, 4 SURFACE MOUNT BENCHES - TYPE B, 3 SURFACE MOUNT BENCHES; ADA - FORMS-SURFACES APEX ENSEMBLE, BASIS OF DESIGN - FORMS-SURFACES SOLERIS SUNSHADE, BASIS OF DESIGN
(E2) ENGINEERED WOOD FIBER - FITNESS EQUIPMENT - 12" DEPTH; SUB DRAIN SYSTEM	(Q4) (2) BIKE RACKS - TIMBERFORM CYCLOOPS MODEL NO. 2170-3-06, BASIS OF DESIGN
STAIRS, RAMPS, WALLS, AND CURBS	(Q5) FITNESS EQUIPMENT - KOMPAN PUSH UP BAR, BASIS OF DESIGN
(F1) NATURAL STONE WALL w/ CAP - MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN	(Q6) FITNESS EQUIPMENT - KOMPAN 16 INCH AND 24 INCH STEP, BASIS OF DESIGN
(G1) FLUSH CONCRETE CURB - 18" DEEP, 6" WIDE	(Q7) FITNESS EQUIPMENT - KOMPAN INCLINE PRESS, BASIS OF DESIGN
(H1) METAL EDGER - PERMALOC ALUMINUM EDGING; BASIS OF DESIGN	(Q8) LITTER / RECYCLING - LANDSCAPE FORMS PETOSKEY, BASIS OF DESIGN
RAILINGS, GATES, AND FENCES	(Q9) EV CHARGING STATION (SEE ELECTRICAL)
(K1) 48" HT. DECORATIVE METAL PANEL FENCE - B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN - PATTERN OPTION: A 07	(Q10) MONUMENT SIGNS
(K2) 48" HT. DECORATIVE METAL PANEL GATE - B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN - PATTERN OPTION: A 07	SITE FURNISHINGS - SPECIALTY FEATURES
	(S1) WATER FEATURE - MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN

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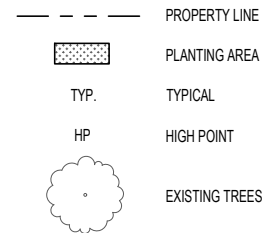
IRRIGATION NOTE

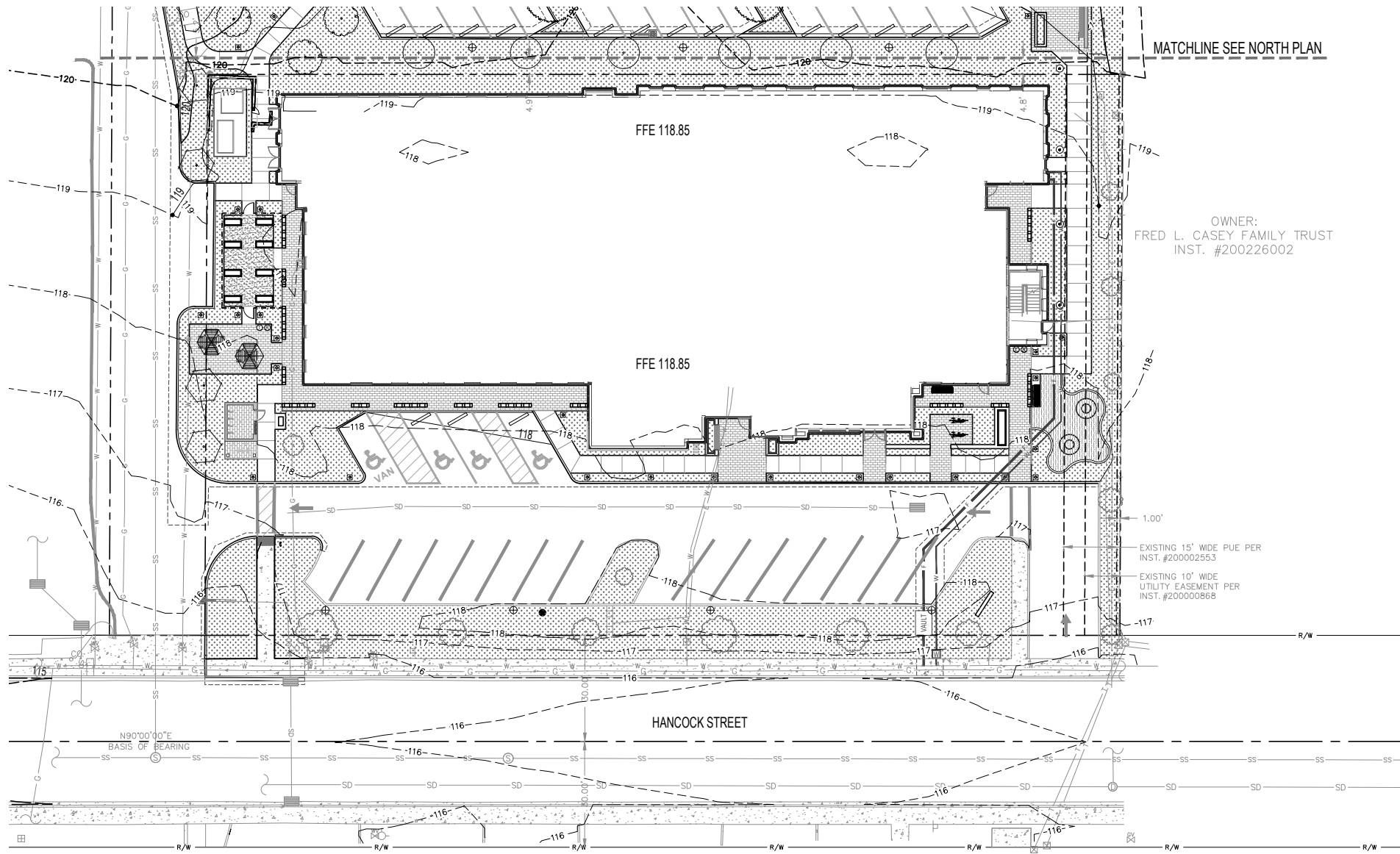
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KEY NOTES

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MATERIALS LEGEND



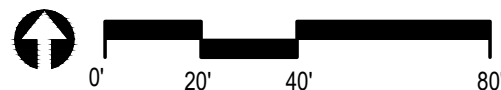


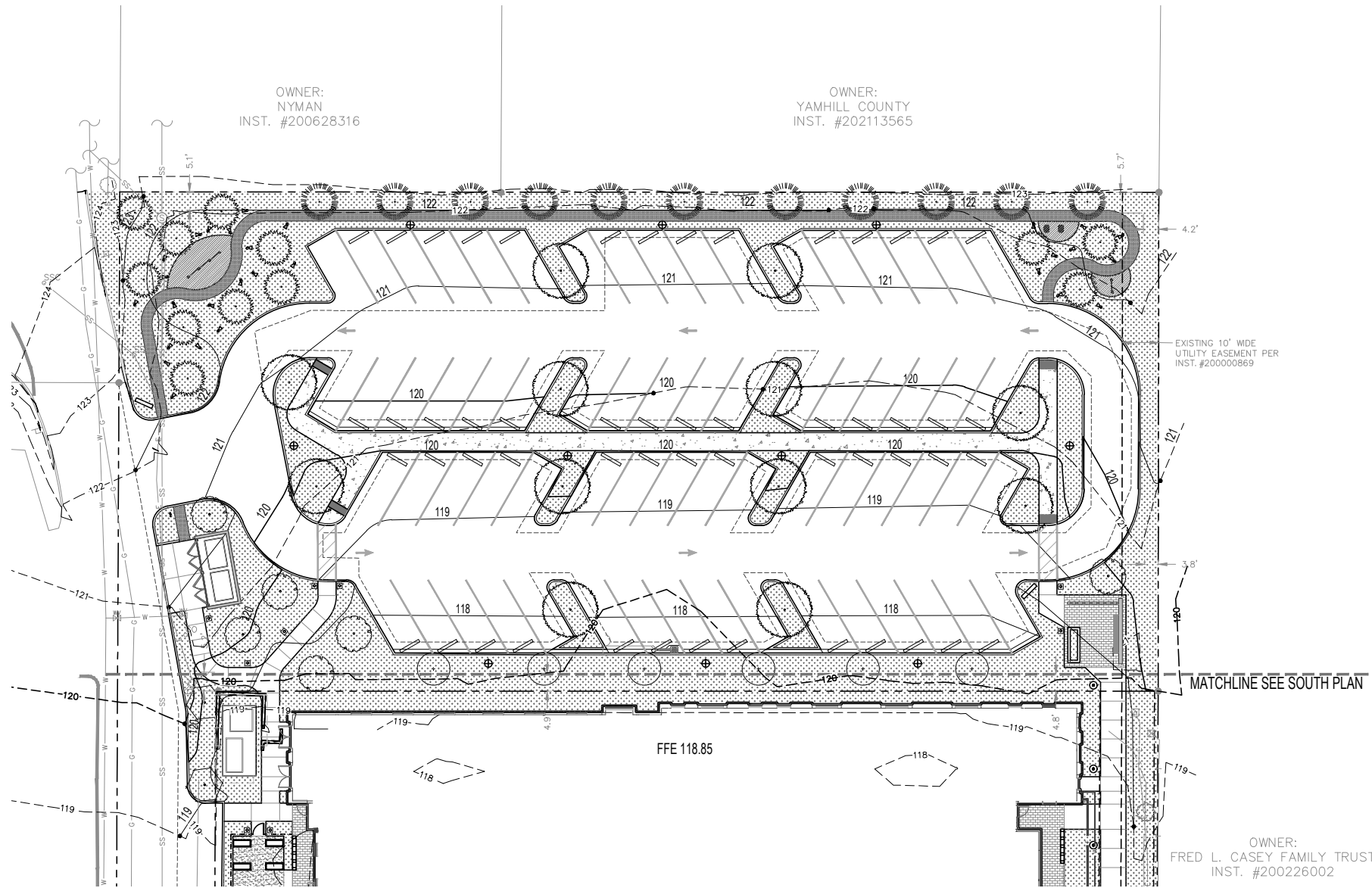
GRADING/DRAINAGE SCHEDULE

- EXISTING CONTOUR
- PROPOSED CONTOUR
- XXXX PROPOSED SPOT ELEVATION
- (XXXX) EXISTING SPOT ELEVATION (VERIFY IN FIELD)
- X% PROPOSED DIRECTION AND PERCENT SLOPE

ABBREVIATIONS

- BC BOTTOM OF CURB (FS)
- BW BOTTOM OF WALL (FS)
- FC FLUSH CURB
- FG FINISH GRADE
- FS FINISH SURFACE
- GB GRADE BREAK
- HP HIGH POINT
- RM RIM INLET
- LP LOW POINT
- TC TOP OF CURB
- TW TOP OF WALL
- TD TRENCH DRAIN RIM





GRADING/DRAINAGE SCHEDULE

- EXISTING CONTOUR
- 76----- PROPOSED CONTOUR
- XXXX PROPOSED SPOT ELEVATION
- (XXXX) EXISTING SPOT ELEVATION (VERIFY IN FIELD)
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- RM RIM INLET
- LP LOW POINT
- TC TOP OF CURB
- TW TOP OF WALL
- TD TRENCH DRAIN RIM



PLANT SCHEDULE							
FOUNDATION PLANTING							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	CONTAINER CLASS	SPACING	NOTES
	ACCI	ACER CIRCINATUM	VINE MAPLE	8' HT.; 3/4" CAL.	CG #5, #7, #10, OR B&B	AS SHOWN	TYPE 3 UPRIGHT DECIDUOUS SHRUB / SMALL TREE; NUMBER OF BRANCHES 7 MIN.; ROOT BALL 18" MIN. DIA.; ROOT BALL DEPTH 11-3/4" MIN.; MULTI-STEM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	15" HT.; 3 CANES	CG #2, #3, #5	24" O.C.	TYPE 0 TENDER DECIDUOUS SHRUB; LOW SHRUB
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'	AZTEC PEARL MEXICAN ORANGE	18" HT. OR SPRD.	CG #3	48" O.C.	TYPE 3 BROADLEAF EVERGREEN; LOW SHRUB
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD PEPPERBUSH	18" HT.; 4 CANES	CG #2, #3, #5	36" O.C.	TYPE 2 INTERMEDIATE DECIDUOUS SHRUB; LOW SHRUB
	EUJA	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	24" HT. x 8" SPRD.	CG #3	18" O.C.	TYPE 6 BROADLEAF EVERGREEN; HIGH SCREEN SHRUB
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	18" HT.; 4 OR MORE CANES	CG #3	AS SHOWN	HIGH SCREEN SHRUB
	GAJA	GARDENIA JASMINOIDES	SUMMER SNOW® GARDENIA	18" HT. OR SPRD.	CG #2	30" O.C.	
	MAAQ	MAHONIA AQUIFOLIUM	OREGON GRAPE	18" HT. x 12" SPRD.	CG #2	36" O.C.	PNW NATIVE; LOW SCREEN SHRUB
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	15" SPRD.	CG #2	30" O.C.	PNW NATIVE
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	12" SPRD.	CG #2, #3	36" O.C.	EVERGREEN SHRUB; HEAVY, WELL FOLIAGED; DIRR SPECS: ZONES 4-8; 48" HT. x SPRD
	NADO	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	15-18" HT. x 12-15" SPRD.	CG #3, #5	36" O.C.	LOW SHRUB
	RISA	RIBES SANGUINEUM	FLOWERING CURRANT	24" HT.; 4 CANES	CG #3, #5, #7	AS SHOWN	PNW NATIVE; ATTRACTS BIRDS; HIGH SCREEN SHRUB
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	15" HT. OR SPRD.; 4 CANES	CG #2, #3, #5	30" O.C.	TYPE 1 DECIDUOUS SHRUB; LOW SHRUB
	VIDA	VIBURNUM DAVIDII	DAVID VIBURNUM	18" HT. OR SPRD.	CG #3	36" O.C.	TYPE 2 BROADLEAF EVERGREEN; LOW SHRUB
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS							
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'	PROSTRATE WHITE ABELIA	18" SPRD.	CG #3	30" O.C.	
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNIKINNIK	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	12" SPRD.	CG #1, #2	18" O.C.	SEMI-EVERGREEN GRASS; ROOTS TO EDGE OF CONTAINER
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'	VARIEGATED JAPANESE SEDGE	12" SPRD.	CG #1, #2	12" O.C.	EVERGREEN GRASS; ROOTS TO EDGE OF CONTAINER
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	15" SPRD.	CG #2, 3	36" O.C.	TYPE 1 BROADLEAF EVERGREEN; LOW SHRUB
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	6" HT. x 10" SPRD.	CG #2, #3	12" O.C.	GRASS-LIKE GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	LOPI	LONICERA PILEATA	PRIVET HONEYSUCKLE	18" SPRD.	CG #2	AS SHOWN	TYPE 1 BROADLEAF EVERGREEN; LOW SHRUB
	MARE	MAHONIA NERVOSA	LONGLEAF REPENS	12" SPRD.	CG #2	24" O.C.	PNW NATIVE; EVERGREEN GROUNDCOVER
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'	GREEN SHEEN JAPANESE PRURGE	6" SPRD.	#SP4	12" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	CG #2, #3	36" O.C.	PNW NATIVE; EVERGREEN FERN; HEAVY, WELL FOLIAGED
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS	DWARF SWEETBOX	12" SPRD.	CG #2	24" O.C.	EVERGREEN GROUNDCOVER
	SPWA	SPIRAEA JAPONICA 'WALBUMA'	MAGIC CARPET SPIREA	12" SPRD. OR HT.; 4 CANES	CG #1, #2, #3	18" O.C.	TYPE 1 DECIDUOUS SHRUB; GROUNDCOVER

PLANT SCHEDULE							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	SPACING	QUANTITY	NOTES
	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2" CAL.; 12-14" HT.	AS SHOWN	6	SMALL TREE
	ACPA	ACER PALMATUM	JAPANESE MAPLE	8' HT.	AS SHOWN	6	SMALL TREE; MULTI-STEM
	GLTR	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL.; 12-14" HT.	AS SHOWN	4	MEDIUM TREE
	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2" CAL.; 12-14" HT.	AS SHOWN	12	LARGE TREE
	PSME	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HT.; 3'-4" SPRD.	AS SHOWN	11	LARGE TREE
	THPL	THUJA PLICATA	WESTERN RED CEDAR	6' HT.; 3'-4" SPRD.	AS SHOWN	12	LARGE TREE

PLANTING NOTES

- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
- LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.

SITE LANDSCAPE CALCULATIONS

C-2: COMMUNITY COMMERCIAL	TOTAL AREA:
SITE BOUNDARY (NORTH LOT)	39,283 SF
SITE BOUNDARY (SOUTH LOT)	41,222 SF
BUILDING FOOTPRINT	18,813 SF

NORTH LOT LANDSCAPED AREAS:	REQUIRED:	PROPOSED:
MIN. 15% OF SITE REQ. LANDSCAPE	5,892 SF	10,149 SF
MIN. 25 SF PER STALL PARKING LOT AREA = 26,124 SF 86 STALLS TOTAL 25 SF PER STALL = 1,650 SF REQ.	1,650 SF	1,963 SF

SOUTH LOT LANDSCAPED AREAS:	REQUIRED:	PROPOSED:
MIN. 15% OF SITE REQ. LANDSCAPE 41,222 SF - 18,833 SF = 22,389 x .15 = 3,359 SF REQ.	3,359 SF	7,377 SF
MIN. 25 SF PER STALL PARKING LOT AREA = 7,519 SF 20 STALLS TOTAL 25 SF PER STALL = 500 SF REQ.	500 SF	1,148 SF

BICYCLE PARKING:

SHORT-TERM SPACES = 2 BIKE RACKS | 4 SPACES

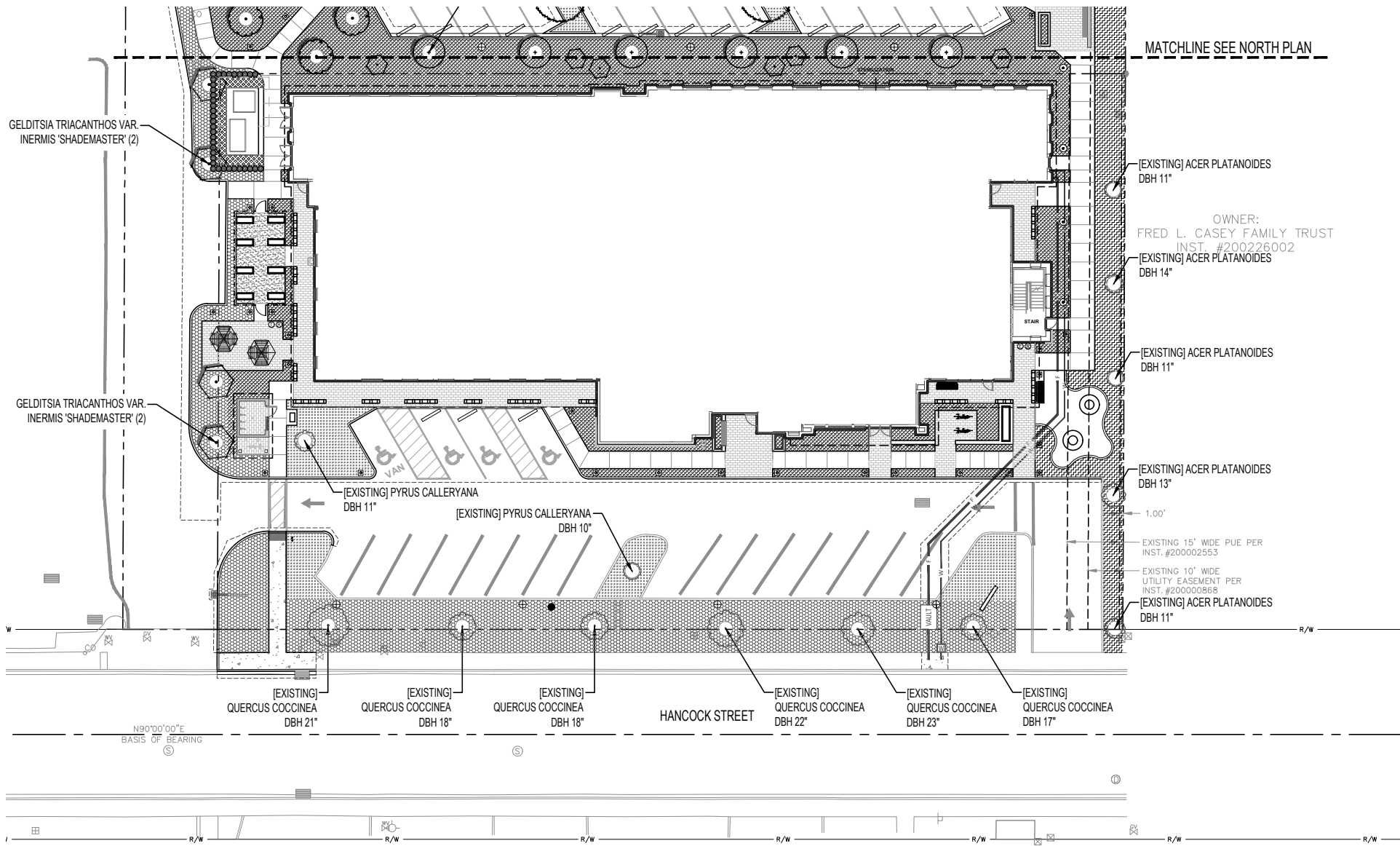
PLANTING SCHEDULE & NOTES
L3.00



VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

PLACE
735 NW 18TH AVE
PORTLAND, OR 97209

Scott Edwards Architecture



MATCHLINE SEE NORTH PLAN

OWNER:
FRED L. CASEY FAMILY TRUST
INST. #200226002

GELDITSIA TRIACANTHOS VAR.
INERMIS 'SHADEMASTER' (2)

GELDITSIA TRIACANTHOS VAR.
INERMIS 'SHADEMASTER' (2)

[EXISTING] ACER PLATANOIDES
DBH 11"

[EXISTING] ACER PLATANOIDES
DBH 14"

[EXISTING] ACER PLATANOIDES
DBH 11"

[EXISTING] ACER PLATANOIDES
DBH 13"

EXISTING 15' WIDE PUE PER
INST. #200002553

EXISTING 10' WIDE
UTILITY EASEMENT PER
INST. #200000968

[EXISTING] ACER PLATANOIDES
DBH 11"

[EXISTING] QUERCUS COCCINEA
DBH 21"

[EXISTING] QUERCUS COCCINEA
DBH 18"

[EXISTING] QUERCUS COCCINEA
DBH 18"

[EXISTING] QUERCUS COCCINEA
DBH 22"

[EXISTING] QUERCUS COCCINEA
DBH 23"

[EXISTING] QUERCUS COCCINEA
DBH 17"

[EXISTING] PYRUS CALLERYANA
DBH 11"

[EXISTING] PYRUS CALLERYANA
DBH 10"

1.00'

N90°00'00"E
BASIS OF BEARING

PLANTING LEGEND

- - - - - PROPERTY LINE
- EXISTING TREES

PLANTING LEGEND

- ADJACENT LOT PERIMETER PLANTING
- MIX OF LOW TO HIGH SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
- PARKING LOT PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
- STREET PERIMETER PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
- UTILITY GROUNDCOVER PLANTING
- LOW GROUNDCOVER
- #SP4 MINIMUM CONTAINERS
- ACCENT PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS

PLANT SCHEDULE

FOUNDATION PLANTING		
SYMBOL	KEY	BOTANICAL NAME
⬡	ACCI	ACER CIRCINATUM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'
●	EUJA	EUONYMUS JAPONICUS 'GREEN SPIRE'
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'
	GAJA	GARDENIA JASMINOIDES
	MAAQ	MAHONIA AQUIFOLIUM
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'
	NAADO	NANDINA DOMESTICA 'GULF STREAM'
	RISA	RIBES SANGUINEUM
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'
	VIDA	VIBURNUM DAVIDII
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS		
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'
	LOPI	LONICERA PILEATA
	MARE	MAHONIA NERVOSA
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'
	POMU	POLYSTICHUM MUNITUM
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS
	SPWA	SPIRAEA JAPONICA 'WALBUMA'

PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)
⬡	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2' CAL.; 12'-14" HT.
⬡	ACPA	ACER PALMATUM	JAPANESE MAPLE	8' HT.
⬡	GLTR	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2' CAL.; 12'-14" HT.
⬡	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2' CAL.; 12'-14" HT.
⬡	PSME	PSEYDOSTUGA MENZIESII	DOUGLAS FIR	6' HT.; 3'-4' SPRD.
⬡	THPL	THUJA PLICATA	WESTERN RED CEDAR	6' HT.; 3'-4' SPRD.

**PLANTING PLAN - SOUTH
L3.01**



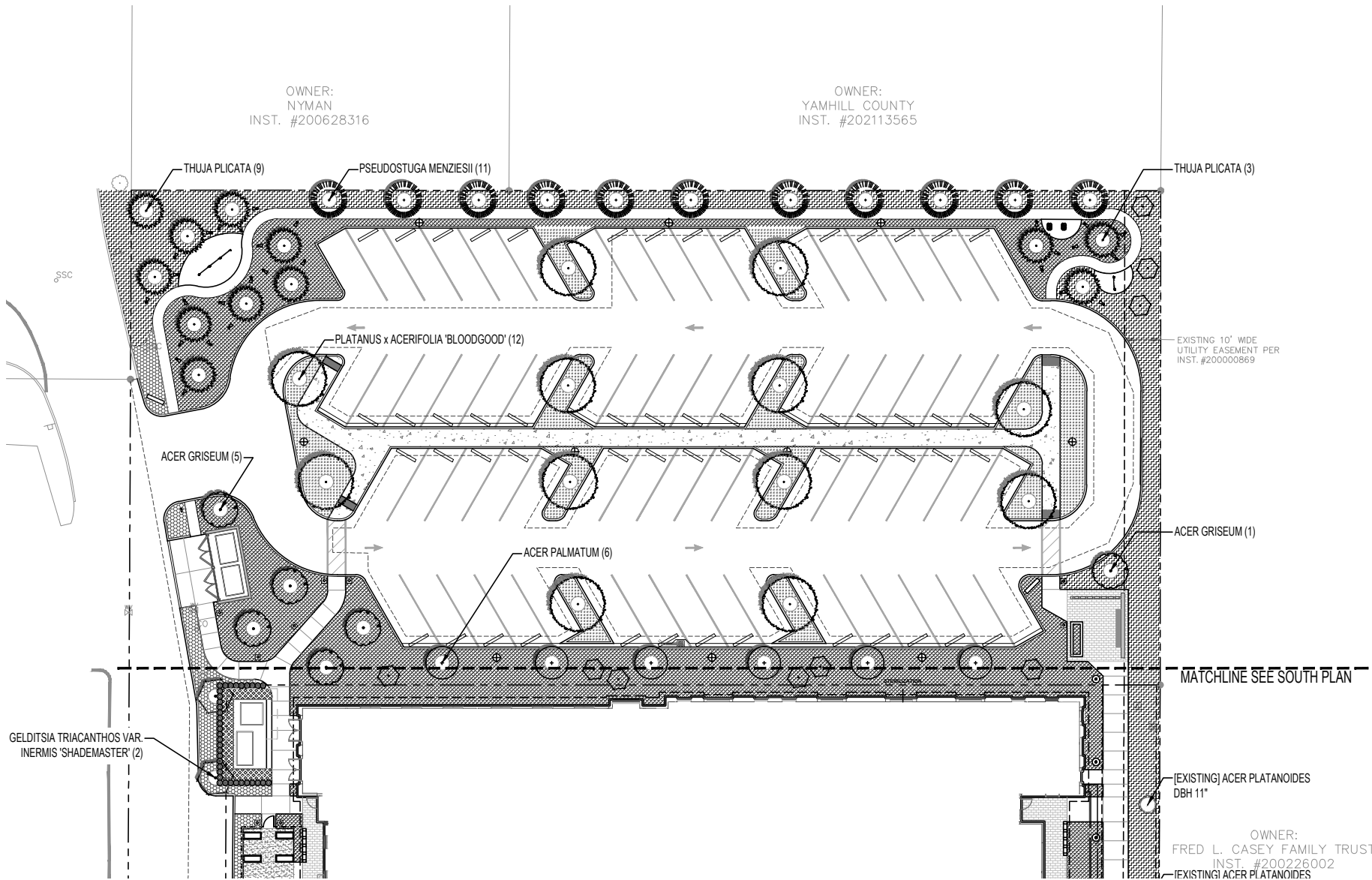
VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

PLACE
735 NW 18TH AVE
PORTLAND, OR 97209

**Scott
Edwards
Architecture**

OWNER:
NYMAN
INST. #200628316

OWNER:
YAMHILL COUNTY
INST. #202113565



PLANT SCHEDULE		
FOUNDATION PLANTING		
SYMBOL	KEY	BOTANICAL NAME
	ACCI	ACER CIRCINATUM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'
	EUJA	EUONYMUS JAPONICUS 'GREEN SPIRE'
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'
	GAJA	GARDENIA JASMINOIDES
	MAAQ	MAHONIA AQUIFOLIUM
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'
	NAADO	NANDINA DOMESTICA 'GULF STREAM'
	RISA	RIBES SANGUINEUM
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'
	VIDA	VIBURNUM DAVIDII
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS		
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASACHUSETTS'
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'
	LOPI	LONICERA PILEATA
	MARE	MAHONIA NERVOSA
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'
	POMU	POLYSTICHUM MUNITUM
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS
	SPWA	SPIRAEA JAPONICA 'WALBUMA'

PLANT SCHEDULE				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)
	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2" CAL.; 12'-14" HT.
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	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2" CAL.; 12'-14" HT.
	PSME	PSEUDOSTUGA MENZIESII	DOUGLAS FIR	6' HT.; 3'-4' SPRD.
	THPL	THUJA PLICATA	WESTERN RED CEDAR	6' HT.; 3'-4' SPRD.

PLANTING LEGEND

	PROPERTY LINE
	EXISTING TREES

PLANTING LEGEND

	ADJACENT LOT PERIMETER PLANTING - MIX OF LOW TO HIGH SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
	PARKING LOT PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
	STREET PERIMETER PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
	UTILITY GROUNDCOVER PLANTING - LOW GROUNDCOVER - #SP4 MINIMUM CONTAINERS
	ACCENT PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS

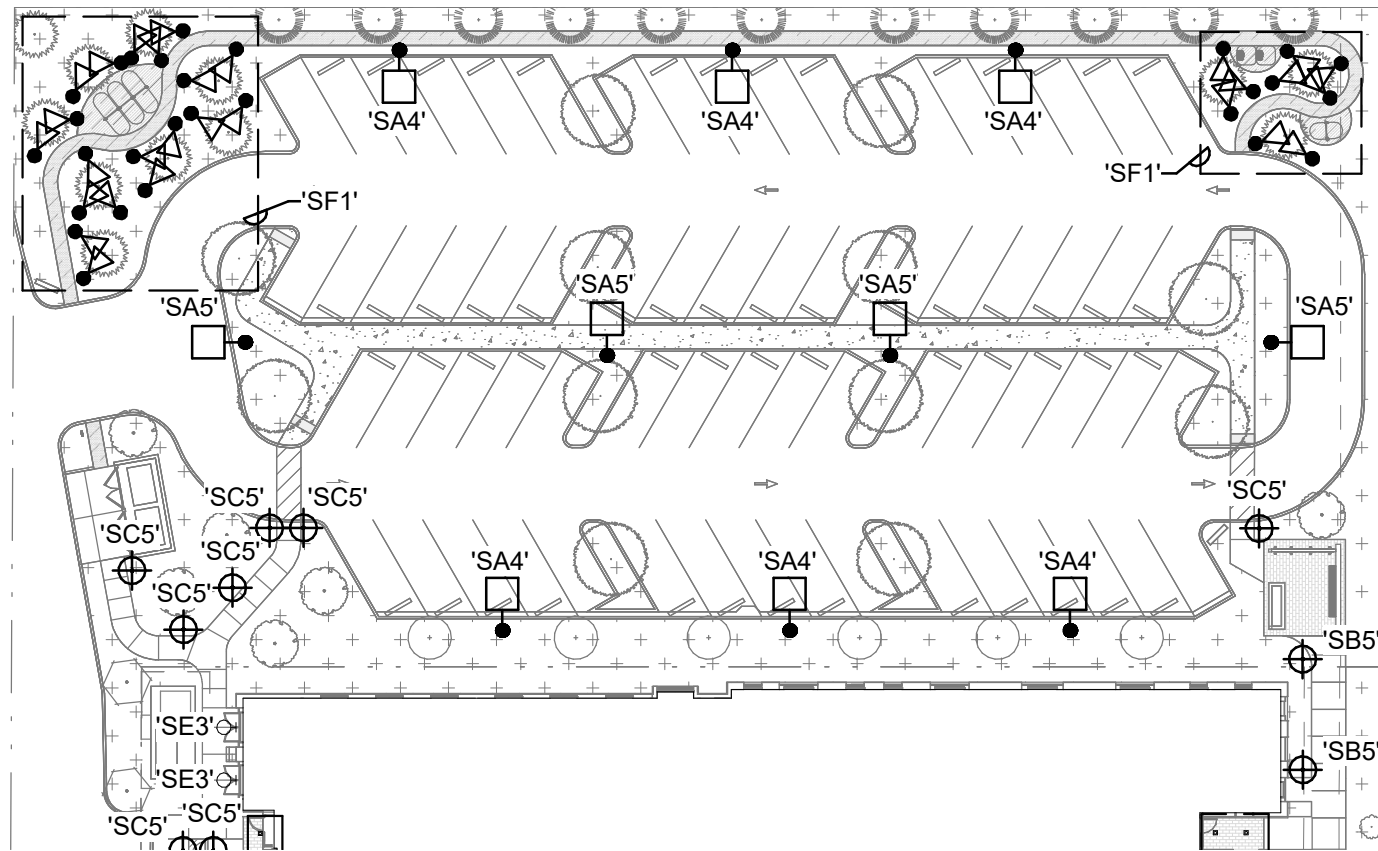
PLANTING PLAN - NORTH
L3.02



VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

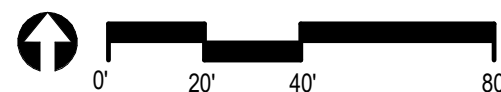
PLACE
735 NW 18TH AVE
PORTLAND, OR 97209

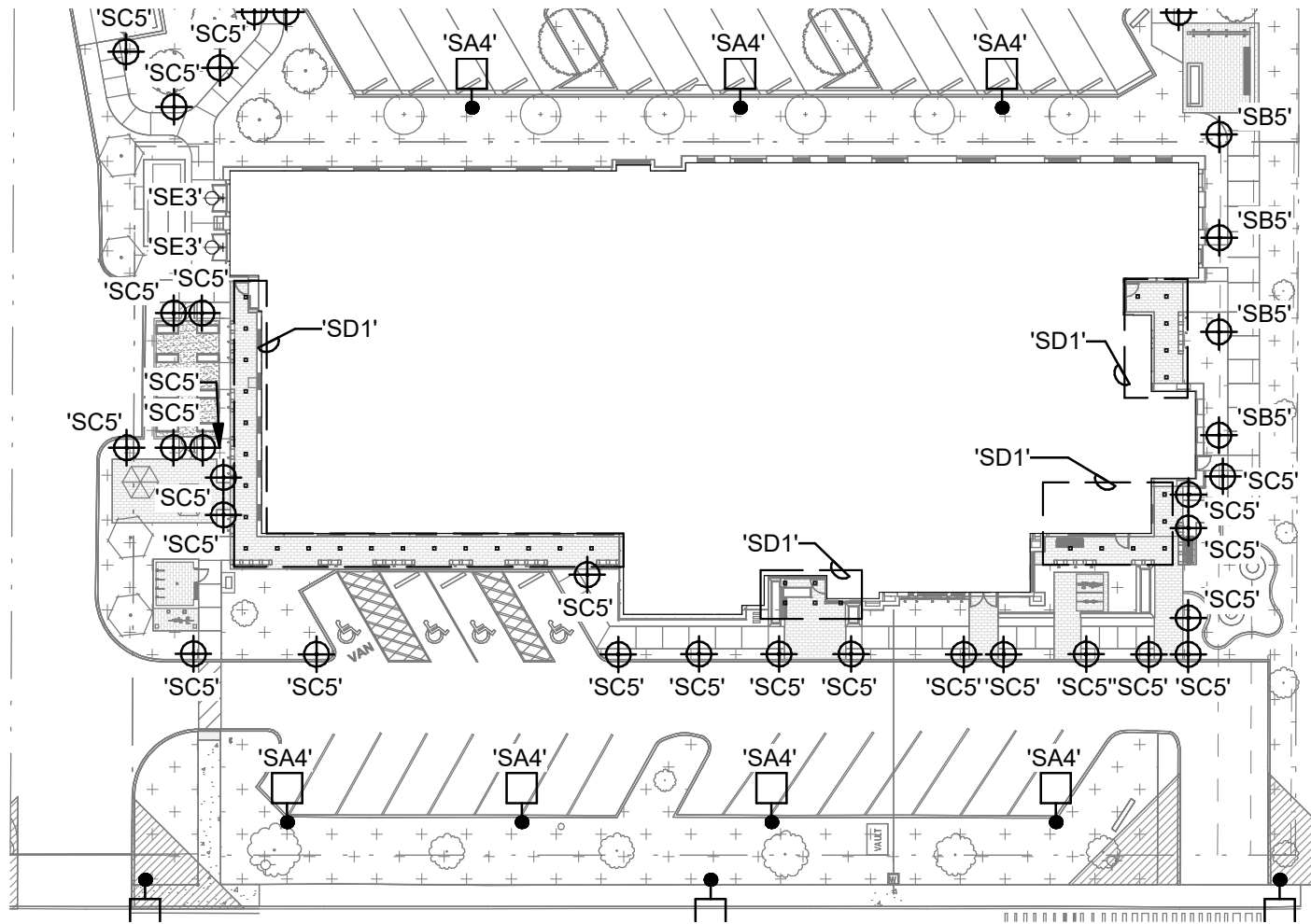
Scott Edwards Architecture

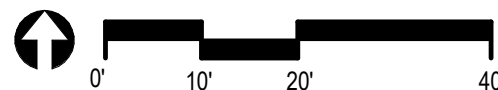
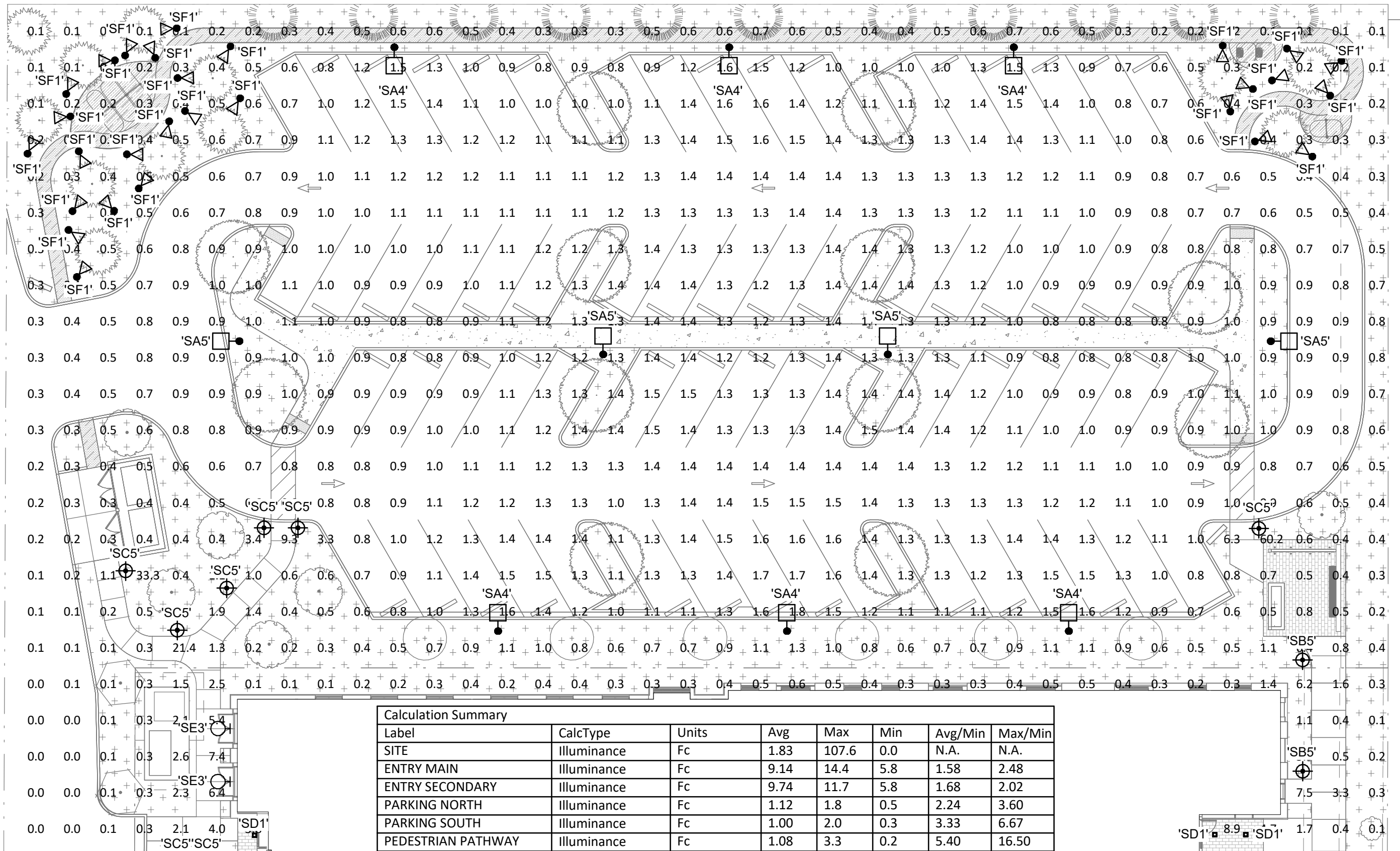


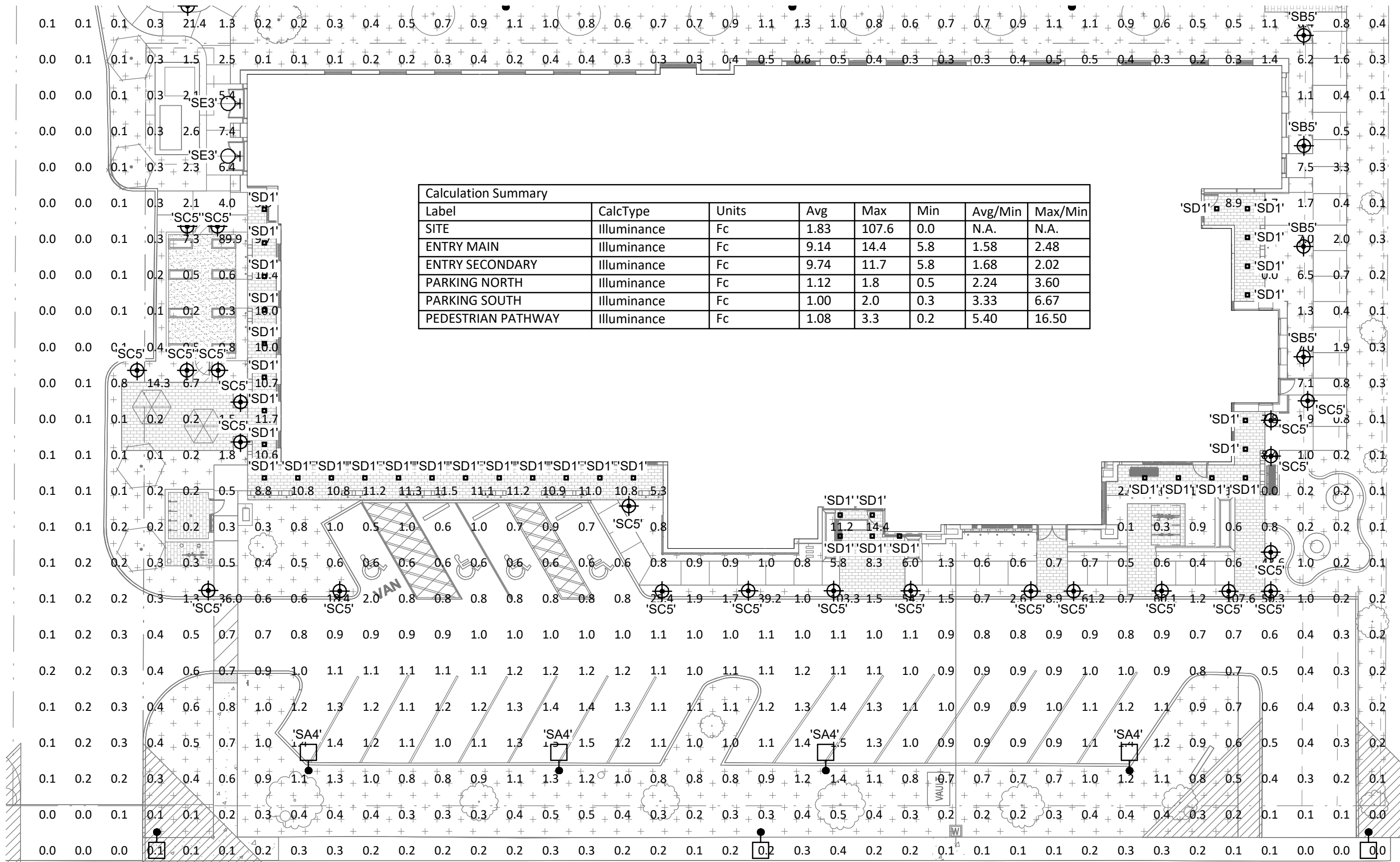
LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
'SA4'	SITE/AREA POLE MOUNTED LED; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 13IN WIDE x 26IN LONG X 3IN TALL	DIE CAST ALUMINUM	PRECISION MOLDED ACRYLIC LENSE	POLE MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS WITH GUST FACTOR OF 1.3	DARK BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	4281 NOMINAL LUMENS; 3000K LED; 80CRI	38.0	LITHONIIA DSX0 SERIES	
'SA5'	SITE/AREA POLE MOUNTED LED; SINGLE HEAD; TYPE 5 DISTRIBUTION; NOMINAL 13IN WIDE x 26IN LONG X 3IN TALL	DIE CAST ALUMINUM	PRECISION MOLDED ACRYLIC LENSE	POLE MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS WITH GUST FACTOR OF 1.3	DARK BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	4541 NOMINAL LUMENS; 3000K LED; 80CRI	38.0	LITHONIIA DSX0 SERIES	
'SB5'	SITE/AREA COLUMN LED; 76-DEGREE DISTRIBUTION; NOMINAL 6.3IN DIAMETER x 11.4FT TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE PEDESTAL	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	1102 NOMINAL LUMENS; 3000K LED; 80CRI	20.0	LIGMAN BENTON COLUMN SERIES	
'SC5'	SITE/AREA BOLLARD LED; 76-DEGREE DISTRIBUTION; NOMINAL 6.3IN DIAMETER x 39.3IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE PEDESTAL	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	1094 NOMINAL LUMENS; 3000K LED; 80CRI	21.0	LIGMAN BENTON BOLLARD SERIES	
'SD1'	RECESSED LED DOWNLIGHT; 60-DEGREE DISTRIBUTION; NOMINAL 11.375IN LONG x 6.5IN WIDE x 6IN TALL	16-GAUGE BLACK COLD ROLLED STEEL	CLEAR ACRYLIC	RECESSED IN CEILING	CLEAR REFLECTOR W/ MATTE DIFFUSED FINISH	UL WET	INTEGRAL DRIVER; 0-10V DIMMING	750 NOMINAL LUMENS; 3000K LED; 80 CRI	7.5	GOTHAM ICO 4 SERIES	
'SE3'	WALL MOUNTED SITE/AREA LED; TYPE 3 DISTRIBUTION; NOMINAL 10.2IN WIDE x 7.7IN DEEP x 3.1IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	WALL MOUNTED @ 10'-0" AFF	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	2446 NOMINAL LUMENS; 3000K LED; 80CRI	21.0	LIGMAN VEKTER SERIES	
'SF1'	GRADE MOUNTED LED FLOODLIGHT W/ 45-DEGREE CAP; 31-DEGREE WIDE FLOOD DISTRIBUTION; NOMINAL 2.25IN DIAMETER x 7IN LONG	DIE CAST ALUMINUM	CLEAR TEMPERED GLASS W/ SOFT FOCUS LENS	GRADE MOUNTED	SATIN ALUMINUM	IP 66	REMOTE DRIVER; MAGNETIC LOW VOLTAGE DIMMING	409 NOMINAL LUMENS; 3000K LED; 80CRI	7.0	BK LIGHTING DELTA STAR LED SERIES	









Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.83	107.6	0.0	N.A.	N.A.
ENTRY MAIN	Illuminance	Fc	9.14	14.4	5.8	1.58	2.48
ENTRY SECONDARY	Illuminance	Fc	9.74	11.7	5.8	1.68	2.02
PARKING NORTH	Illuminance	Fc	1.12	1.8	0.5	2.24	3.60
PARKING SOUTH	Illuminance	Fc	1.00	2.0	0.3	3.33	6.67
PEDESTRIAN PATHWAY	Illuminance	Fc	1.08	3.3	0.2	5.40	16.50



4| APPENDIX

- | RBT Consultants Memorandum Regarding Trip Generation
- | Loading Berth Variance Request
- | Glazing Requirement Variance Request
- | Land Use Luminaire Cutsheets

TYPE II VARIANCE REQUESTS

Date: 09/06/2022

The Type II Design Review application includes this request for the following three variances.

1. **15.220.070 G.1 Windows.** On commercial building facades facing a public street, windows shall comprise a minimum of 40 percent of the ground floor facade.

Required: 40% glazing
Requested: 36% glazing

The building will house expanded medical, dental and pharmacy facilities. The clinic will remain operational during construction to continue to serve the community. The south façade, which faces E. Hancock Street, is the only public street-facing façade. The southwest portion of the façade includes medical exam rooms, a medical procedure room, private talk rooms and the pharmacy. The exam and procedure rooms require privacy and extensive solid wall space for wall-mounted equipment. The pharmacy also requires extensive solid wall space for pharmacy casework and shelving, and it has high security needs due to the risk of narcotics theft.

Additionally, the southwest wall is existing with no structural design documentation on file at the City. Onsite observations by the structural engineer indicate limited lateral capacity in the existing wall. Openings larger than what is currently designed would require extensive footing upgrades. This would create a hardship for maintaining clinic operations during construction. The construction phasing plan includes room-by-room exam room upgrades to minimize the number of unavailable exam rooms at any one time. Upgrading the footings along the entire southwest wall would preclude this phasing strategy.

To mitigate the limited glazing on the southwest wall, the areas of glazing along the remaining façade have been maximized in order to get as close as possible to the required 40%. The main building entry consists of full height aluminum storefront. The entry to the Wellness Center also includes full height aluminum storefront except where casework abuts the south wall. The existing storefront entry into the WIC tenant space is not part of the scope of work and will be retained as-is.

Additionally, the east, north and west facades provide more than 20% glazing area, which helps to mitigate the slightly reduced glazing area on the south facade. Further building articulation strategies have been employed such as colored box grid pilasters along the south arcade and pedestrian-friendly massing along the entire south façade.

Variance Criteria

- (A) Strict interpretation of this regulation would result in significant difficulty for the Owner, which is a non-profit primarily serving clients with financial hardship and other barriers to healthcare
 - a. Providing the full 40% glazing would result in exam rooms and pharmacy laid out in an inefficient manner in order to accommodate the extra glazing as well as the required wall-mounted equipment. This inefficiency would result in larger than

- necessary rooms with fewer exam rooms overall. This in turn reduces the number of patients the clinic can serve.
- b. Providing the full 40% glazing would result in reduced privacy for patients and providers. It would increase the security risk to the pharmacy due to potential narcotics theft.
 - c. Providing the full 40% glazing would result in extensive footing upgrades, which precludes the ability to keep the clinic open during construction. The outcome would be a lengthy lapse in healthcare options for the community that the clinic serves.
- (B) This project includes upgrades to an existing building with no drawings on file at the City. Structural engineering observations indicate that providing the required 40% glazing in the existing southwest wall will result in significant footing upgrades. This circumstance is unique to this particular building. It would not apply to new construction in the C-2 zone and would not necessarily apply to other existing buildings in the C-2 zone.
- (C) Literal enforcement of this regulation would result in inefficiencies in design due to technical requirements of the building's use as a clinic with exam rooms and other rooms that require solid walls to function properly. Other properties in the C-2 zone may have different programmatic needs and fewer conflicts with the glazing requirement and therefore would not be forced into inefficient room layouts with less-than-optimal functionality.
- (D) Granting this variance will not constitute a grant of special privilege. Medical and dental uses are allowed by right in the C-2 zone, and the slightly reduced glazing percentage is only needed because of these uses. The request is for a 4% reduction in required glazing in order to provide functional and secure medical and pharmacy spaces, not for special privileges.
- (E) Granting this variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.
- a. Granting this variance will improve public health, safety and welfare by allowing the expanded clinic services to come to fruition, and by allowing the clinic to remain operational during construction.
 - b. Granting this variance will not be materially injurious to neighboring properties. The average person will not see the difference in a 4% reduction in glazing. Additionally, the building was built under earlier codes, and the combined proposed improvements will bring the building and the site into compliance with current codes. The overall project includes reduction in impervious surface, the addition of buffer landscaping, improved on-site lighting, and the improvement of the existing west driveway. The site will have an accessible path, required bike parking and additional non-required amenities like a community garden. The building will be voluntarily sprinklered to improve life safety. The slight 4% reduction in the percentage of glazing is more than offset by the cumulative benefits of the overall project to the surrounding area.

2. 15.440.080 A Off-street loading. Buildings to be built or substantially altered which receive and distribute materials and merchandise by trucks shall provide and maintain off-street loading berths in sufficient number and size to adequately handle the needs of the particular use.

1. The following standards shall be used in establishing the minimum number of berths required:

Gross Floor Area of the Building in Square Feet	No. of Berths
Up to 10,000	1
10,000 and over	2

Required: 2 berths
Requested: 1 berth

The building will house expanded medical, dental and pharmacy facilities. The majority of the clinic's deliveries occur a few times per month, with a few that occur weekly and two that happen daily. The vehicles making deliveries are primarily the box-type trucks used by FedEx, UPS, etc., as well as passenger vans and cars. No big rigs or other large trucks are anticipated.

The breakdown of deliveries is as follows:

- Biohazards/Sharps containers: Once a week for 15-20 minutes.
- Lab coats: Once a week for 10-20 minutes
- Liquid nitrogen: Every 3 weeks for approximately 30 minutes
- Immunizations: Once a month for 5-10 minutes
- McKesson lab/room supplies: 2-3 times a month for 10-20 minutes
- Office Depot: once a month for 10-20 minutes
- VGMHC courier: 2 times a day for 10-15 minutes
- Lab specimens: Labcorp – at end of day (6-7pm) for 5-10 minutes

Additionally, the clinic has control of the number of daily deliveries and the times that they occur.

Variance Criteria

- (A) Strict interpretation of this regulation would result in unnecessary expense for the Owner, which is a non-profit primarily serving clients with financial hardship and other barriers to healthcare. Given that most of the deliveries for this facility occur on a weekly or longer basis and large trucks are not expected, the two-berth requirement is not necessary for this facility's operations. The money saved by not developing a second, unneeded loading berth will be put to better use if spent on the clinic building and services.
- (B) This project lies in the C-2 Neighborhood Commercial zone. This zone encompasses a wide variety of uses and not all uses have identical needs for loading. The conditions applicable for this specific site do not necessitate two loading berths.
- (C) Literal enforcement of this regulation would result in unnecessary expenditure for the Owner for the development of a loading facility that is not needed for the building to operate. Other properties in the C-2 zone may have different needs for loading and therefore the expenditure for loading facilities would not be considered an undue hardship.
- (D) Granting the variance will not constitute a grant of special privilege since it is based on the actual use and needs of the building. The request is to avoid a requirement to construct a facility that is inappropriate for the building's use, not to gain special privilege.
- (E) Granting the variance will be beneficial to public health, safety and welfare because the funds will instead be used for the clinic. Additionally, reducing the number of loading berths reduces the amount of impervious surface. This allows for more landscaped area, which has a larger environmental benefit beyond this specific site. Granting the variance will not be materially injurious to neighboring properties since the requested single loading berth is sufficient for the number of deliveries the building expects and no disruptions to adjacent properties will occur as a result of the reduced number of loading berths.

Land Use Luminaire Cutsheets

Virginia Garcia Clinic Full Design
2022-0109.01

Prepared for:

Scott Edwards Architecture

Prepared by:

Chris Roybal

September 1, 2022



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

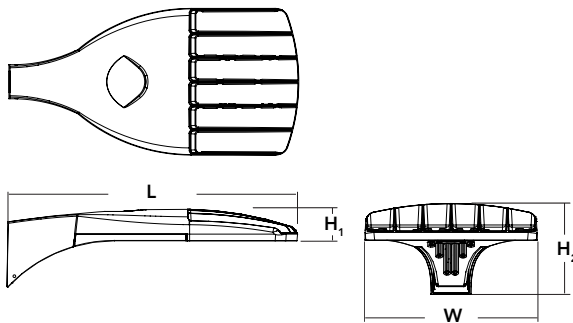
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 ¹ P4 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ TSW Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20} PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20} FAO Field adjustable output ²¹	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

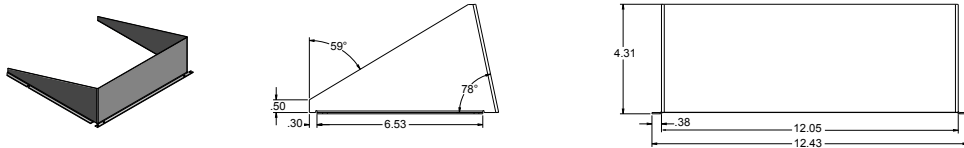
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSX0HS 40C U	House-side shield for P5,P6 and P7 ²²
DSX0DDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²¹
DSX0EGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [nLight Air 2](#)

NOTES

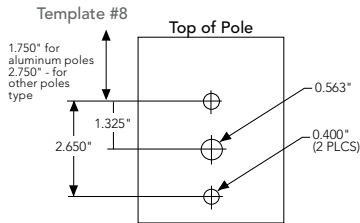
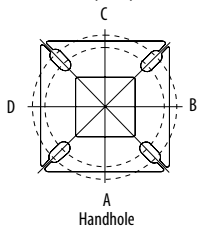
- HA not available with P4, P7, and P13.
- P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- XVOLT only suitable for use with P4, P7 and P13.
- XVOLT operates with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRH.
- Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Reference Controls Options table on page 4.
- Reference Motion Sensor Default Table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

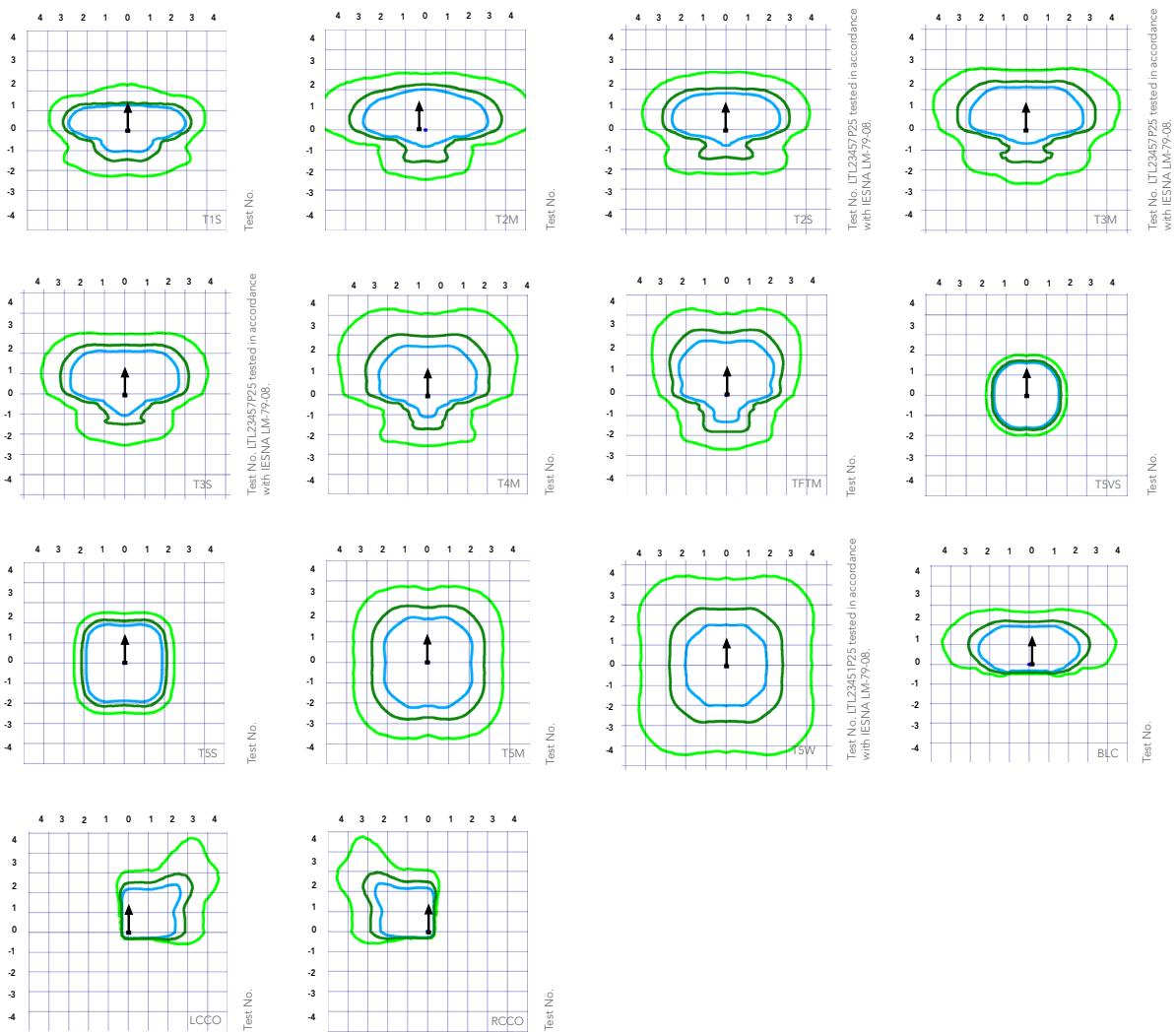
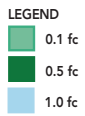
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544



Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 0 homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').



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DSX0-LED
 Rev. 07/19/21
 Page 3 of 8

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIRH1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FA0	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FA0 device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the nClarity Pro app.

Electrical Load

Performance Package	LED Count	Drive Current	Wattage	Current (A)						
				120	208	240	277	347	480	
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77
				P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077
T2S	5,564	1	0					2	114	5,994	1	0	2	122	6,070	2	0	2	124
T2M	5,593	1	0					1	114	6,025	1	0	1	123	6,102	1	0	1	125
T3S	5,417	1	0					2	111	5,835	1	0	2	119	5,909	2	0	2	121
T3M	5,580	1	0					2	114	6,011	1	0	2	123	6,087	1	0	2	124
T4M	5,458	1	0					2	111	5,880	1	0	2	120	5,955	1	0	2	122
TFTM	5,576	1	0					2	114	6,007	1	0	2	123	6,083	1	0	2	124
TSVS	5,799	2	0					0	118	6,247	2	0	0	127	6,327	2	0	0	129
TSS	5,804	2	0					0	118	6,252	2	0	0	128	6,332	2	0	1	129
TSM	5,789	3	0					1	118	6,237	3	0	1	127	6,316	3	0	1	129
TSW	5,834	3	0					2	119	6,285	3	0	2	128	6,364	3	0	2	130
BLC	4,572	1	0					1	93	4,925	1	0	1	101	4,987	1	0	1	102
LCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76
RCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76
P3	20	1050	71W					T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545
				T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73
				P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681
T2S	9,780	2	0					2	106	10,536	2	0	2	115	10,669	2	0	2	116
T2M	9,831	2	0					2	107	10,590	2	0	2	115	10,724	2	0	2	117
T3S	9,521	2	0					2	103	10,256	2	0	2	111	10,386	2	0	2	113
T3M	9,807	2	0					2	107	10,565	2	0	2	115	10,698	2	0	2	116
T4M	9,594	2	0					2	104	10,335	2	0	3	112	10,466	2	0	3	114
TFTM	9,801	2	0					2	107	10,558	2	0	2	115	10,692	2	0	2	116
TSVS	10,193	3	0					1	111	10,981	3	0	1	119	11,120	3	0	1	121
TSS	10,201	3	0					1	111	10,990	3	0	1	119	11,129	3	0	1	121
TSM	10,176	4	0					2	111	10,962	4	0	2	119	11,101	4	0	2	121
TSW	10,254	4	0					3	111	11,047	4	0	3	120	11,186	4	0	3	122
BLC	8,036	1	0					2	87	8,656	1	0	2	94	8,766	1	0	2	95
LCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71
RCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71



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DSXO-LED
 Rev. 07/19/21
 Page 5 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130
				TFIM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138
				T5S	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138
				T5M	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138
				TSW	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151
T2S	14,789	3	0					3	110	15,932	3	0	3	119	16,134	3	0	3	120
T2M	14,865	3	0					3	111	16,014	3	0	3	120	16,217	3	0	3	121
T3S	14,396	3	0					3	107	15,509	3	0	3	116	15,705	3	0	3	117
T3M	14,829	2	0					3	111	15,975	3	0	3	119	16,177	3	0	3	121
T4M	14,507	2	0					3	108	15,628	3	0	3	117	15,826	3	0	3	118
TFIM	14,820	2	0					3	111	15,965	3	0	3	119	16,167	3	0	3	121
TSVS	15,413	4	0					1	115	16,604	4	0	1	124	16,815	4	0	1	125
T5S	15,426	3	0					1	115	16,618	4	0	1	124	16,828	4	0	1	126
T5M	15,387	4	0					2	115	16,576	4	0	2	124	16,786	4	0	2	125
TSW	15,506	4	0					3	116	16,704	4	0	3	125	16,915	4	0	3	126
BLC	12,151	1	0					2	91	13,090	1	0	2	98	13,255	1	0	2	99
LCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
RCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
P7	40	1300	166W					T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110
				TFIM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116
				T5S	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117
				T5M	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116
				TSW	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68
				RCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68



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DSX0-LED
 Rev. 07/19/21
 Page 6 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138				
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138				
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140				
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136				
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140				
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137				
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141				
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142				
				T5S	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141				
				T5M	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141				
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139				
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116				
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83				
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83				
				P11	30	700	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130
								T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129
T2M	8,699	3	0					3	121	9,371	3	0	3	130	9,490	3	0	3	132				
T3S	8,412	3	0					3	117	9,062	3	0	3	126	9,177	3	0	3	127				
T3M	8,694	3	0					3	121	9,366	3	0	3	130	9,484	3	0	3	132				
T4M	8,530	3	0					3	118	9,189	3	0	3	128	9,305	3	0	3	129				
TFTM	8,750	3	0					3	122	9,427	3	0	3	131	9,546	3	0	3	133				
TSVS	8,812	3	0					0	122	9,493	3	0	0	132	9,613	3	0	0	134				
T5S	8,738	3	0					1	121	9,413	3	0	1	131	9,532	3	0	1	132				
T5M	8,736	3	0					2	121	9,411	3	0	2	131	9,530	3	0	2	132				
TSW	8,657	4	0					2	120	9,326	4	0	2	130	9,444	4	0	2	131				
BLC	7,187	3	0					3	100	7,742	3	0	3	108	7,840	3	0	3	109				
LCCO	5,133	1	0					2	71	5,529	1	0	2	77	5,599	1	0	2	78				
RCCO	5,126	3	0					3	71	5,522	3	0	3	77	5,592	3	0	3	78				
P12	30	1050	104W					T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127
								T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129				
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125				
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129				
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126				
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130				
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131				
				T5S	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130				
				T5M	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130				
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128				
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107				
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76				
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76				
				P13	30	1300	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123
								T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122
T2M	14,614	3	0					3	114	15,744	4	0	4	123	15,943	4	0	4	125				
T3S	14,132	4	0					4	110	15,224	4	0	4	119	15,417	4	0	4	120				
T3M	14,606	4	0					4	114	15,735	4	0	4	123	15,934	4	0	4	124				
T4M	14,330	4	0					4	112	15,438	4	0	4	121	15,633	4	0	4	122				
TFTM	14,701	4	0					4	115	15,836	4	0	4	124	16,037	4	0	4	125				
TSVS	14,804	4	0					1	116	15,948	4	0	1	125	16,150	4	0	1	126				
T5S	14,679	3	0					1	115	15,814	3	0	1	124	16,014	3	0	1	125				
T5M	14,676	4	0					2	115	15,810	4	0	2	124	16,010	4	0	2	125				
TSW	14,544	4	0					3	114	15,668	4	0	3	122	15,866	4	0	3	124				
BLC	7,919	3	0					3	62	8,531	3	0	3	67	8,639	3	0	3	67				
LCCO	5,145	1	0					2	40	5,543	1	0	2	43	5,613	1	0	2	44				
RCCO	5,139	3	0					3	40	5,536	3	0	3	43	5,606	3	0	3	44				



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DSXO-LED
 Rev. 07/19/21
 Page 7 of 8

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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DSX0-LED
Rev. 07/19/21
Page 8 of 8



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

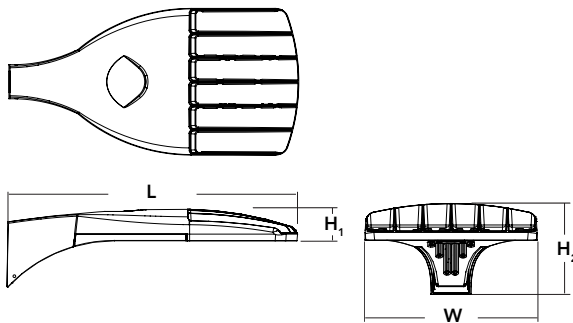
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

- EPA: 0.95 ft² (0.09 m²)
- Length: 26" (66.0 cm)
- Width: 13" (33.0 cm)
- Height₁: 3" (7.62 cm)
- Height₂: 7" (17.8 cm)
- Weight (max): 16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 ¹ P4 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ TSW Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PERS Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20} PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20} FAO Field adjustable output ²¹	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



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DSX0-LED
 Rev. 07/19/21
 Page 1 of 8

Ordering Information

Accessories

Ordered and shipped separately.

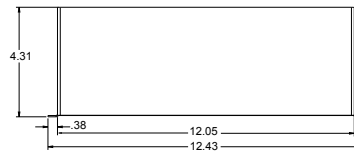
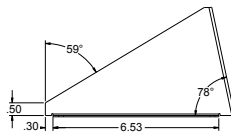
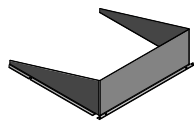
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSX0HS 40C U	House-side shield for P5,P6 and P7 ²²
DSX0DDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²⁵
DSX0EGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [nLight Air 2](#)

NOTES

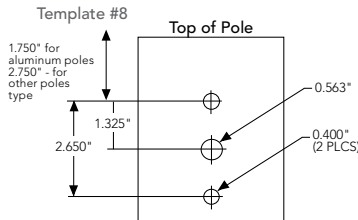
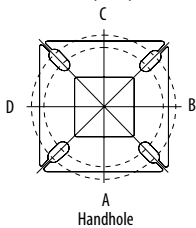
- HA not available with P4, P7, and P13.
- P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- XVOLT only suitable for use with P4, P7 and P13.
- XVOLT operates with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN.
- Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Reference Controls Options table on page 4.
- Reference Motion Sensor Default Table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIRH1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FA0	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FA0 device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the nClarity Pro app.

Electrical Load

Performance Package	LED Count	Drive Current	Wattage	Current (A)						
				120	208	240	277	347	480	
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125				
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125				
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126				
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122				
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126				
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123				
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126				
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131				
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131				
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130				
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131				
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103				
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124
								T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124
T2M	5,593	1	0					1	114	6,025	1	0	1	123	6,102	1	0	1	125				
T3S	5,417	1	0					2	111	5,835	1	0	2	119	5,909	2	0	2	121				
T3M	5,580	1	0					2	114	6,011	1	0	2	123	6,087	1	0	2	124				
T4M	5,458	1	0					2	111	5,880	1	0	2	120	5,955	1	0	2	122				
TFTM	5,576	1	0					2	114	6,007	1	0	2	123	6,083	1	0	2	124				
TSVS	5,799	2	0					0	118	6,247	2	0	0	127	6,327	2	0	0	129				
TSS	5,804	2	0					0	118	6,252	2	0	0	128	6,332	2	0	1	129				
TSM	5,789	3	0					1	118	6,237	3	0	1	127	6,316	3	0	1	129				
TSW	5,834	3	0					2	119	6,285	3	0	2	128	6,364	3	0	2	130				
BLC	4,572	1	0					1	93	4,925	1	0	1	101	4,987	1	0	1	102				
LCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
RCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
P3	20	1050	71W					T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120
								T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121				
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117				
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121				
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118				
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120				
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125				
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125				
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125				
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126				
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99				
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116
								T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116
T2M	9,831	2	0					2	107	10,590	2	0	2	115	10,724	2	0	2	117				
T3S	9,521	2	0					2	103	10,256	2	0	2	111	10,386	2	0	2	113				
T3M	9,807	2	0					2	107	10,565	2	0	2	115	10,698	2	0	2	116				
T4M	9,594	2	0					2	104	10,335	2	0	3	112	10,466	2	0	3	114				
TFTM	9,801	2	0					2	107	10,558	2	0	2	115	10,692	2	0	2	116				
TSVS	10,193	3	0					1	111	10,981	3	0	1	119	11,120	3	0	1	121				
TSS	10,201	3	0					1	111	10,990	3	0	1	119	11,129	3	0	1	121				
TSM	10,176	4	0					2	111	10,962	4	0	2	119	11,101	4	0	2	121				
TSW	10,254	4	0					3	111	11,047	4	0	3	120	11,186	4	0	3	122				
BLC	8,036	1	0					2	87	8,656	1	0	2	94	8,766	1	0	2	95				
LCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				
RCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				



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DSXO-LED
 Rev. 07/19/21
 Page 5 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130
				TF1M	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138
				T5S	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138
				T5M	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138
				T5W	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151
T2S	14,789	3	0					3	110	15,932	3	0	3	119	16,134	3	0	3	120
T2M	14,865	3	0					3	111	16,014	3	0	3	120	16,217	3	0	3	121
T3S	14,396	3	0					3	107	15,509	3	0	3	116	15,705	3	0	3	117
T3M	14,829	2	0					3	111	15,975	3	0	3	119	16,177	3	0	3	121
T4M	14,507	2	0					3	108	15,628	3	0	3	117	15,826	3	0	3	118
TF1M	14,820	2	0					3	111	15,965	3	0	3	119	16,167	3	0	3	121
TSVS	15,413	4	0					1	115	16,604	4	0	1	124	16,815	4	0	1	125
T5S	15,426	3	0					1	115	16,618	4	0	1	124	16,828	4	0	1	126
T5M	15,387	4	0					2	115	16,576	4	0	2	124	16,786	4	0	2	125
T5W	15,506	4	0					3	116	16,704	4	0	3	125	16,915	4	0	3	126
BLC	12,151	1	0					2	91	13,090	1	0	2	98	13,255	1	0	2	99
LCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
RCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
P7	40	1300	166W					T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110
				TF1M	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116
				T5S	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117
				T5M	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116
				T5W	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68
				RCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68



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DSX0-LED
 Rev. 07/19/21
 Page 6 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138				
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138				
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140				
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136				
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140				
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137				
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141				
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142				
				T5S	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141				
				T5M	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141				
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139				
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116				
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83				
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83				
				P11	30	700	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130
								T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129
T2M	8,699	3	0					3	121	9,371	3	0	3	130	9,490	3	0	3	132				
T3S	8,412	3	0					3	117	9,062	3	0	3	126	9,177	3	0	3	127				
T3M	8,694	3	0					3	121	9,366	3	0	3	130	9,484	3	0	3	132				
T4M	8,530	3	0					3	118	9,189	3	0	3	128	9,305	3	0	3	129				
TFTM	8,750	3	0					3	122	9,427	3	0	3	131	9,546	3	0	3	133				
TSVS	8,812	3	0					0	122	9,493	3	0	0	132	9,613	3	0	0	134				
T5S	8,738	3	0					1	121	9,413	3	0	1	131	9,532	3	0	1	132				
T5M	8,736	3	0					2	121	9,411	3	0	2	131	9,530	3	0	2	132				
TSW	8,657	4	0					2	120	9,326	4	0	2	130	9,444	4	0	2	131				
BLC	7,187	3	0					3	100	7,742	3	0	3	108	7,840	3	0	3	109				
LCCO	5,133	1	0					2	71	5,529	1	0	2	77	5,599	1	0	2	78				
RCCO	5,126	3	0					3	71	5,522	3	0	3	77	5,592	3	0	3	78				
P12	30	1050	104W					T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127
								T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129				
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125				
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129				
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126				
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130				
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131				
				T5S	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130				
				T5M	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130				
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128				
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107				
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76				
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76				
				P13	30	1300	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123
								T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122
T2M	14,614	3	0					3	114	15,744	4	0	4	123	15,943	4	0	4	125				
T3S	14,132	4	0					4	110	15,224	4	0	4	119	15,417	4	0	4	120				
T3M	14,606	4	0					4	114	15,735	4	0	4	123	15,934	4	0	4	124				
T4M	14,330	4	0					4	112	15,438	4	0	4	121	15,633	4	0	4	122				
TFTM	14,701	4	0					4	115	15,836	4	0	4	124	16,037	4	0	4	125				
TSVS	14,804	4	0					1	116	15,948	4	0	1	125	16,150	4	0	1	126				
T5S	14,679	3	0					1	115	15,814	3	0	1	124	16,014	3	0	1	125				
T5M	14,676	4	0					2	115	15,810	4	0	2	124	16,010	4	0	2	125				
TSW	14,544	4	0					3	114	15,668	4	0	3	122	15,866	4	0	3	124				
BLC	7,919	3	0					3	62	8,531	3	0	3	67	8,639	3	0	3	67				
LCCO	5,145	1	0					2	40	5,543	1	0	2	43	5,613	1	0	2	44				
RCCO	5,139	3	0					3	40	5,536	3	0	3	43	5,606	3	0	3	44				



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DSXO-LED
 Rev. 07/19/21
 Page 7 of 8

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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DSX0-LED
Rev. 07/19/21
Page 8 of 8

UBE-20011

Benton 4 Light Column



20w COB
1102 Lumens

76° Optic

IP65
Suitable for wet locations

IK08
Impact Resistant [Vandal Resistant]

Weight 45.6 lbs

Construction

Aluminum
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

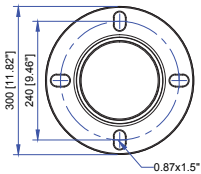
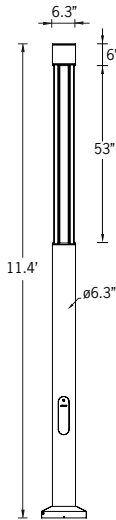
Modern urban lighting furniture. Fashionable contemporary structures creating glare-free soft illumination patterns and available with optional top-mounted adjustable accent spotlights.

A stylish Dark Sky Compliant round high performance light column with downward light distribution using LED lamps. This light column offers optimal visual comfort through glare control by utilizing a controlled optics designed by Ligman. These columns have a round design providing a unique wide light distribution, offering an architecturally appealing clover leaf pattern on the paving. The internal sides of the supporting pillars are accented by light from the LED.

Color temperature 2700K, 3000K, 3500K and 4000K. The minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian areas, precincts, building surrounds, shopping centers, squares and parks. The Benton Column comes standard with a unique waterproof internal driver housing compartment that is situated at the top of the pole to stop water and dust from entering the electrical components. This fixture is supplied completely wired with powercord and waterproof gland from the driver enclosure to the base of the column to ensure quick trouble-free installation.

Custom column heights are available to suit customer design requirements, please specify. This luminaire is supplied complete with anchor bolts and top quality die-cast aluminum anchor bolt cover. Reduced custom wattages and dimming can be provided to suit Title 24 and customer requirements. (Specify total watt requirement per fixture)

Designed to complement the Benton bollard UBE-10001
• NOTE: For the square version of the Benton, please see the Vancouver Light Column and Bollard



Mounting Detail



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UBE-20011

Benton 4 Light Column



PROJECT		DATE	
----------------	--	-------------	--

QUANTITY		TYPE		NOTE	
-----------------	--	-------------	--	-------------	--

ORDERING EXAMPLE || UBE - 20011 - 20w - W30 - 02 - 120/277v - Options

UBE-20011				
LAMP	LED COLOR	FINISH COLOR		VOLTAGE
20w COB 1102 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL		120/277v Other - Specify

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ADDITIONAL OPTIONS

- | | |
|--|--|
| NAT - Natatorium Rated
DIM - 0-10v Dimming
HGT - Custom Height (Specify)
GFCI - GFCI Box
HSS - House Side Shield | DICHROIC COLOR FILTERS
RD - Red Color Filter
BL - Blue Color Filter
AM - Amber Color Filter
CR - Green Color Filter |
|--|--|

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Benton Product Family



Benton 1

• UBE-10001-21w-1094lm [Ø6.3"]



Benton 2

• UBE-10011-26w-1642lm [Ø8.8"]



Benton 3

• UBE-20001-40w-2486lm [Ø8.8"-14.7"]



Benton 4

• UBE-20011-20w-1102lm [Ø6.3"-11.4"]



Benton 5

• UBE-20021-40w/21w-4177lm [Ø8.8"]
• UBE-20022-40w/2x21w-5865lm [Ø8.8"]
• UBE-20023-40w/3x21w-7553lm [Ø8.8"]



Benton 5

• UBE-70001-14w-615lm [Ø6.3"]



Benton 6

• UBE-70011-21w-1109lm [Ø8.8"]

UBE-10001

Benton 1 Bollard



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U1 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Modern urban lighting furniture.

Fashionable contemporary structures creating glare-free soft illumination patterns

A stylish Dark Sky Compliant round high performance bollard with downward light distribution using LED lamps. This light column offers optimal visual comfort through glare control by utilizing a controlled optics designed by Ligman. These columns have a round design providing a unique wide light distribution, offering an architecturally appealing clover leaf pattern on the paving. The internal sides of the supporting pillars are accented by light from the LED.

Color temperature 2700K, 3000K, 3500K and 4000K. The minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian areas, precincts, building surrounds, shopping centers, squares and parks. The Benton Bollard comes standard with a unique waterproof internal driver housing compartment that is situated at the top of the pole to stop water and dust from entering the electrical components. This fixture is supplied completely wired with powercord and waterproof gland from the driver enclosure to the base of the bollard to ensure quick trouble-free installation.

Custom bollard heights are available to suit customer design requirements, please specify.

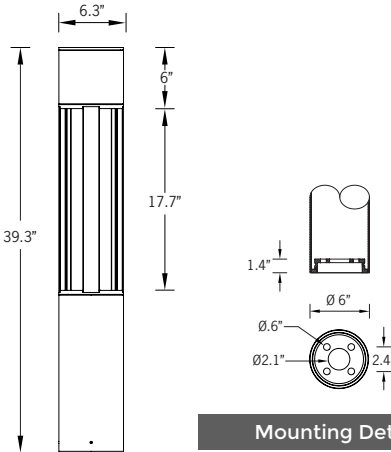
This luminaire is supplied complete with anchor bolts and top quality die-cast aluminum anchor bolt cover. Reduced custom wattages and dimming can be provided to suit Title 24 and customer requirements. (Specify total watt requirement per fixture)
Designed to complement the Benton Light Column.

Additional Options (Consult Factory For Pricing)



A91591
Lockable In Use GFCI
Receptacle Outlet Box

21w COB 1094 Lumens | 76° Optic
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 15.4 lbs



Mounting Detail



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UBE-10001

Benton 1 Bollard



PROJECT		DATE	
----------------	--	-------------	--

QUANTITY		TYPE		NOTE	
-----------------	--	-------------	--	-------------	--

ORDERING EXAMPLE || UBE - 10001 - 21w - W30 - 02 - 120/277v - Options

UBE-10001				
LAMP	LED COLOR	FINISH COLOR	VOLTAGE	
21w COB 1094 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- NAT - Natatorium Rated
- DIM - 0-10v Dimming
- HGT - Custom Bollard Height
- GFCI - GFCI Box
- A91591 - Lockable In Use GFCI Receptacle Outlet Box

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Benton Product Family



Benton 1

• UBE-10001-21w-1094lm [Ø6.3"]



Benton 2

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Benton 3

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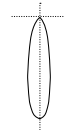
Benton 5

• UBE-70001-14w-615lm [Ø6.3"]



Benton 6

• UBE-70011-21w-1109lm [Ø8.8"]



Luminaire Type:

Catalog Number:



High Center Beam Round Downlight 4"

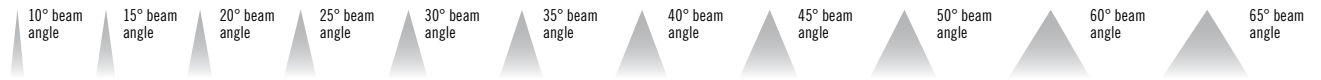


OVERVIEW

Feature Set

- Eleven optimized distribution patterns allow designers to achieve tailored objectives
- Bounding Ray™ optical design
- 45° Cutoff to source and source image
- Field interchangeable optic
- Driver and LED light engine fully serviceable from below ceiling
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- ENERGY STAR® Certified product

Distribution



Superior Performance

Nominal Lumens	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000
Delivered	703	807	1062	1545	1977	2419	2920	3548	3982	4419	4848
Wattage	6.7	7.5	9.8	15.1	21.5	26.5	34.1	33.8	39.5	46.2	53.2
Efficacy	104	108	108	102	92	91	86	105	101	96	91

*Based on 3500K 80CRI 35D AR LSS

COMPLEMENTARY PRODUCTS

Coordinated Apertures | Multiple Layers of Light



General Illumination Layer | EVO



High Center Beam Layer | Incito



EVO + Incito — Multiple Layers of Light

Downlight Open Wallwash Lensed Wallwash Cylinder	Downlight Adjustable Lensed Wallwash Cylinder	<p>Core</p> <p>Healthcare</p> <p>Special Applications</p>
MRI Surgical Suite Patient Room		
Dynamic Food Service Vandal Clean Room Shower		



4" High Center Beam Round Downlight

ORDERING INFORMATION

A+ Capable options indicated by this color background.

Design2Ship Quick Ship Program: Options in green text qualify for Design2Ship — 5 business days from order entry to ship. Refer to Design2Ship Brochure for complete program details. **Maximum Order Quantity: 50 units.**

Luminaire Type:

Catalog Number:

EXAMPLE: IC04 35/15 AR LSS 35D 277 EZ1

Series	Color Temperature	Lumens	Reflector Color	Flange Type	Reflector Finish	Beam
IC04 Incito 4in Round Downlight	27/ 2700 K	05 500 lumens	AR Clear	(blank) Self-flanged	LSS Semi-specular	10D ² 10° beam angle
	30/ 3000 K	07 750 lumens	PR Pewter	FL Flangeless	LD Matte diffuse	15D 15° beam angle
	35/ 3500 K	10 1000 lumens	WTR Wheat			20D 20° beam angle
	40/ 4000 K	15 1500 lumens	GR Gold			25D 25° beam angle
	50/ 5000 K	20 2000 lumens	WR ¹ White painted			30D 30° beam angle
		25 2500 lumens	BR ¹ Black			35D 35° beam angle
		30 3000 lumens	BZR ¹ Dark Bronze painted			40D 40° beam angle
		35 3500 lumens				45D 45° beam angle
		40 4000 lumens	WRAMF ¹ White Anti-microbial			50D 50° beam angle
		45 4500 lumens				60D 60° beam angle
		50 5000 lumens				65D 65° beam angle

Voltage	Driver	Control Interface	Options
120 120V	GZ10 0-10V driver dims to 10%	(blank)	SF Single fuse.
277 277V	GZ1 0-10V driver dims to 1%	NLT⁷ nLight [®] dimming pack.	90CRI High CRI (90+)
347 ^{3,4} 347V	EZ10 eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	NLTER^{7,8} nLight [®] dimming pack for fixtures on emergency circuit	TRW⁹ White Painted Flange
	EZ1 eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	NLTAIR2 nLight [®] AIR dimming pack.	TRBL¹⁰ Black Painted Flange
	EZB eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	NLTAIRER2⁹ nLight [®] AIR dimming pack for fixtures on emergency circuit	ELR¹¹ Batterypack with remote test switch
	EDAB⁶ eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	NLTAIREM2 nLight [®] AIR dimming pack for fixtures on emergency circuit	CP¹² Chicago Plenum
	EDXB^{5,6} eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. MIN:1000 MAX:4000		N80 nLight Lumen Compensation
	ECOS2⁸ Lutron [®] Hi-Lume [®] 2-wire forward-phase driver. 120V Only. Minimum dimming level 1%. Min: 1000LM; Max: 4000LM.		RRL RELOC [®] Ready Luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Available only with RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www.acuitybrands.com for RELOC [®] product specifications. Above ceiling access required.
	ECOD⁶ Lutron [®] EcoSystem [®] digital Hi-Lume 1% soft-on, fade to black. Min: 500LM; Max: 750LM.		

ACCESSORIES — order as separate catalog numbers (shipped separately)	
OPTC4 XXD	Additional optics for field installation. Replace "XX" with beam angle.

ORDERING NOTES	
1. Not Available with Finishes.	9. For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with WR (White Reflector). Not available with FL.
2. Only available 1500lm and below.	10. For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with BR (Black Reflector). Not available with FL.
3. Not available with ELR emergency option.	11. Must specify 120 or 277. Not available with 347. Require 13 1/2" above ceiling access for use with ELR option.
4. Supplied with factory installed step down transformer.	12. Only available up to 4500 lumens. Specify 120 or 277.
5. Includes terminator resistor.	
6. Not Available with Control Interfaces.	
7. Must specify 120 or 277.	
8. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.	



Optical and Trim Assembly

Fully serviceable and upgradeable lensed LED light engine suitable for field maintenance or service from above or below the ceiling. Optical design is a Bounding Ray™ design with 45° cutoff to source and source image. Top down flash characteristic for superior glare control. Flangeless trim option includes proprietary Gotham mud ring enabling seamless integration into drywall applications. Mud ring ships separately.

Electrical

The luminaire shall operate from a 50 or 60 Hz ± 3 Hz AC line over a voltage ranging from 120 VAC to 277 VAC. Support 347V via fixture-mounted stepdown transformer. The fluctuations of line voltage shall have no visible effect on the luminous output.

The luminaire shall have a power factor of 90% or greater at all standard operating voltages and full luminaire output.

Sound Rated A+. Driver shall be >80% efficient at full load across all input voltages.

Input wires shall be 18AWG, 300V minimum solid copper.

Controls

Luminaire shall be equipped with interface for nLight wired or nLight AIR networks with integral power supply as per specification.

Emergency

Luminaires supplied with a battery pack comply with NFPA 101 (Life Safety code) and deliver constant light output throughout the 90 minutes of code required emergency operation period when there is a normal AC power loss with remote test switch available.

Dimming

The luminaire shall be capable of continuous dimming without perceivable stroboscopic flicker as measured by flicker index (ANSI/IES RP-16-10) over a range of 100 – 10%, 100 – 1.0% or 100 – 0.1% of rated lumen output with a smooth shut off function to step to 0%.

LED drivers shall conform to IEEE P1789 standards. Alternatively, manufacturers must demonstrate conformance with product literature and testing which demonstrates this performance. Systems that do not meet IEEE P1789 will not be considered.

Driver is inaudible in 24dB environment, and stable when input voltage conditions fluctuate over what is typically experienced in a commercial environment.

Construction

Light engine and driver are accessible from above or below ceiling.

16-gauge black painted steel mounting frame with mounting bars included.

Post-installation adjustment possible from above or below ceiling.

Galvanized steel junction box with hinged access covers and spring latch. Three combination 1/2"-3/4" and one 1/2" knockout for straight-through conduit runs.

Capacity: 8 (4 in, 4 out) No. 12 AWG conductors rated for 90°C.

Accommodates up to 1½"-thick ceilings.

Listings

Fixtures are CSA Certified to meet US and Canadian Standards: All fixtures manufactured in strict accordance with the appropriate and current requirements of the "Standards for Safety" to UL, wet location covered ceiling.

Luminaire configurations are Energy Star certified through testing in EPA-recognized laboratories, with the results reviewed by an independent, accredited certification organization. Visit www.energystar.gov for specific configurations listed.

IC-rated up to 1000 lumens.

Photometrics

LEDs tested to LM-80 standards. Measured by IESNA Standard LM-79-08 in an accredited lab. Lumen output shall not decrease by more than 30% over the minimum operational life of 60,000 hours.

Color appearance from luminaire to luminaire of the same type and in all configurations, shall be consistent both initially and at 6,000 hours and operate within a tolerance of <2.5 MacAdam ellipse as defined by the center of the quadrangles defined in ANSI C78.377-2015.

Buy American

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT.

Please refer to www.acuitybrands.com/buy-american for additional information.

Warranty

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note:

Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight® control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

4" High Center Beam Round Downlight

Tables of Use

ICO - eldoLED Driver Default Dimming Curve			
Nomenclature	Min Dimming	Driver Dim Curve	Control Dim Curve
EZ10	10%	Linear	Linear/Logarithmic
EZ1	1%	Linear	Linear/Logarithmic
EZB	<1%	Logarithmic	Linear
EDAB	<1%	Logarithmic*	Linear
EDXB	<1%	Square	Linear

*Changable through DALI controller

Lumen Output Multiplier		
CRI	CCT	Multiplier
80	2700K	0.916
	3000K	0.948
	3500K	1
	4000K	1.032
	5000K	1.1
90	2700K	0.748
	3000K	0.8
	3500K	0.838
	4000K	0.845
	5000K	0.945

Reflector Finish Multiplier	
Reflector Finish	Multiplier
LS - Specular	1
LSS - Semi Specular	0.956
WR - White	0.87
LD - Matte Diffuse	0.85
BR - Black	0.73
BZR - Bronze	0.73

Driver		Control Provided				
Nomenclature	Description	NLT	NLTER	NLTAIR2	NLTAIREM2	NLTAIRER2
GZ10	0-10V driver dims to 10%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
GZ1	0-10V driver dims to 1%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZ10	eldoLED 0-10V EC0drive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZ1	eldoLED 0-10V EC0drive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZB	eldoLED 0-10V SOLOdrive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2

Marked Spacing in Inches 25°C Ambient			
Lumen Package	Fixed Center to Center MIN	Fixture Center to Building Member MIN	Space Above Fixture
5000	24	12	0.5
3500-4500 (GZ1/GZ10 Only)	24	12	0.5
4000-4500 w/CP (EZ1/EZ10 Only)	24	12	0.5
3500-4500 w/CP (GZ1/GZ10 Only)	24	12	0.5

ELR Availability/Compatibility – Initial Lumens			
LED			Initial Lumens
Product	Lumens	Watts	ELR
ICO4	500-5000	6-53	630

DIMENSIONAL DATA

*Dimensions in inches [centimeters]

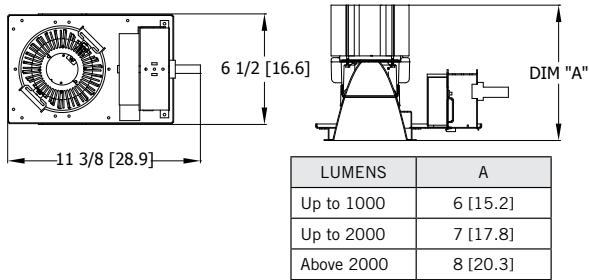
Aperture: 4-5/16 [11]

Ceiling Opening: 5-1/8 [13] self-flanged

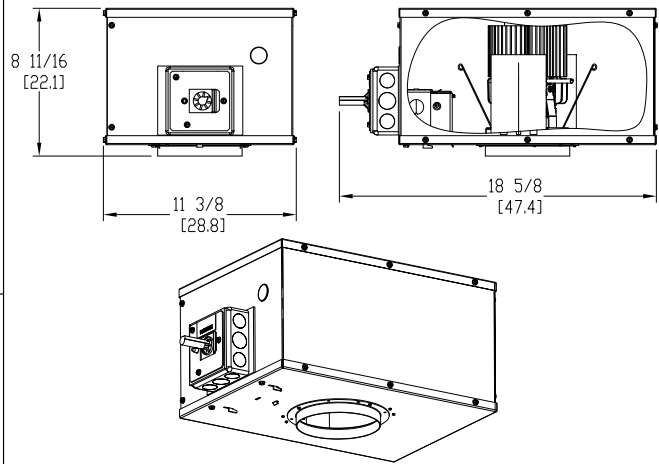
Overlap Trim: 5-7/16 [13.8]

4-5/8 [11.7] flangeless

Standard



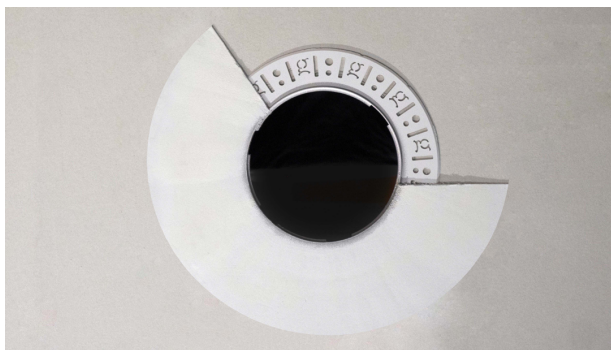
Chicago Plenum



Flangeless



Partially finished mud ring, showing cross-section detail.



An ICO downlight requires only approximately 3" of plaster to finish.



ICO with flangeless trim

Flangeless Installation

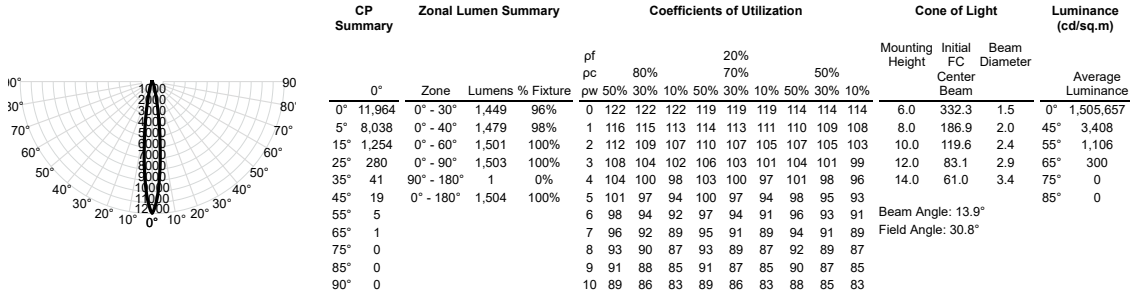
Gotham's flangeless option utilizes a micro-thin polymer mud ring that minimizes the amount of drywall compound required to finish the ceiling. The end result is a virtually undetectable flangeless downlight installation.

The polymer mud ring is installed independent of the of the recessed frame, therefore floating with the ceiling. This innovation minimizes any surface cracks during reflector installation, ceiling movement and any future service to the recessed frame, wiring, electronics, etc.

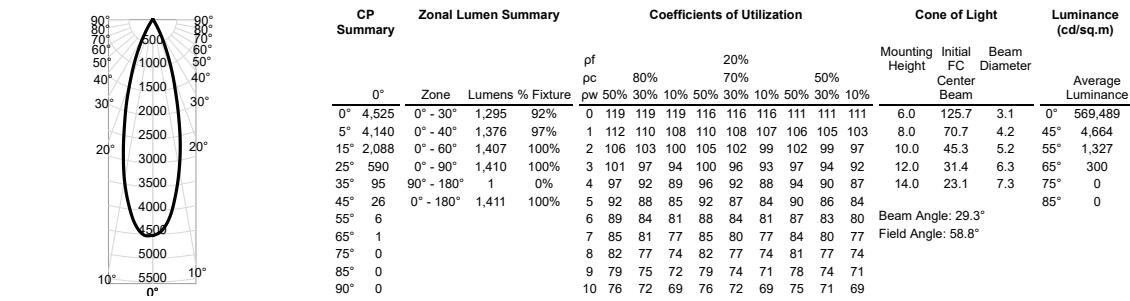
Photometry

CONSULT WWW.GOTHAMLIGHTING.COM FOR ADDITIONAL PHOTOMETRY

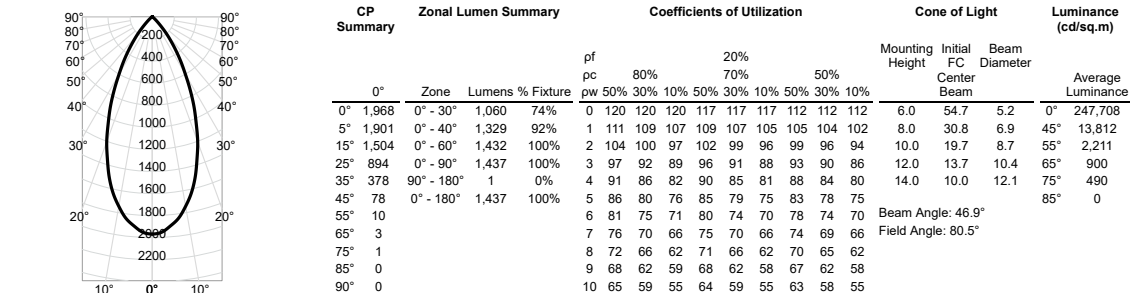
IC04 35/15 AR LSS 15D Input Watts: 15.1, Delivered Lumens: 1504, LPW: 99.6, S/MH: 0.24, Test No: ISF 192654P563



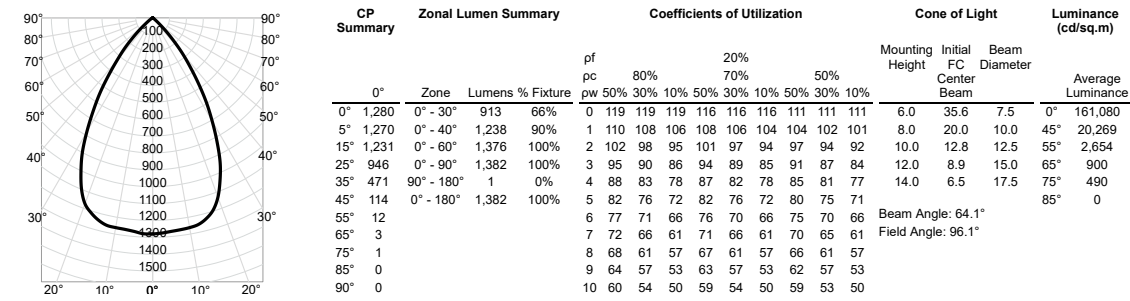
IC04 35/15 AR LSS 30D Input Watts: 15.1, Delivered Lumens: 1411, LPW: 93.4, S/MH: 0.47, Test No: ISF 192657P563



IC04 35/15 AR LSS 45D Input Watts: 15.1, Delivered Lumens: 1437, LPW: 95.2, S/MH: 0.73, Test No: ISF 192660P563



IC04 35/15 AR LSS 65D Input Watts: 15.1, Delivered Lumens: 1382, LPW: 91.5, S/MH: 0.98, Test No: ISF 192663P563



nLIGHT AIR

nLight® AIR is the ideal solution for retrofit or new construction spaces where adding communication wiring is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each EVO Luminaire ordered with the NLTAIR option. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.

nLight® AIR Control Accessories

Order as separate catalog number. Visit [nLight AIR](#).

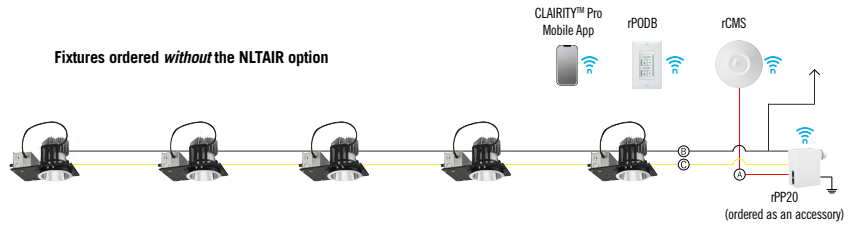
Wall Switches	Model Number
On/Off single pole	rPODB (color) G2
On/Off two pole	rPODB 2P (color) G2
On/Off & raise/lower single pole	rPODB DX (color) G2
On/Off & raise/lower two pole	rPODB 2P DX (color) G2

nLight® AIR Control Accessories (cont.)

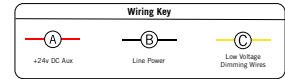
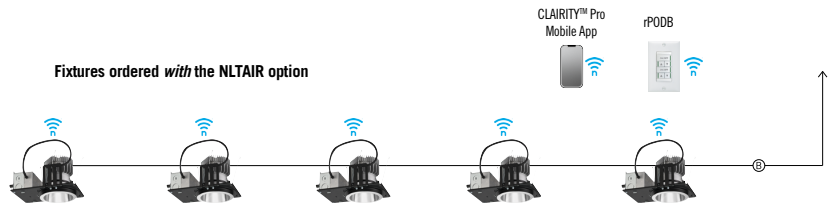
Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	rCMS 9 / rCMS PDT 9
Large motion 360°, ceiling	rCMS 10 / rCMS PDT 10

Possibilities for nLight® AIR

Fixtures ordered without the NLTAIR option



Fixtures ordered with the NLTAIR option



nLIGHT

nLight® Wired The nLight® solution is a digital networked lighting control system that provides both energy savings and increased user configurability by cost effectively integrating time-based, daylight-based, sensor-based and manual lighting control schemes.

nLight® Wired Control Accessories

Order as separate catalog number. Visit [nLight](#).

Wall Switches	Model Number
On/Off single pole	nPODM (XX)
On/Off two pole	nPODM 2P (XX)
On/Off & raise/lower single pole	nPOD DX (XX)
On/Off & raise/lower two pole	nPODM 2P DX (XX)
Graphic touchscreen	nPOD GFX (XX)

Photocell Controls	Model Number
Dimming	nCM ADCX

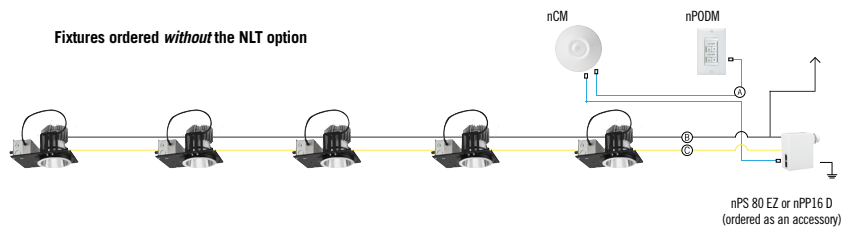
nLight® Wired Control Accessories (cont.)

Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	nCM 9 / nCM PDT 9
Large motion 360°, ceiling	nCM 10 / nCM PDT 10
Wide View	nWV 16 / nWV PDT 16
Wall switch with raise/lower	nWSX LV DX / nWSX PDT LV DX

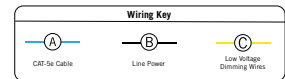
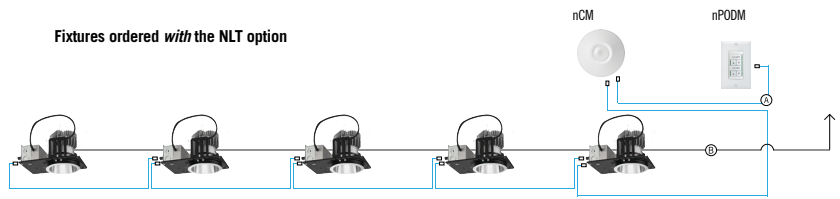
Cat-5 Cables (plenum rated)	Model Number
10', CAT5	CAT5 10FT J1
15', CAT5	CAT5 15FT J1

Possibilities for nLight® wired

Fixtures ordered without the NLT option



Fixtures ordered with the NLT option

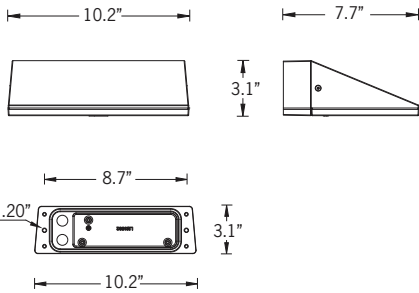


UVK-30001

Vektor 1 Medium Surface



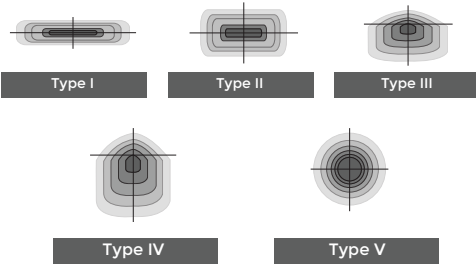
21w LED 2446 Lumens
 IP65 • Suitable For Wet Locations
 IK08 • Impact Resistant (Vandal Resistant)
 Weight 7 lbs



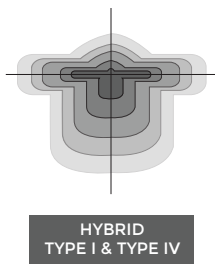
Mounting Detail



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B2 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Flexible wall-mounted floodlighting and area luminaires. Sleek, angular, technical and powerful professional lighting solutions.

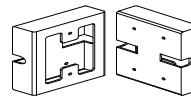
A wedge shaped range of small profile wall mounted luminaires, with no visible external hardware for use in uplight or downlight applications. This product is provided with a range of high powered LEDs with a selection of optics.

The Vektor is unique as it is available with Type II, III, IV & V light distribution options that facilitates wider spacing and even light distribution between the light fixtures. Wide spacings of up to 40' on center can be achieved using a type II optic with uniformity that complies to path of egress requirements. This provides higher energy saving and reduced installation costs. The Vektor can be manufactured using different type beam optics to achieve custom distribution, e.g using type II and type IV optics inside the same luminaire.

Integral electronic control gear is housed in a special waterproof box that can be detached from the optical chamber for easy installation. Mounting plate for 3" and 4" junction box is provided with the fixture. Matching surface mount conduit boxes are available as an option.

The Vektor is suitable for lighting footpaths, building facades, building entrances and parking areas around buildings.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UVK-30001

Vekter 1 Medium Surface



PROJECT		DATE	
----------------	--	-------------	--

QUANTITY		TYPE		NOTE	
-----------------	--	-------------	--	-------------	--

ORDERING EXAMPLE || UVK - 30001 - 21w - T2 - W30 - 02 - 120/277v - Options

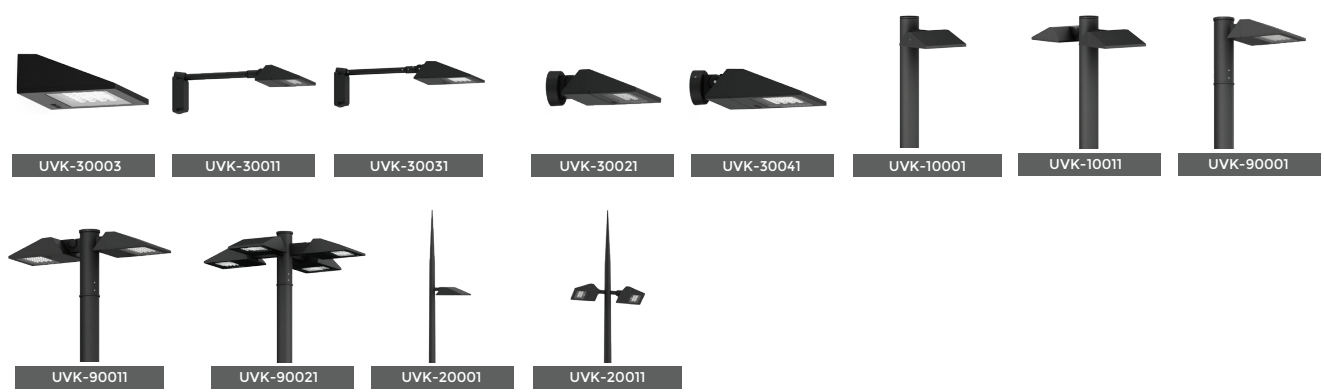
UVK-30001					
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	21w LED 2446 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution M - Medium 31" W - Wide 53" VW - Very Wide 66" EW - Extra Wide 110"	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

--	--	--

ADDITIONAL OPTIONS

- NAT - Natatorium Rated
- DIM - 0-10v Dimming
- SCE - Surface Conduit Decorative Trim
- F - Frosted Lens
- EMR - Remote Emergency Pack
- AMB - Turtle Friendly Amber LED

Vekter Product Family



7144 NE Progress Court
Hillsboro, Oregon 97124
T: 503.645.0500 | F: 503.645.800

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



DELTA STAR LED

IP66 RATED

DATE: _____ PROJECT: _____ TYPE: _____

CATALOG NUMBER LOGIC:



**Designed for use with LED transformer. Requires magnetic low voltage dimmer.*

***Please see Adjust-e-Lume photometry to determine desired intensity.*

****The 360SL cost is already included in the price of UPM, UPM dual, and Power Canopy.*

CATALOG NUMBER LOGIC	
Example: B - DS - LED - e64 - SP - A7 - BZP - 12 - 11 - A - 360SL	
MATERIAL	
(Blank) - Aluminum B - Brass S - Stainless Steel	
SERIES	
DS - Delta Star	
SOURCE	
LED - with Integral Dimming Driver (25W min. load when dimmed)*	
LED TYPE	
e64 - 7W LED/2700K	e66 - 7W LED/4000K
e65 - 7W LED/3000K	e74 - 7W LED/Amber
OPTICS	
NSP - Narrow Spot (13°)	MFL - Medium Flood (23°)
SP - Spot (16°)	WFL - Wide Flood (31°)
ADJUST-E-LUME® OUTPUT INTENSITY**	
A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1	
FINISH (See page 2 for full-color swatches)	
Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)	
Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)	
Also available in RAL Finishes	
Brass Finishes (MAC, POL, MIT)	
Stainless Steel Finishes (MAC, POL)	
LENS TYPE	
12 - Soft Focus	13 - Rectilinear
SHIELDING	
11 - Honeycomb Baffle	
CAP STYLE	
A - 45°	
B - 90°	
C - Flush Lens	
D - 45° Less Weephole (Interior use only)	
E - 90° Less Weephole (Interior use only)	
F - 90° with Flush Lens	
OPTIONS	
360SL - Knuckle Mounting System***	

B-K LIGHTING

MADE IN THE USA

559.438.5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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01/15/2020 SKU-739 SUB000930

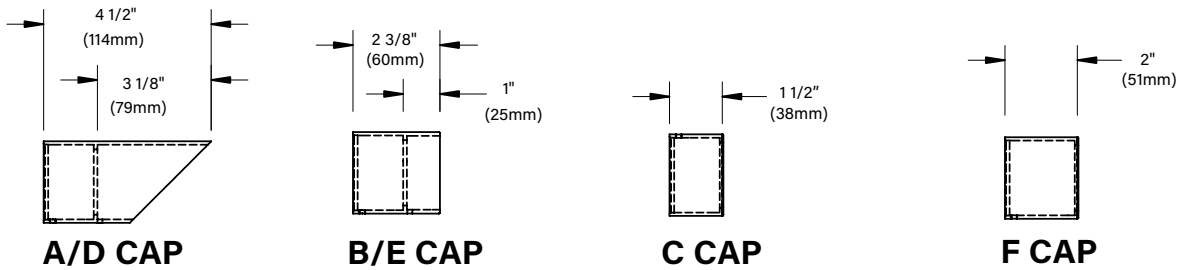
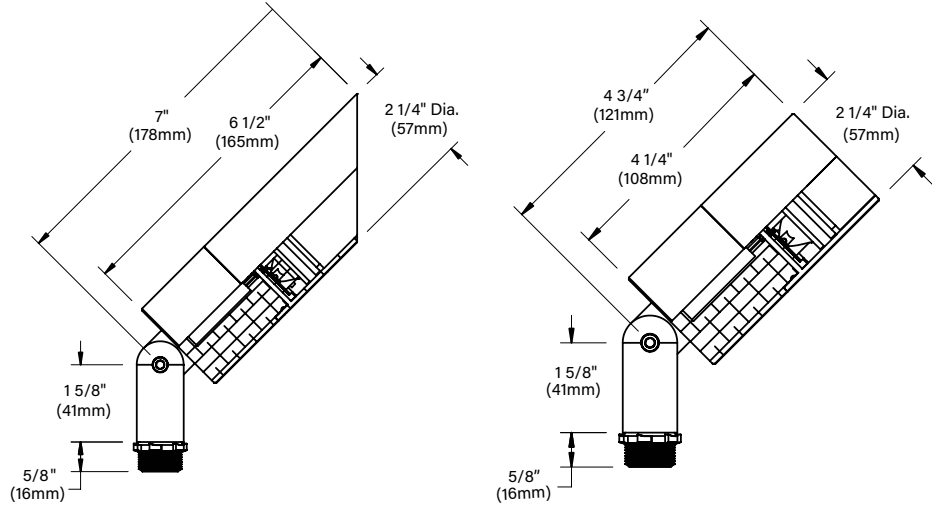
DELTA STAR LED

IP66 RATED

DATE:

PROJECT:

TYPE:

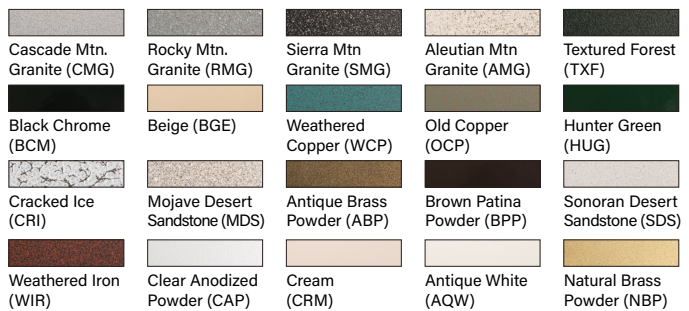


STANDARD FINISHES



[Click Here](#) to view larger, full-color swatches of all available finishes on our website.

PREMIUM FINISHES



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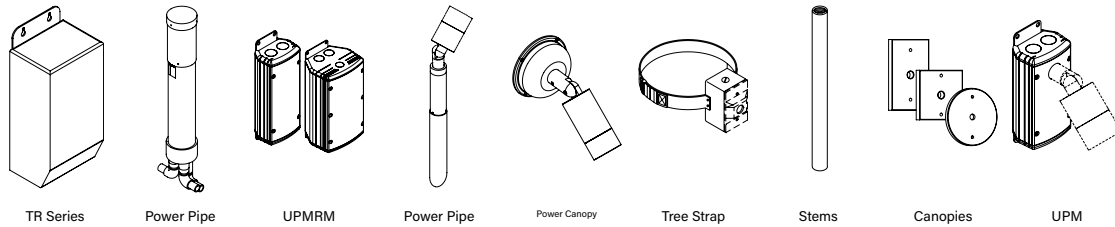
01/15/2020 SKU-739 SUB000930

DELTA STAR LED

IP66 RATED

DATE: _____ PROJECT: _____ TYPE: _____

Accessories (Configure separately)



SPECIFICATIONS

ELECTRICAL	<p>WATTAGE WIRING REMOTE TRANSFORMER</p>	<p>7W LED XLPE, 18GA,150C, 600V, rated and certified to UL3321. For use with 12VAC remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturers' transformers.</p>
PHYSICAL	<p>MATERIALS BODY KNUCKLE CAP LENS LED DIMMING ADJUST-E-LUME OPTICS HARDWARE FINISH WARRANTY CERTIFICATION & LISTING</p>	<p>Furnished in copper-free aluminum (6061-T6), brass (360) or stainless steel (304). Unibody design with enclosed, water-proof wireway and integral heat sink is fully machined from solid billet. LOCK Knuckle is integral to the body and features an interior taper machined from solid billet and a second, reverse angle taper allowing full 180° vertical adjustment without the use of aim-limiting serrated teeth. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lbs. static load prior to movement for optical alignment with a 1/2" pipe thread for mounting. Optional 360SL provides biaxial source control with 360° horizontal rotation in addition to vertical adjustment. Fully machined and accommodates two (2) lens or louver media. Shock-resistant, tempered glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Integrated solid state system and modular design with electrical disconnects allow for easy field upgrade and maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements and exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components. Integral, constant current driver. 12VAC/VDC input. 50/60Hz. Proprietary input control scheme achieves power factor correction and eliminates inrush current (limited to <250mA non-dimming). Output, overvoltage, open-circuit, and short circuit protected. Conforms to Safety Std. C22.2 No. 25013-12. Line voltage dimmable via magnetic low voltage dimmer with dedicated neutral conductor. Remote magnetic transformer with LED loads should be loaded to 25% of the transformer VA (watts) rated value. Integral electronics allow for dynamic lumen response at the individual fixture. Indexed (100% to 25% nom.) lumen output. Maintains output at desired level or may be changed. Specify factory preset output intensity. Interchangeable OPTIKIT modules permit optical field changes. Color-code: Narrow Spot (NSP) = red; Spot (SP) = green; Medium Flood (MFL) = yellow; Wide Flood (WFL) = blue. Tamper-resistant, stainless steel hardware. LOCK aiming screw is black oxide treated for additional corrosion resistance. StarGuard, our 15-stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating and is RoHS compliant. Powder coat or metal finish options available for brass material and metal finish option only for stainless steel material. 5-year limited warranty. ITL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant. Suitable for indoor or outdoor use, in wet locations, and for installation within 4' of the ground. IP66 Rated. Made in the USA with sustainable processes.</p>



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LAMP & DRIVER DATA (e64, e65, e66, e74)

DATE: _____ PROJECT: _____ TYPE: _____

CATALOG NUMBER LOGIC:

DRIVER DATA	Input Volts	InRush Current	Operating	Dimmable	Operation Ambient Temperature
	12VAC/DC 50/60Hz	<250mA (non-dimmed)	700mA	Magnetic Low Voltage Dimmer	-22°F-194°F (-30°C - 90°C)

LM79 DATA				L70 DATA	OPTICAL DATA			
BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)	Minimum Rated Life (hrs.) 70% of initial lumens (L₇₀)	Angle	CBCP	Delivered Lumens	Multiplier
e64	2700K	80	7	50,000	13°	5993	456	0.87
	2700K	80	7	50,000	16°	4546	445	0.87
	2700K	80	7	50,000	23°	1726	397	0.87
	2700K	80	7	50,000	31°	1131	399	0.87
e65	3000K	80	7	50,000	13°	6131	466	0.89
	3000K	80	7	50,000	16°	4650	455	0.89
	3000K	80	7	50,000	23°	1766	406	0.89
	3000K	80	7	50,000	31°	1157	409	0.89
e66	4000K	80	7	50,000	13°	6889	524	
	4000K	80	7	50,000	16°	5225	511	
	4000K	80	7	50,000	23°	1984	456	
	4000K	80	7	50,000	31°	1300	459	
e74	Amber	80	7	50,000	13°	3,927	299	0.57
	Amber	80	7	50,000	16°	2,978	291	0.57
	Amber	80	7	50,000	23°	1,131	260	0.57
	Amber	80	7	50,000	31°	741	262	0.57

OPTICS	
Optic	Angle
NSP - Narrow Spot	13°
SP - Spot	16°
MFL - Medium Flood	23°
WFL - Wide Flood	31°

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Thank you



Scott
Edwards
Architecture

www.seallp.com



MEMORANDUM

To: Karyn Hanson, City of Newberg
Ashley Smith, City of Newberg
Doug Rux, City of Newberg

From: William Reynolds, PE (OR), AICP, PTP
RBT Consultants

Date: June 8, 2022

Subject: Virginia Garcia Ambulatory Health Clinic Expansion – Trip Generation Memo

Introduction

The following memo summarizes the estimated number of AM and PM peak hour vehicle trips for the proposed expansion of the existing Virginia Garcia Clinic, located at 2251 E Hancock Street in Newberg, OR.

Notes from a pre-application meeting for the project held on May 11, 2022, indicated that a Traffic Study *will not be required* based on an assumed expansion size of 9,000 ft². This memo serves to update the assumed number of vehicle trips based on the gross square footage of 9,625 ft², which includes the roof deck, using the current version ITE's Trip Generation Manual.

Project Trip Generation

The proposed land use most closely corresponds to the following land use category within the current version of ITE's Trip Generation Manual (11th Edition):

- Medical-Dental Office Building (Land Use Code 720)

Traffic impact analyses typically analyze traffic conditions during the AM and PM weekday peak periods, generally assumed to occur from 7 AM to 9 AM during the morning and 4 PM to 6 PM during the evening. The following trip rates correspond to the average trip rate for each time period shown:

- Daily
 - 36.00 vehicle trips per 1,000 ft² (50% entering / 50% exiting)
- AM Peak Hour of Adjacent Street Traffic (One Hour Between 7 and 9 a.m.)
 - 3.10 vehicle trips per 1,000 ft² (79% entering / 21% exiting)
- PM Peak Hour of Adjacent Street Traffic (One Hour Between 4 and 6 p.m.)
 - 3.93 vehicle trips per 1,000 ft² (30% entering / 70% exiting)

Table 1 shows the corresponding peak hour trips for the AM and PM peak hours of adjacent street traffic.

Table 1: Peak Hour Vehicle Trips

Land Use	ITE Code	Units	Daily Trips	AM Peak Hour		PM Peak Hour	
				In	Out	In	Out
Medical-Dental Office Building	720	9,625 ft ²	347	24	6	11	27
				30 trips		38 trips	

Traffic Study Requirements

Per Newberg Development Code 15.220.030(B)(14) a traffic study is required or may be required based on the following criteria:

*Traffic Study. A traffic study shall be submitted for any project that generates in excess of **40 trips per p.m. peak hour**. This requirement may be waived by the director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the director for projects below 40 trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service. The traffic study shall be conducted according to the City of Newberg design standards. [Ord. 2619, 5-16-05; Ord. 2451, 12-2-96. Code 2001 § 151.192.]*

Using the current version of ITE's Trip Generation Manual (11th Edition) and the gross square footage of the proposed expansion, the project is not expected to generate in excess of 40 vehicle trips during the PM peak hour (assumed to be between 4 PM and 6 PM).

Next Steps

Based on the estimated number of new PM peak hour vehicle trips for the proposed project, **no additional traffic analysis is recommended**. However, if City staff determine that a traffic study will be needed, prior to developing a Traffic Impact Analysis (TIA), a TIA scoping memo will be developed and submitted to the City, identifying a draft methodology for review. This would include number of intersections, scenarios to be analyzed, trip distribution, background growth rates, and plan for turning movement data collection.

Closing

Please feel free to reach out to me to discuss the contents of this Memo.

Sincerely,



William Reynolds, PE (OR), AICP, PTP
RBT Consultants

Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 18

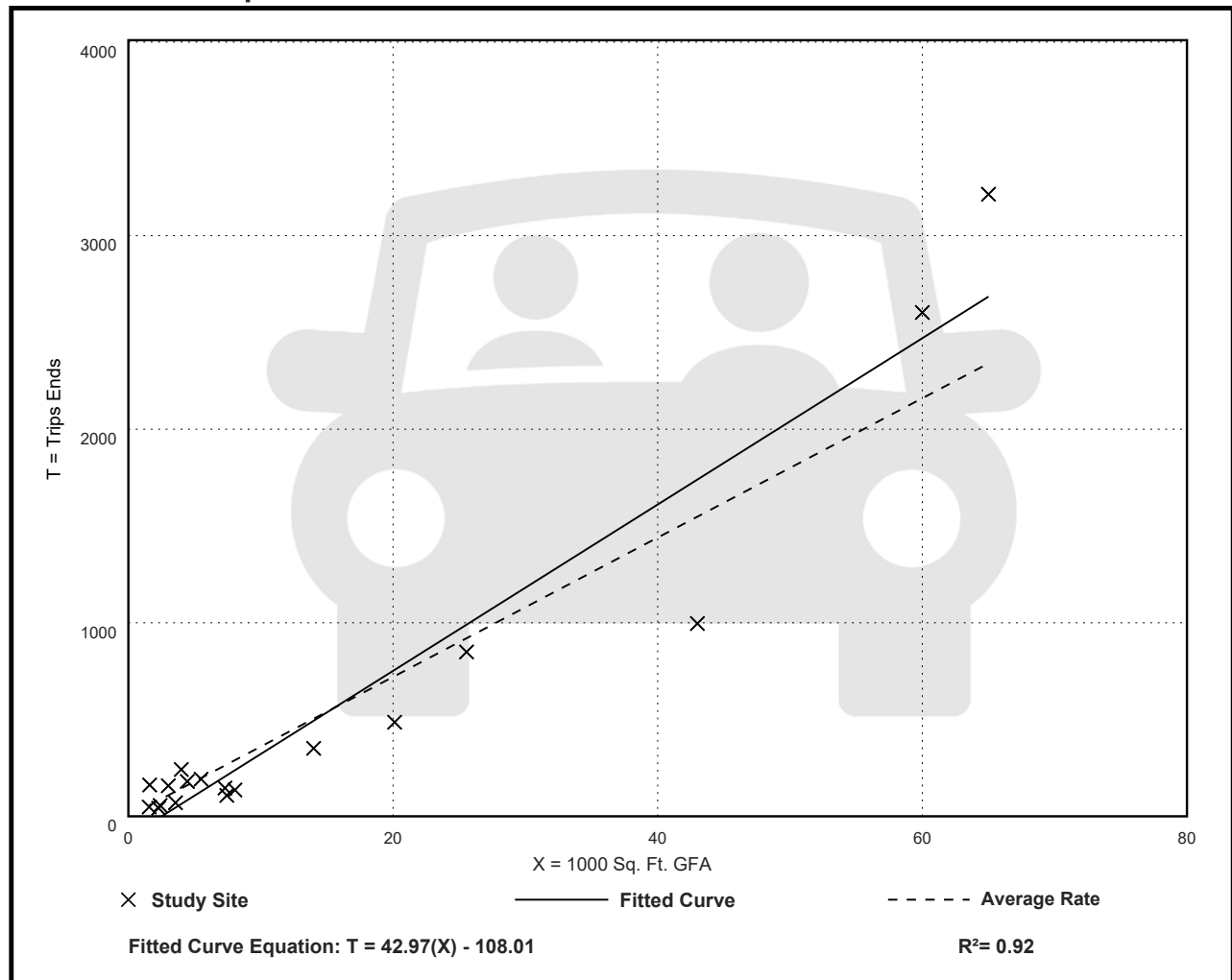
Avg. 1000 Sq. Ft. GFA: 15

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
36.00	14.52 - 100.75	13.38

Data Plot and Equation



Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 24

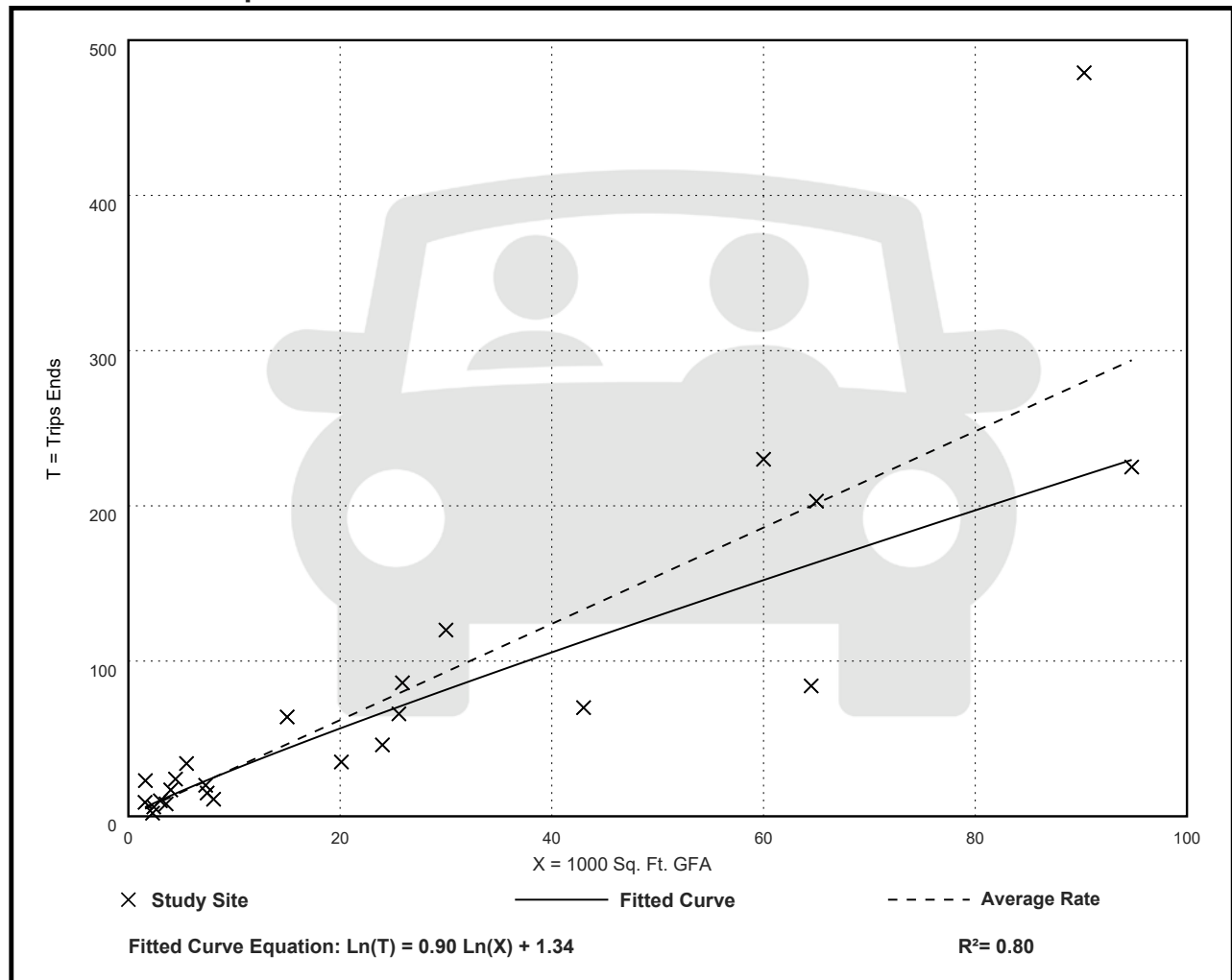
Avg. 1000 Sq. Ft. GFA: 25

Directional Distribution: 79% entering, 21% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.10	0.87 - 14.30	1.49

Data Plot and Equation



Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 30

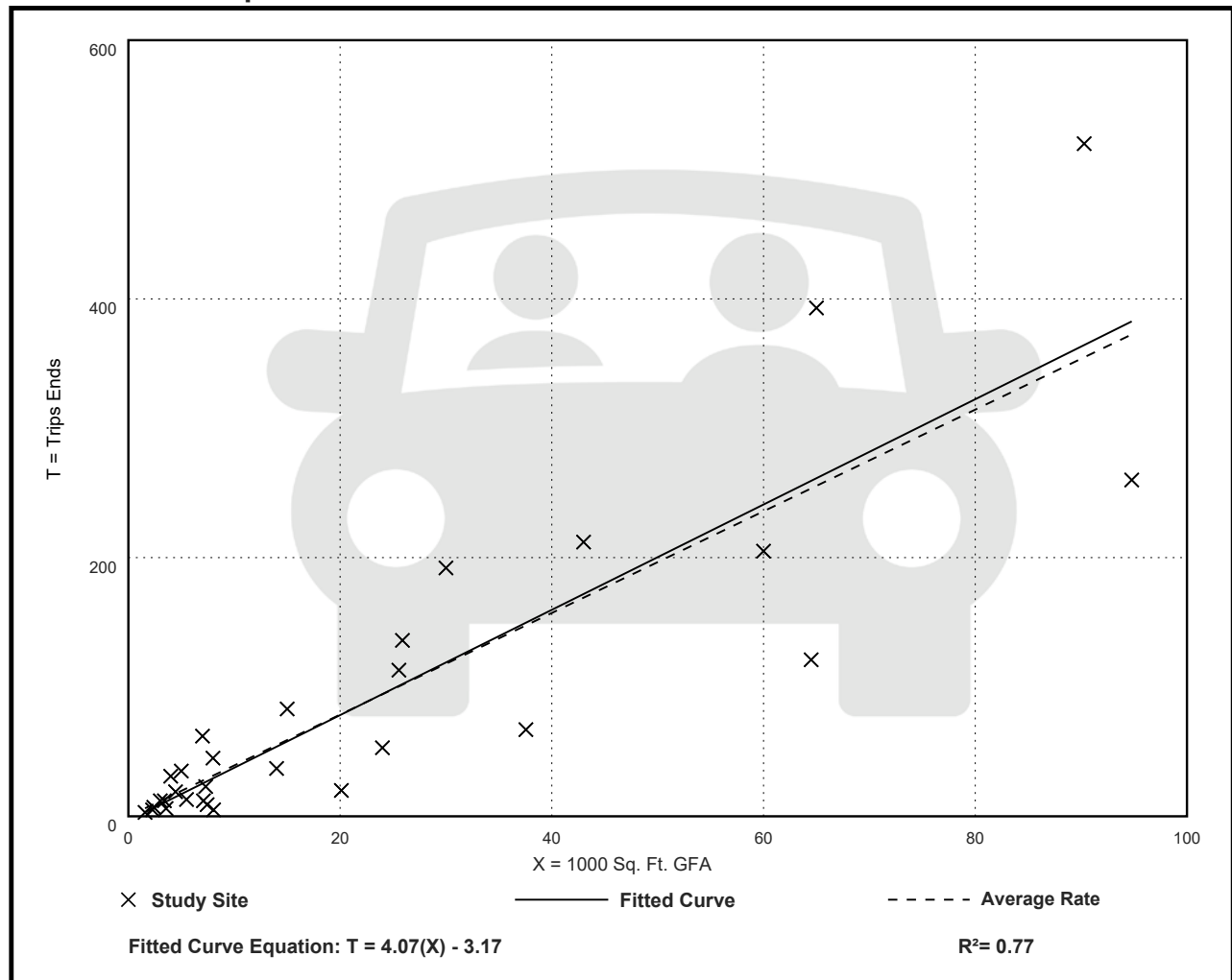
Avg. 1000 Sq. Ft. GFA: 23

Directional Distribution: 30% entering, 70% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.93	0.62 - 8.86	1.86

Data Plot and Equation





TYPE II APPLICATION – LAND USE

File #: VAR 22-0003
DR 222-0010 (PRE 22-0020)

TYPES – PLEASE CHECK ONE:

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance ² requested: Required Loading, Glazing percentage
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Scott Edwards Architecture, Kathy Johnson
 ADDRESS: 2525 E. Burnside St., Portland, OR 97214
 EMAIL ADDRESS: kjohnson@seallp.com
 PHONE: 503.896.3617 MOBILE: _____ FAX: _____
 OWNER (if different from above): Virginia Garcia Memorial Health Center - Brian Jackson, owner's rep. PHONE: 503.310.8707
 ADDRESS: Virgina Garcia: 3305 NW Alocek Dr., Hillsboro, OR 97124 / Brian Jackson: 13545 NW Logie Trail Rd. Hillsboro, OR 97124
 ENGINEER/SURVEYOR: _____ PHONE: brian@bcjardited.com
 ADDRESS: _____

GENERAL INFORMATION:

PROJECT NAME: Virginia Garcia Memorial Health Clinic Newberg Wellness Center PROJECT LOCATION: 2251 E. Hancock St.
 PROJECT DESCRIPTION/USE: Medical/dental office PROJECT VALUATION: \$12M
 MAP/TAX LOT NO. (i.e. 3200AB-400): MAP 3 2 20AB #00500, 00702 ZONE: C-2 SITE SIZE: 41,223 SQ. FT. ACRE
 COMP PLAN DESIGNATION: MIXED USE TOPOGRAPHY: _____
 CURRENT USE: Medical/dental office, office
 SURROUNDING USES:
 NORTH: COMMERCIAL/RETAIL SOUTH: RETAIL
 EAST: VACANT WEST: COMMERCIAL RETAIL/PARKING

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Public Notice Information Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

- Design Reviewp. 12
- Partition Tentative Platp. 14
- Subdivision Tentative Platp. 17
- Variance Checklistp. 20

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

[Signature] 10/24/22
 Applicant Signature Date

KATHY JOHNSON
Print Name

Brian C Jackson 10/24/2022
 Owner Signature Date
[Signature]
 Print Name

GENERAL INFORMATION

Type II Development Permit Process

Overview: Type II Permit applications are reviewed administratively using a process in which City staff apply clear and objective standards that do not allow limited discretion. Notice is provided to property owners within 500 ft of the site so that they may provide input into the process. The noticing comment period is limited to 14 days in which written comments may be filed. The applicant or any person that comments in writing is able to appeal the staff decision to the Planning Commission. During the 14 day notice period, anyone may request that a Type II Subdivision decision be converted to a Type III process and that a hearing be held before the Planning Commission. Type II Decisions may take from 30 to 120 days.

Type II Permits Include:

- Design review for commercial, industrial and multi-family projects
- Manufactured home parks and mobile home parks.
- Partitions
- Subdivisions except those meeting the criteria in NDC § 15.235.030(A)
- Variances

Pre-Application Conference:

Please call to schedule a time for a pre-application meeting (optional) prior to submitting an application. The (Development Review Meetings) or pre-application meetings are held every Wednesday. This meeting provides the opportunity to get advance information from Planning, Engineering, and Building divisions all at once. It is likely to save you time and effort later. The non-refundable pre-application conference fee is \$105, payable prior to the conference.

Submit Type II Application

- ◆ Pay fees
- ◆ Complete application form(s)
- ◆ Submit plans and other required information

Processing

- ◆ Staff will perform a completeness check of the application and notify applicant of any information that is missing or incomplete. Processing time 0 to 30 days.
- ◆ Staff will route the application to affected agencies and City departments Processing time 14 to 20 days
- ◆ Applicant will provide copies of mailed and posted notices to the City for review, mail the approved notice to property owners within 500 ft. of the site, post the site, and provide staff with an affidavit verifying that the notice was mailed and posted. Processing Time: 14 to 20 days.
- ◆ Subdivision Conversion to Type III Review. During the 14 day comment period, anyone may request that a subdivision application be converted to a Type III review process. If this occurs, the subdivision will be reviewed by the Planning Commission at their next available meeting. Processing Time: 30 to 60 days.
- ◆ If all comments are addressed and no changes are required, then an approval letter is sent to the applicant and those providing comment. Processing Time: 14 to 20 days.

**PLEASE NOTE THAT THE REQUIRED VARIANCE INFORMATION
IS INCLUDED IN THE DESIGN REVIEW DOCUMENT PACKAGE**

DESIGN REVIEW CHECKLIST

The following items must be submitted with each application. Incomplete applications will not be processed. Incomplete or missing information may delay the review process. Check with the Planning Division regarding additional requirements for your project.

FEES

PUBLIC NOTICE INFORMATION – Draft of mailer notice and sign; mailing list of all properties within 500’.

CURRENT TITLE REPORT (~~within 60 days old~~) **TITLE REPORT DATED OCTOBER, 2021 WAS APPROVED FOR SUBMITTAL BY ASHLEY SMITH**

SUBMIT one original and three copies 8-1/2" x 11" or 11" x 17" reproducible document together with 20 copies of the following information. In addition, submit two (2) full size copies of all plans.

WRITTEN CRITERIA RESPONSE – Address the criteria listed on page 12.

SITE DEVELOPMENT PLAN. Make sure the plans are prepared so that they are at least 8 ½ x 11 inches in size and the scale is standard, being 10, 20, 30, 40, 50, 100 or multiples of 100 to the inch (such as 1":10', 1":20' or other multiples of 10). Include the following information in the plan set (information may be shown on multiple pages):

- Existing Site Features:** Show existing landscaping, grades, slopes, wetlands and structures on the site and for areas within 100' of the site. Indicate items to be preserved and removed.
- Drainage & Grading:** Show the direction and location of on and off-site drainage on the plans. This shall include site drainage, parking lot drainage, size and location of storm drain lines, and any retention or detention facilities necessary for the project. Provide an engineered grading plan if necessary. A preliminary storm water report is required (see Public works Design and Construction standards).
- Utilities:** Show the location of and access to all public and private utilities, including sewer, water, storm water and any overhead utilities.
- Public Improvements:** Indicate any public improvements that will be constructed as part of the project, including sidewalks, roadways, and utilities.
- Access, Parking, and Circulation:** Show proposed vehicular and pedestrian circulation, parking spaces, parking aisles, and the location and number of access points from adjacent streets. Provide dimensions for parking aisles, back-up areas, and other items as appropriate. Indicate where required bicycle parking will be provided on the site along with the dimensions of the parking spaces.
- Site Features:** Indicate the location and design of all on-site buildings and other facilities such as mail delivery, trash disposal, above ground utilities, loading areas, and outdoor recreation areas. Include appropriate buffering and screening as required by the code.
- Exterior Lighting Plan:** Show all exterior lighting, including the direction of the lighting, size and type of fixtures, and an indication of the amount of lighting using foot candles for analysis.
- Landscape Plan:** Include a comprehensive plan that indicates the size, species and locations of all planned landscaping for the site. The landscape plan should have a legend that indicates the common and botanical names of plants, quantity and spacing, size (caliper, height, or container size), planned landscaping materials, and description of the irrigation system. Include a calculation of the percentage of landscaped area.
- ADA Plan Compliance:** Indicate compliance with any applicable ADA provisions, including the location of accessible parking spaces, accessible routes from the entrance to the public way, and ramps for wheelchairs.
- Architectural Drawings:** Provide floor plans and elevations for all planned structures.
- Signs and Graphics:** Show the location, size, colors, materials, and lighting of all exterior signs, graphics or other informational or directional features if applicable.
- Other:** Show any other site elements which will assist in the evaluation of the site and the project.

TRAFFIC STUDY

A traffic study shall be submitted for any project that generates in excess of forty (40) trips per p.m. peak hour. This requirement may be waived by the Director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the

Director for projects below forty (40) trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service.

PLEASE NOTE THAT THE REQUIRED VARIANCE INFORMATION
IS INCLUDED IN THE DESIGN REVIEW DOCUMENT PACKAGE

VARIANCE CHECKLIST

The following information shall be submitted with each application. Incomplete applications will not be processed. Incomplete or missing information may delay the review process. Check with the Planning Division staff regarding additional requirements for your project.

FEES

PUBLIC NOTICE INFORMATION – Draft of mailer notice and sign; mailing list to all properties within 500’.

CURRENT TITLE REPORT – ~~(within 60 days old)~~ TITLE REPORT DATED OCTOBER, 2021 WAS APPROVED FOR SUBMITTAL BY ASHLEY SMITH

SUBMIT one original and three copies 8-1/2" x 11" or 11" x 17" reproducible document together with 20 copies of the following information. In addition, submit two (2) full size copies of all plans.

WRITTEN CRITERIA RESPONSE – Address the criteria listed on page 19.

WRITTEN STATEMENT – Prepare a written statement of the precise nature of the variance that is being requested and the reason that you cannot meet the applicable code requirement.

SITE PLAN. Make sure the plans are prepared so that they are at least 8 ½ x 11 inches in size and the scale is standard, being 10, 20, 30, 40, 50, 100 or multiples of 100 to the inch. Include the following information in the plan set (information may be shown on multiple pages):

- All existing and proposed streets
- Property lines and any easements
- Existing and proposed uses, structures, driveways and sidewalks
- Off-street parking and loading areas
- Landscaping
- Any other information that helps illustrate the proposal

§ 15.215.040 - TYPE II VARIANCE CRITERIA

DEFINITION: A variance is an exception to provisions of this code where strict or literal interpretation of the ordinances contained herein would result in practical difficulty and unnecessary physical hardship.

GENERAL REQUIREMENTS: Variances may be used to allow modification to specific standards contained in this code if the approval authority finds the applicant has satisfactorily documented compliance with the approval criteria. If a variance request is approved, the approval authority may attach conditions to the final decision in order to mitigate adverse impacts which might result from the approval.

The following regulations may not be varied:

- The uses permitted in the land use district.
- Definitions.
- Restrictions on the use or development that contain the word "prohibited."
- Signs.

Provide a written response that specifies how your project meets the following criteria:

- (A) That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this code.
- (B) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties classified in the same zoning district.
- (C) That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.
- (D) That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zoning district.
- (E) That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

Have you met the criteria for a variance? Use these questions to help you determine whether your application meets the above criteria.

- 1) What code requirement and code section applies to the proposed variance (i.e: setback, lot coverage, height, etc.)?
- 2) What is the reason for the variance?
- 3) What difficulty or hardship would result from complying with the standard in the code?
- 4) How is your situation unique or exceptional and how is this different from other properties that have the same zoning (i.e: unusual lot shape, steep topography, stream on the property, etc.)?
- 5) What type of impacts would granting the variance have on the neighboring properties?
- 6) Are you aware of any concerns previously voiced by the neighbors and if so what are they?
- 7) What can you offer to minimize or mitigate the requested variance (i.e: landscaping, screening, public improvements, etc.)?



Fidelity National Title
Client Services Group
900 SW 5th Ave, Mezzanine
Portland, OR 97204
O: 503-227-5478 F: 503-274-5472
csrequest@fnf.com

Tuesday, October 18, 2022

The enclosed radius search was created using data purchased from GeoAdvantage and Yamhill County. This data is derived from county tax records and is deemed reliable, but is not guaranteed. Fidelity National Title cannot be held liable for any additions, deletions, or errors in this search.

This research was completed on the date stated above.

Thank you.

Enclosures:

- Data summary of parcels to be notified
- Map of subject parcel, radius, and parcels to be notified
- County assessor maps for parcels to be notified
- Labels

Parcel Reference List



Fidelity National Title
PORTLAND

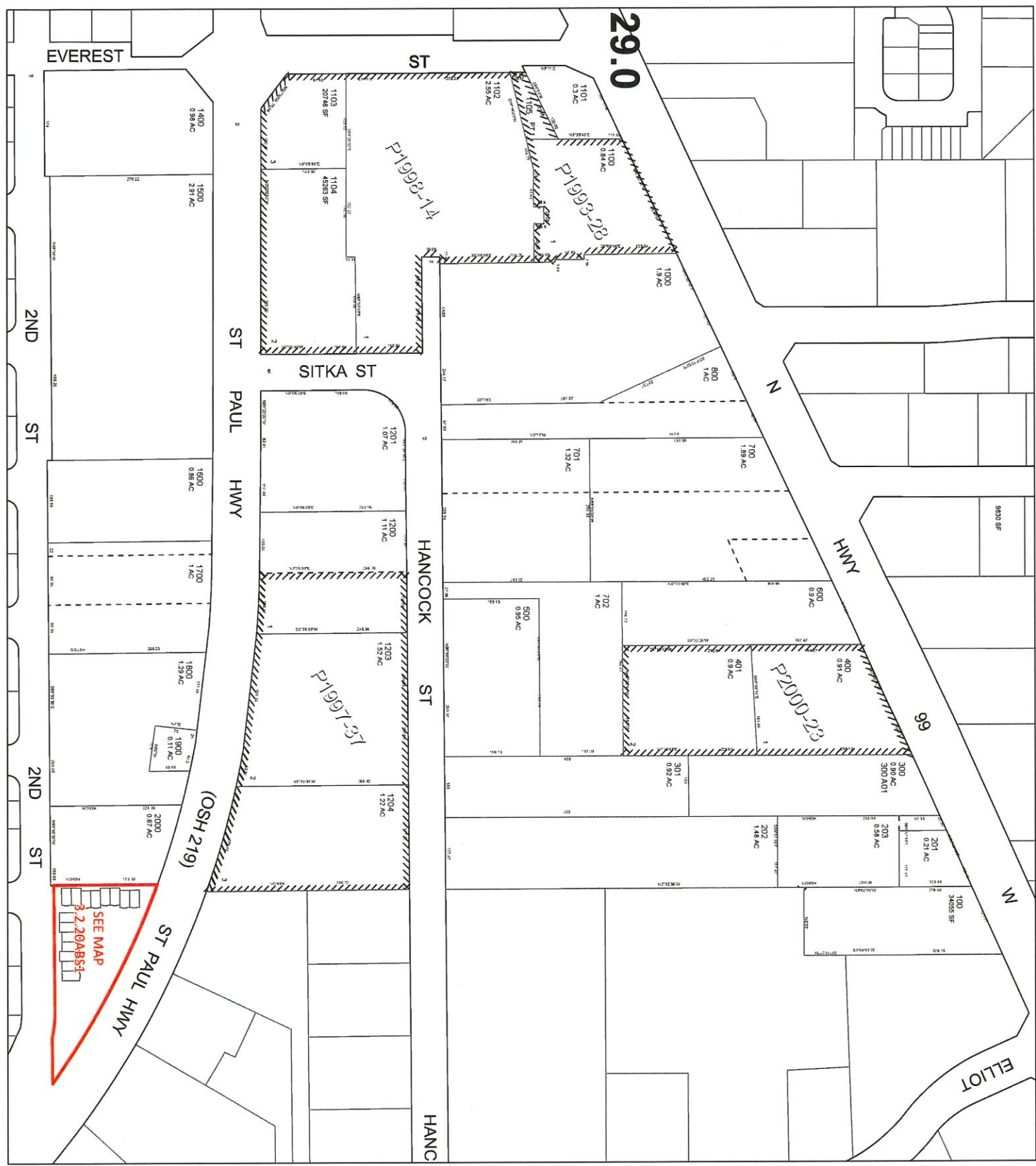
ParcelID	Tax Account	Owner	Site Address
305093	R3220AB00301	Casey Fred L Trustee For	0 E Hancock St Newberg 97132
377675	R3220AB00202	Total Concept Development LLC	2401 E Hancock St Unit C-5 Newberg 97132
388798	R3220AB01201	Sfp-F LLC	110 Sitka Ave Newberg 97132
396324	R3220AD01200	Daniel & Randall Matthiesen	151 N Elliott Rd Newberg 97132
396333	R3220AD01300	McA Investments LLC	2400 E Hancock St Newberg 97132
396342	R3220AD01400	James Sheehan	2410 E Hancock St Newberg 97132
396351	R3220AD01500	2500 Hancock Street Newberg LLC	2500 E Hancock St Newberg 97132
421145	R3220AB00203	Mind Your Molars LLC	2502 E Portland Rd Newberg 97132
429003	R3220AB00701	Goodwill Industries Of The	2210 E Portland Rd Newberg 97132
429012	R3220AB00702	Goodwill Industries Of The	0 E Portland Rd Newberg 97132
492646	R3220AB01102	Stuart Lindquist	120 N Everest Rd Newberg 97132
508168	R3220AB01203	Psdm Properties LLC	2300 E Hancock St Newberg 97132
508171	R3220AB01204	Psdm Properties LLC	Newberg 97132
510535	R3220AB01104	Raudsepp, Karl A Trustee	Newberg 97132
517402	R3220AB00401	Yamhill County	2318 E Portland Rd Newberg 97132
557626	R3220AA01101	Hancock Street LLC	Newberg 97132
56290	R3220AA01000	Elliott Road Self Storage LLC	317 N Elliott Rd Newberg 97132
56307	R3220AB00100	SW Center LLC	2508 E Portland Rd Newberg 97132
56334	R3220AB00300	Casey Fred L Trustee For	2418 E Portland Rd Newberg 97132
56352	R3220AB00400	Autozone Inc	2320 E Portland Rd Newberg 97132
56389	R3220AB00600	Mark Nyman	2316 E Portland Rd Unit D Newberg 97132
56405	R3220AB00700	Goodwill Industries Of The	2310 E Portland Rd Newberg 97132
56432	R3220AB00800	Lewis Audio & Video Inc	2112 E Portland Rd Newberg 97132
56441	R3220AB01000	John Niemeyer	2100 E Portland Rd Newberg 97132
56539	R3220AB01200	Sfp-F LLC	Newberg 97132
56600	R3220AB01500	First Baptist Church Of Newberg	1619 E 2nd St Newberg 97132
56637	R3220AB01600	Slate Properties LLC	2201 E 2nd St Newberg 97132
56664	R3220AB01700	1733 Morrison LLC	2205 E 2nd St Newberg 97132
56673	R3220AB01800	1733 Morrison LLC	2301 E 2nd St Unit 119 Newberg 97132
56682	R3220AB01900	1733 Morrison LLC	0 St Paul Hwy Newberg 97132
56708	R3220AB02000	2401 E 2nd Avenue LLC	2401 E 2nd St Newberg 97132



ASSESSMENT & TAX
CARTOGRAPHY

N.W. 1/4 N.E. 1/4 SEC. 20 T. 3S. R. 2W. W.
YAMHILL COUNTY OREGON
1" = 100'

CANCELLED TAXLOTS:
1101 A01
2100
2001
2000
500
700
302
200
1202



DATE PRINTED: 12/14/2018

This product is for Assessment and Taxation (A&T) purposes only and has not been prepared or is suitable for legal, engineering, or surveying or any purposes other than assessment and taxation.

305093
R3220AB00301
Casey Fred L Trustee For
PO Box 188
Newberg OR 97132

377675
R3220AB00202
Total Concept Development LLC
Attn: Myrah Richard & Nilles Jean
Newberg OR 97132

388798
R3220AB01201
Sfp-F LLC
Attn: Property Tax Accounting
Bend OR 97708

396324
R3220AD01200
Daniel Matthiesen
131 N Elliott Rd
Newberg OR 97132

396333
R3220AD01300
Mca Investments LLC
35101 SW Ladd Hill Rd
Wilsonville OR 97070

396342
R3220AD01400
James Sheehan
209 E 9th St
Newberg OR 97132

396351
R3220AD01500
2500 Hancock Street Newberg LLC
2012 NW Victoria Dr
McMinnville OR 97128

421145
R3220AB00203
Mind Your Molars LLC
1574 Coburg Rd
Eugene OR 97401

429003
R3220AB00701
Goodwill Industries Of The
1943 SE 6th Ave
Portland OR 97214

429012
R3220AB00702
Goodwill Industries Of The
1943 SE 6th Ave
Portland OR 97214

492646
R3220AB01102
Stuart Lindquist
PO Box 42135
Portland OR 97242

508168
R3220AB01203
Psdm Properties LLC
Wilco Farmers
Mt Angel OR 97362

508171
R3220AB01204
Psdm Properties LLC
Wilco Farmers
Mt Angel OR 97362

510535
R3220AB01104
Karl Raudsepp
20825 NE Big Fir Ln
Dundee OR 97115

517402
R3220AB00401
Yamhill County
535 NE 5th St
McMinnville OR 97128

557626
R3220AA01101
Hancock Street LLC
Attn: Eldred Management Company
LLC
Santa Barbara CA 93150

56290
R3220AA01000
Elliott Road Self Storage LLC
20255 SW Avery Ct
Tualatin OR 97062

56307
R3220AB00100
SW Center LLC
42749 Camp Morrison Dr
Scio OR 97374

56334
R3220AB00300
Casey Fred L Trustee For
PO Box 188
Newberg OR 97132

56352
R3220AB00400
Autozone Inc
PO Box 2198
Memphis TN 38101

56389
R3220AB00600
Mark Nyman
30470 SW Parkway Ave Suite A
Wilsonville OR 97070

56405
R3220AB00700
Goodwill Industries Of The
1943 SE 6th Ave
Portland OR 97214

56432
R3220AB00800
Lewis Audio & Video Inc
2112 E Portland Rd
Newberg OR 97132

56441
R3220AB01000
John Niemeyer
15 82nd Dr Ste #210
Gladstone OR 97027

56539
R3220AB01200
Sfp-F LLC
PO Box 5350
Bend OR 97708

56600
R3220AB01500
First Baptist Church Of Newberg
619 NE 2nd St
Newberg OR 97132

56637
R3220AB01600
Slate Properties LLC
20155 NE Overlook Dr
Dundee OR 97115

56664
R3220AB01700
1733 Morrison LLC
C/O Venerable Group LLC
Portland OR 97232

56673
R3220AB01800
1733 Morrison LLC
C/O Venerable Group LLC
Portland OR 97232

56682
R3220AB01900
1733 Morrison LLC
C/O Venerable Group LLC
Portland OR 97232

56708
R3220AB02000
2401 E 2nd Avenue LLC
Lopiparo Group LLC
Portland OR 97212

Preliminary Report

Fidelity National Title - Oregon
900 SW 5th Avenue, Portland, OR 97204

Escrow Officer: Paula Kingsley
Email: Paula.Kingsley@fnf.com
Phone: 503-222-2424
File No.: 45142128362

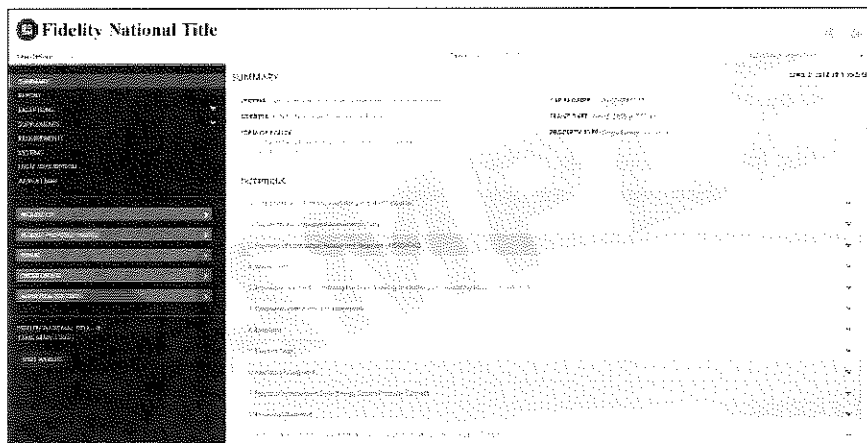
Property Address: 2251 E. Hancock Street, Newberg, OR 97132

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LiveLOOK title document delivery system is designed to provide 24/7 real-time access to all information related to a title insurance transaction.

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Fidelity National Title[®]

Company of Oregon

PRELIMINARY REPORT

In response to the application for a policy of title insurance referenced herein Fidelity National Title Company of Oregon hereby reports that it is prepared to issue, or cause to be issued, as of the specified date, a policy or policies of title insurance describing the land and the estate or interest hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage of said policy or policies are set forth in Exhibit One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Fidelity National Title Insurance Company, a/an Florida corporation.

Please read the exceptions shown or referred to herein and the Exceptions and Exclusions set forth in Exhibit One of this report carefully. The Exceptions and Exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

This preliminary report is for the exclusive use of the parties to the contemplated transaction, and the Company does not have any liability to any third parties nor any liability until the full premium is paid and a policy is issued. Until all necessary documents are placed of record, the Company reserves the right to amend or supplement this preliminary report.

Countersigned

A handwritten signature in black ink, appearing to read "Kaleen M. Hussen".



Fidelity National Title
Company of Oregon

900 SW 5th Avenue, Portland, OR 97204
(503)222-2424 FAX (503)227-2274

PRELIMINARY REPORT

ESCROW OFFICER: Paula Kingsley
Paula.Kingsley@fnf.com
503-222-2424

ORDER NO.: 45142128362

TITLE OFFICER: Deborah Clark
deborah.clark@titlegroup.fntg.com
(503)472-6101

TO: Fidelity National Title Company of Oregon
900 SW 5th Avenue
Portland, OR 97204

ESCROW LICENSE NO.: 901000243

OWNER/SELLER: Sima Enterprises, LLC

BUYER/BORROWER: Virginia Garcia Memorial Health Center

PROPERTY ADDRESS: 2251 E. Hancock Street, Newberg, OR 97132

EFFECTIVE DATE: October 11, 2021, 08:00 AM

1. THE POLICY AND ENDORSEMENTS TO BE ISSUED AND THE RELATED CHARGES ARE:

	<u>AMOUNT</u>	<u>PREMIUM</u>
ALTA Owner's Policy 2006	\$ 2,855,000.00	\$ 3,662.00
Owner's Standard (Short Term Rate)		
Government Lien Search		\$ 25.00

2. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Sima Enterprises, LLC, an Oregon limited liability company

4. THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON, AND IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT "A"
Legal Description

A tract of land in Section 20, Township 3 South, Range 2 West, Willamette Meridian, City of Newberg, Yamhill County, Oregon, and being part of that tract of land described in Deed from Siamak Eghlidi to Powell Built Homes, Inc., and recorded in Instrument No. 199707832, Yamhill County Deed Records, and being more particularly described as follows:

Beginning at the Northeast corner of said Powell Built Homes, Inc. tract, which is on record as being West 11.00 chains (726.00 feet) and North 4.91 chains (324.06 feet) from the Southeast corner of the Northwest one-quarter of the Richard Everest Conation Land Claim; thence South 00°14'14" West 137.09 feet, along the East line of said tract, to an iron rod and the true point of beginning; thence West 259.29 feet to an iron rod; thence South 00°15'54" West 159.13 feet to an iron rod on the North margin of Hancock Street; thence East 259.37 feet, along said margin, to the East line of said Powell tract; thence North 00°14'14" East 159.13 feet, along said line, to the true point of beginning.

AS OF THE DATE OF THIS REPORT, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:

GENERAL EXCEPTIONS:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests or claims, which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easement, which are not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment (of existing improvements located on the Land onto adjoining land or of existing improvements located on adjoining land onto the subject Land), encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the subject Land.
5. Any lien or right to a lien for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

SPECIFIC ITEMS AND EXCEPTIONS:

6. Unpaid Property Taxes are as follows:

Fiscal Year: 2021-2022
Amount: \$11,970.63, plus interest, if any
Levy Code: 29.0
Account No.: 56370
Map No.: R3220AB 00500

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

7. Taxes, including current year, have been assessed with an exemption. If the exempt status is terminated under the statute prior to the date on which the assessment roll becomes the tax roll in the year in which said taxes were assessed, an additional tax may be levied.

Exemption: 307.130-Literary/Charitable/Science
Tax Account No.: 56370

8. Rights of the public to any portion of the Land lying within the area commonly known as Hancock Street.
9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Owners of adjoining property
Purpose: Utilities
Recording Date: January 21, 2000
Recording No: 200000868
Affects: See document for specifics

10. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: City of Newberg
Purpose: Utilities
Recording Date: February 25, 2000
Recording No: 200002553
Affects: See document for specifics

11. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$1,100,000.00
Dated: May 25, 2021
Trustor/Grantor: Sima Enterprises, LLC, an Oregon limited liability company
Trustee: First American Title Company
Beneficiary: Oregon Community Credit Union
Loan No.: 1205000112
Recording Date: May 28, 2021
Recording No: 202111036

12. An assignment of all moneys due, or to become due as rental or otherwise from said Land, to secure payment of an indebtedness, shown below and upon the terms and conditions therein

Amount: \$1,100,000.00
Assigned to: Oregon Community Credit Union
Assigned By: Sima Enterprises, LLC
Recording Date: May 28, 2021
Recording No: 202111037

13. Existing leases and tenancies, if any, and any interests that may appear upon examination of such leases.

14. The Company has on file a copy of the Operating Agreement for Sima Enterprises, LLC, dated March 3, 2021. A copy of any amendments subsequent to the date of said Operating Agreement should be furnished for review prior to closing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

15. If requested to issue an extended coverage ALTA loan policy, the following matters must be addressed:

- a) The rights of tenants holding under unrecorded leases or tenancies
- b) Matters disclosed by a statement as to parties in possession and as to any construction, alterations or repairs to the Land within the last 75 days. The Company must be notified in the event that any funds are to be used for construction, alterations or repairs.
- c) Any facts which would be disclosed by an accurate survey of the Land

ADDITIONAL REQUIREMENTS/NOTES:

- A. In addition to the standard policy exceptions, the exceptions enumerated above shall appear on the final 2006 ALTA Policy unless removed prior to issuance.

- B. Note: No utility search has been made or will be made for water, sewer or storm drainage charges unless the City/Service District claims them as liens (i.e. foreclosable) and reflects them on its lien docket as of the date of closing. Buyers should check with the appropriate city bureau or water service district and obtain a billing cutoff. Such charges must be adjusted outside of escrow.
- C. Note: Effective January 1, 2008, Oregon law (ORS 314.258) mandates withholding of Oregon income taxes from sellers who do not continue to be Oregon residents or qualify for an exemption. Please contact your Escrow Closer for further information.
- D. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Virginia Garcia Memorial Health Center

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- E. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.
- F. Note: There are no matters against the party(ies) shown below which would appear as exceptions to coverage in a title insurance product:

Parties: Virginia Garcia Memorial Health Center, an Oregon non-profit corporation

- G. THE FOLLOWING NOTICE IS REQUIRED BY STATE LAW: YOU WILL BE REVIEWING, APPROVING AND SIGNING IMPORTANT DOCUMENTS AT CLOSING. LEGAL CONSEQUENCES FOLLOW FROM THE SELECTION AND USE OF THESE DOCUMENTS. YOU MAY CONSULT AN ATTORNEY ABOUT THESE DOCUMENTS. YOU SHOULD CONSULT AN ATTORNEY IF YOU HAVE QUESTIONS OR CONCERNS ABOUT THE TRANSACTION OR ABOUT THE DOCUMENTS. IF YOU WISH TO REVIEW TRANSACTION DOCUMENTS THAT YOU HAVE NOT SEEN, PLEASE CONTACT THE ESCROW AGENT.

H. Recording Charge (Per Document) is the following:

County	First Page	Each Additional Page
Yamhill	\$81.00	\$5.00

Note: When possible the company will record electronically. An additional charge of \$5.00 applies to each document that is recorded electronically.

Note: Please send any documents for recording to the following address:

Portland Title Group
Attn: Recorder
1433 SW 6th Ave.
Portland, OR. 97201

Please email your release to the following email address: or-ttc-yamhillrecording@ticortitle.com

I. Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

J. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

K. NOTE: IMPORTANT INFORMATION REGARDING PROPERTY TAX PAYMENTS:

Fiscal Year:	July 1st through June 30th
Taxes become a lien on real property, but are not yet payable:	July 1st
Taxes become certified and payable (approximately on this date):	October 15th
First one third payment of taxes is due:	November 15th
Second one third payment of taxes is due:	February 15th
Final payment of taxes is due:	May 15th

Discounts: If two thirds are paid by November 15th, a 2% discount will apply. If the full amount of the taxes are paid by November 15th, a 3% discount will apply.

Interest: Interest accrues as of the 15th of each month based on any amount that is unpaid by the due date. No interest is charged if the minimum amount is paid according to the above mentioned payment schedule.

EXHIBIT ONE

2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
 - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
 - Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;
 - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
 - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
 - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
 - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
 - Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;

- not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.



Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:

<http://www.fbi.gov>

Internet Crime Complaint Center:

<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

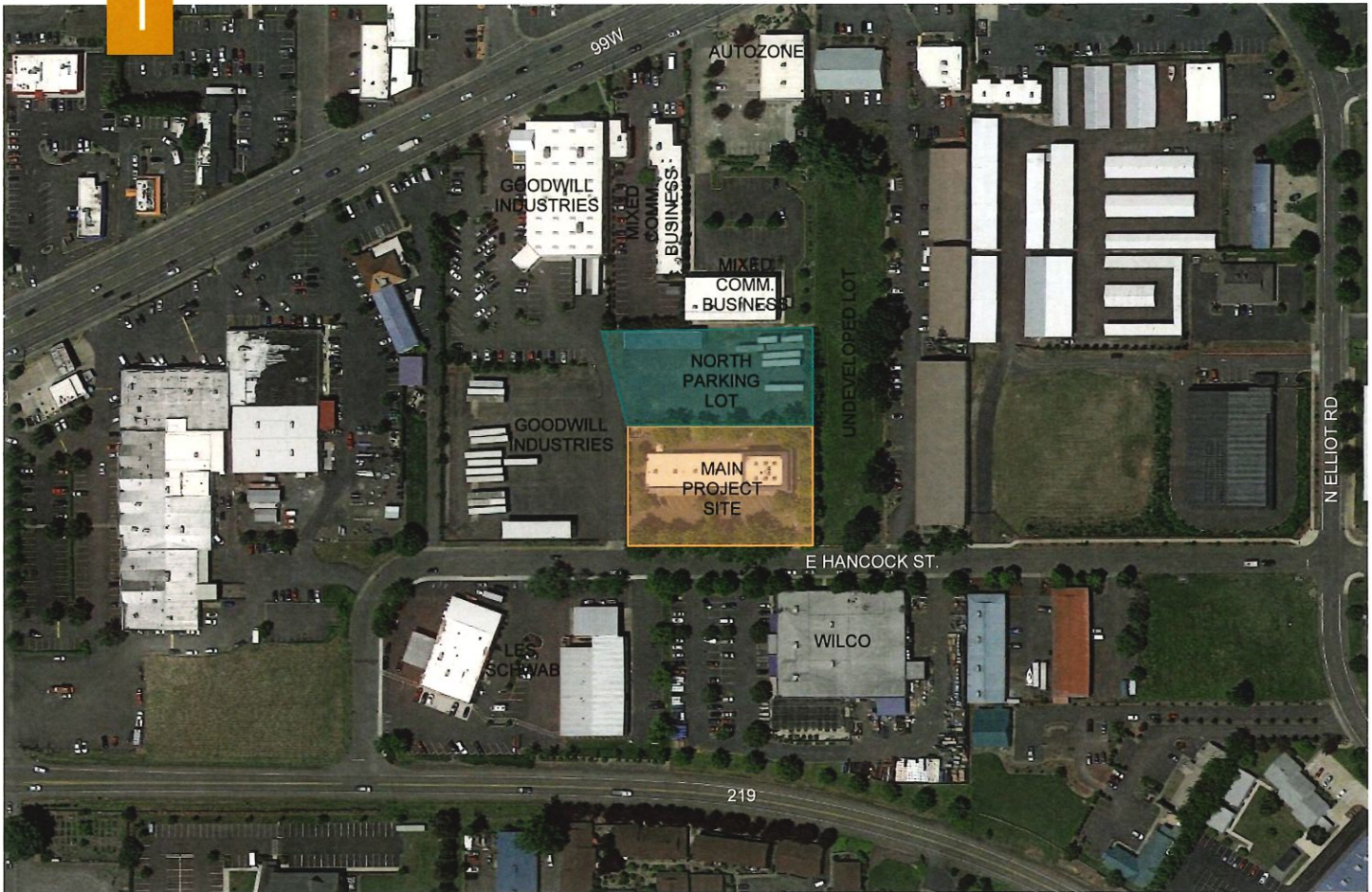


VIRGINIA GARCIA MEMORIAL HEALTH CENTER
NEWBERG WELLNESS CENTER
DESIGN REVIEW APPLICATION

SEPTEMBER 6, 2022

TABLE OF CONTENTS

- 1 | SITE AND ZONING INFORMATION
- 2 | PROJECT DESCRIPTION
- 3 | DESIGN DRAWINGS
- 4 | APPENDIX



1| SITE AND ZONING INFORMATION

MAIN PROJECT SITE

Address: 2251 E Hancock St, Newberg, OR 97132

Tax Lot: MAP 3 2 20AB #00500

Property Owner: Virginia Garcia Memorial Health Center

Zoning: C-2 Community Commercial

Existing Use: Medical Office

Proposed Use: Medical Office

Total Site Size: 41,223 sf

Existing Building Size: 13,107 sf

NORTH PARKING LOT

Tax Lot: MAP 3 2 20AB 00702

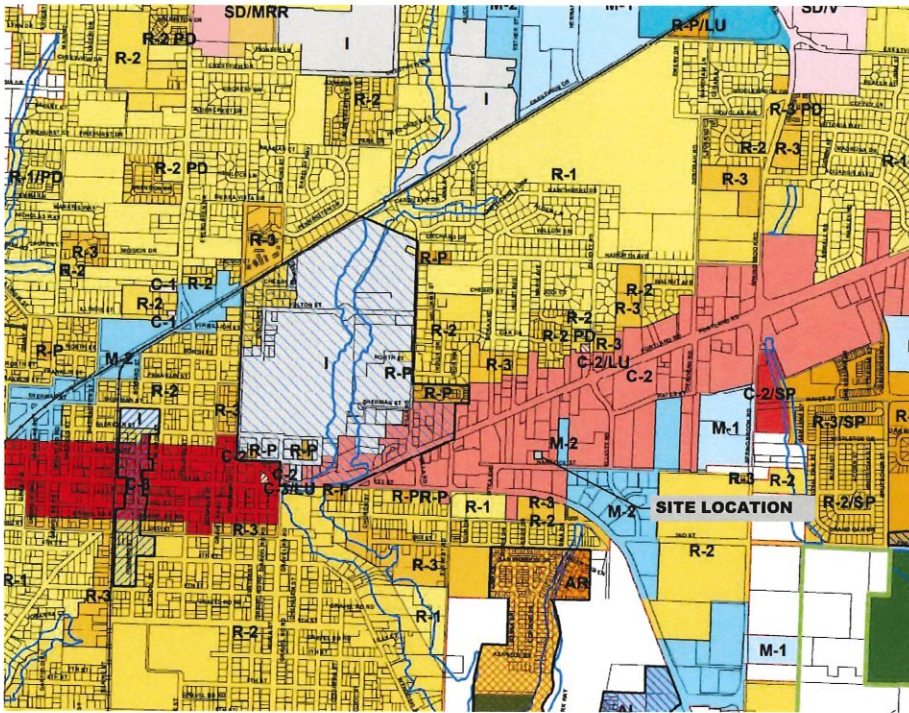
Property Owner: Goodwill Industries of the Columbia Willamette

Zoning: C-2 Community Commercial

Existing Use: Parking

Proposed Use: Parking

Total Site Size: 43,563 sf



ZONING

Zoning:	Both project sites are C-2 Community Commercial
Adjacent Site Zoning:	Both project sites are surrounded by C-2 Community Commercial
Setbacks:	Front yard setback - 10' min. Side yard setback - none
Landscape Coverage:	Required: 15% Provided: 25% North Lot Provided: 17% Main Lot
Height Limitation:	No building height limitation because neither abut residential
Expected Land Use Review:	Type II, major building addition
Off- Street Parking:	Medical/dental office 3.5 spaces per 1,000 gsf Required: 77 min; 92 max Provided: 86

Note: Building parking is split between the main project site and the north parking lot site. The north parking will be a long-term shared access agreement between land owners. Agreement between owners and the City of Newberg are ongoing at the time of the submittal. We are requesting for Design Review to commence prior to agreement finalization. Agreement by all three parties will need to be finalized prior to Design Review approval.

No designated employee parking is provided.

Bicycle Parking:	1 space for every 10,000 gsf Required: 3 Provided: 4 Short Term
Mailed Notice:	Mailed notice required for Type II at least 14 days prior to decision rendered.
Loading Berths:	Required: 2 Provided: 1 Note: See appendix for loading berth variance request.
Glazing Requirements:	40% on the ground floor facade facing public street; 36% provided Note: See appendix for glazing requirement variance. 20% on other ground floor facades not facing public street: Provided: North elevation 25%, East elevation 28%; West elevation 25%

2| PROJECT DESCRIPTION

EXISTING SITE - MAIN PROJECT SITE

The site was purchased by long term tenant Virginia Garcia Memorial Health Center in 2021 in hopes to expand the health, dental and wellness services they provide to the community.

The main building site has a long rectangular multi-tenant building, parking to the south, drive aisle on the east and west side and parking to the north. There are existing trees on the north, east and west side of the site. Trash enclosure is located on the west side of the site.

It is unknown when the existing building was built but presumably in the early 90s. The building has a colorful band of green mansard roofs and concrete pilasters that differentiate it from other buildings of the type.



Currently, the building has four tenants, moving west to east:

- VGMHC Medical Office
- County Mental Health Office
- VGMHC Dental Office
- Newberg WIC
- 2nd Floor - VGMHC Offices





EXISTING SITE - NORTH PARKING LOT

The north parking is owned by Goodwill Industries and Virginia Garcia Memorial Health Center will be leasing under a long-term lease. The site is fairly flat and is currently paved.

The site has a small lean-to structure that would be demolished as part of the new project plans.



THE NEIGHBORS

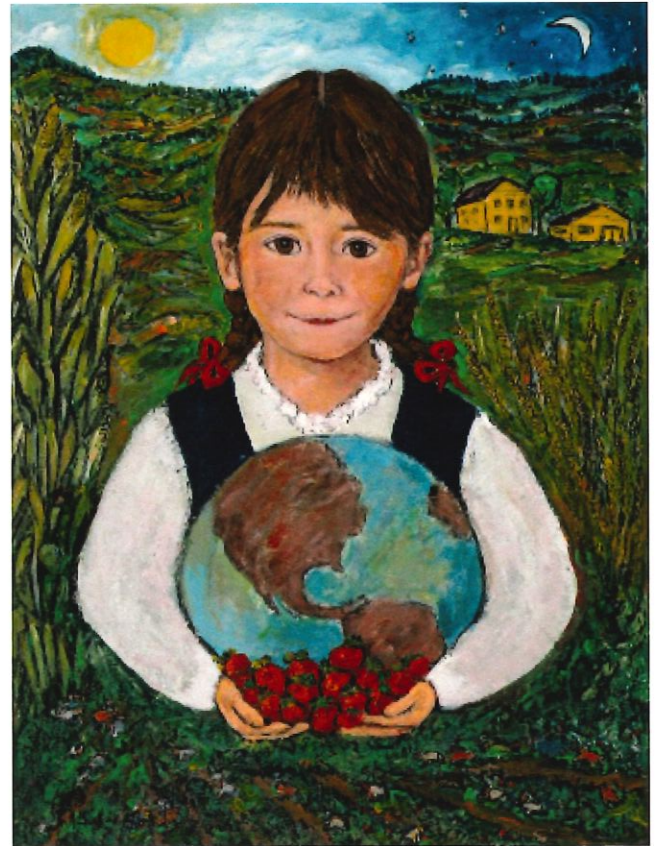
The surrounding neighbors consist of commercial and retail uses. All buildings are set back off the main street frontage. Hancock Street, the frontage along the southern boundary of the site, is not a major transit street and has low pedestrian traffic with intermittent pedestrian walkways.



VIRGINIA GARCIA MEMORIAL HEALTH CENTER

The mission of the Virginia Garcia Memorial Health Center, a non-profit, is to provide high quality, comprehensive, and culturally appropriate primary health care to the communities of Washington and Yamhill counties with a special emphasis on migrant and seasonal farmworkers and others with barriers to receiving health care.

- | We believe that health care is a human right and that treating the whole person results in a healthier outcome.
- | We are committed to providing a safe, culturally competent environment where our patient's diversity is celebrated and everyone is welcome.
- | We value our community and work every day to understand the needs of our patients through partnerships and innovative approaches to health care.
- | We strive to create an environment for our staff that encourages partnership. We understand that the work we do today ensures the health of our patients tomorrow.

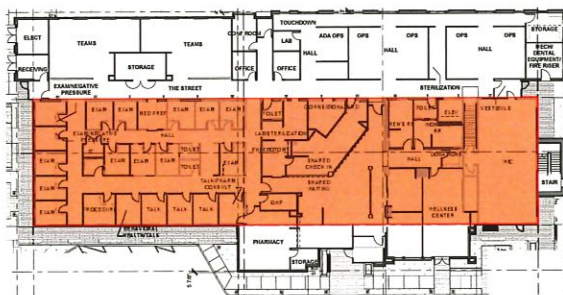


NEWBERG WELLNESS CENTER - INTERIOR

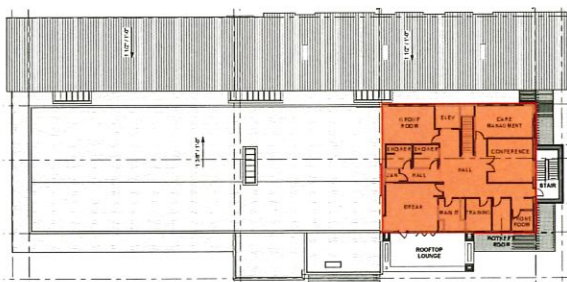
The project is to expand the existing building to accommodate the community needs for medical office, dental office and wellness. The existing building is 13,107 GSF. With the new addition the building will be 22,131 GSF. WIC Newberg, the east tenant, will remain in the building for the foreseeable future. The County Mental Health tenant, one of the middle tenants, will be vacating the building prior to construction start. Building expansion is expected to be about 9,024 GSF with primary expansion on the north and south sides of the building and the new stair tower on the east side of the site. Drive aisle and parking on the north, east and west are expected to be removed as part of this project.

Overall project program:

- | Medical office - 15 exam rooms, 1 procedure room and 5 talk rooms
- | Dental office - 9 dental operatories, sterilization and x-ray
- | Pharmacy
- | Lab services
- | Multi-purpose wellness center
- | Support spaces



New First Floor - existing building highlighted



New Second Floor - existing building highlighted

NEWBERG WELLNESS CENTER - DESIGN INSPIRATION

The direction given to the design team was to deliver a design that would connect to the Latinx community, the primary demographic of people served at this facility. To make this visual and design connection we have taken inspiration from the mid-century Mexican modernist designs of Luis Barragan and Ricardo Legorreta which pairs simple modern forms in saturated color with traditional materials like stone, stucco and heavy timber.

The work of Barragan is recognizable for its typical composition of low block forms, the use of bold colors, the connection of interior spaces to exterior landscape, the use of natural daylight, and the use of grids.

The work of Legorreta is typified by solid geometric shapes, the dramatic use of light and shadow, super saturated color, and perforated walls with gridded openings.

LEGORRETA

- Interplay of Light and Shadow
- Solid Geometric Shapes
- Striking Color Combinations of Earth Tones

BARRAGAN

- Solid Forms
- Bold Color
- Heavy Timber
- Grids
- Natural Light
- A Composition of Low Box Forms
- Connection to the Exterior and Landscape



Barragan - Casa



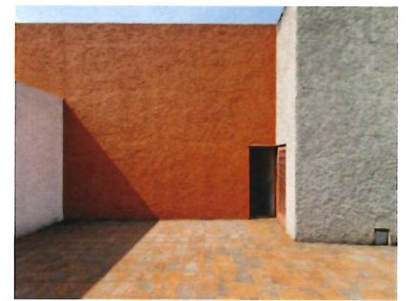
Barragan - Chapel of Capuccinas



Barragan - Jardin Del Pedregal



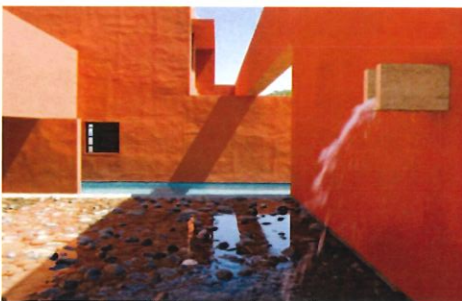
Barragan - Casa



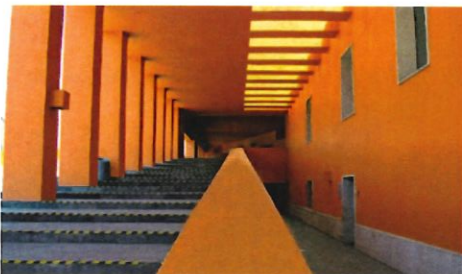
Barragan - Casa



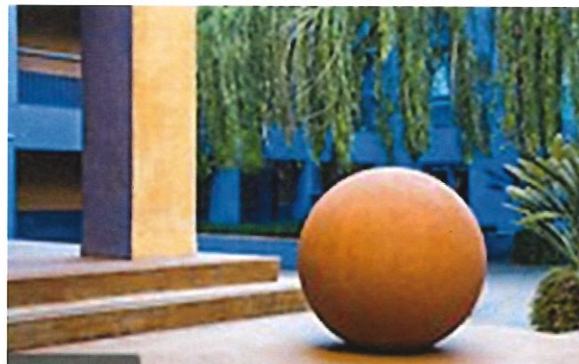
Legorreta - Camino Real Hotel



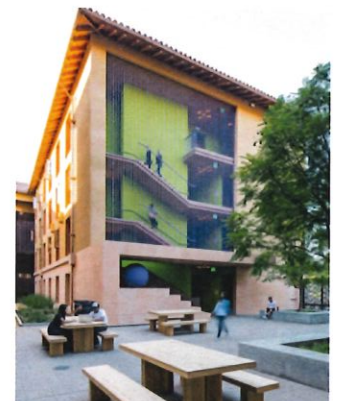
Legorreta - House Adrenaline



Legorreta - Centro Nacional De Las Artes



Legorreta - Stanford University

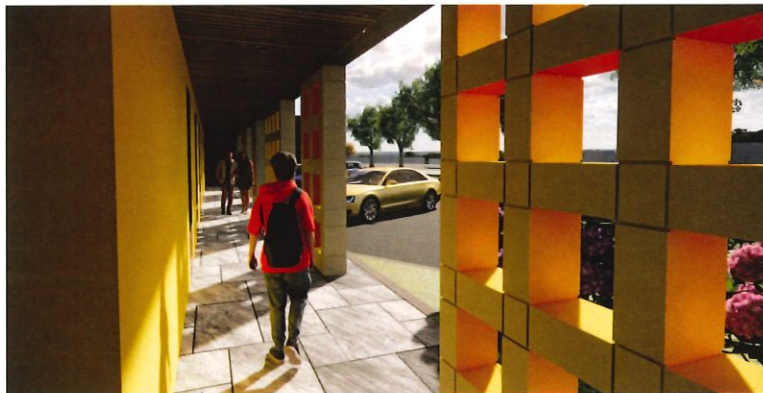
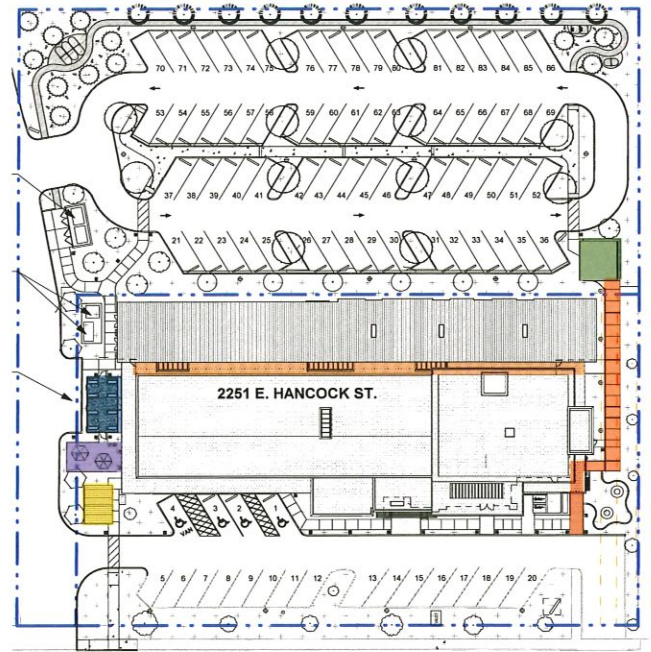


Legorreta - Stanford University

NEWBERG WELLNESS CENTER - EXTERIOR DESIGN

The main south elevation of the building design is composed of a collection of colored box forms ranging from tan color for the base building to a rich rust color for the pharmacy, wellness center and stair tower masses and a vibrant gold for the main entry. The collection of forms is connected to an arcade running around the west, south and east sides of the building. The arcades are punctuated by gridded screens that act as filters for the sun as well as provide colorful accents to the base building. This gives the design a bold and upbeat character while tying the design to the modernist inspiration and the vibrant Latinx culture. Above the main blocks is the mass of the wellness center punctuated by an outdoor terrace at the second floor that connects to the staff break area.

The west side of the lot strings together a series of outdoor programmed spaces along the arcade. On the north end is the west entry into "the Street" shown in orange, the main internal east/west circulation spine of the building. At the north end of the site outboard of the arcade is the community garden with raised beds for fresh food. To the south is an outdoor plaza with tables and seating for lunch breaks, stopping points for patients, or outdoor community outreach events like food drives. At the south end is a small pavilion for long term bike parking with a covered area for a bicycle repair tools for the community.



The east side of the building is dominated by the mass of the stair tower and arcade. Outboard of the building runs "the Boulevard", a wide heavily trafficked exterior walkway flanked by landscape. At the north end of the Boulevard is a trellised entry pavilion leading visitors from the north parking lot to the building entries on the south. This connects into a walking path to the north with future exercise equipment. At the south end of the Boulevard is a landscaped child play area with simple raised berms, a water feature and a bench.

The north elevation functions as a secondary front as it faces the north parking lot. The mass is a long bar punctuated with bands of windows and pops of color. The main goal is to pull the visitors around the building to the front entries using the Boulevard.



NEWBERG WELLNESS CENTER - SITE

BUILDING ENTRANCES AND MASSING

The existing building is set back from Hancock street. With the new addition, the building will still be set back from the primary street but will be more prominent. There will be three major entries oriented to the primary street - the main clinic entry into the waiting room for VGMHC, a secondary exit for entry into the wellness center for VGMHC and the main clinic entry into the waiting room for Newberg WIC.

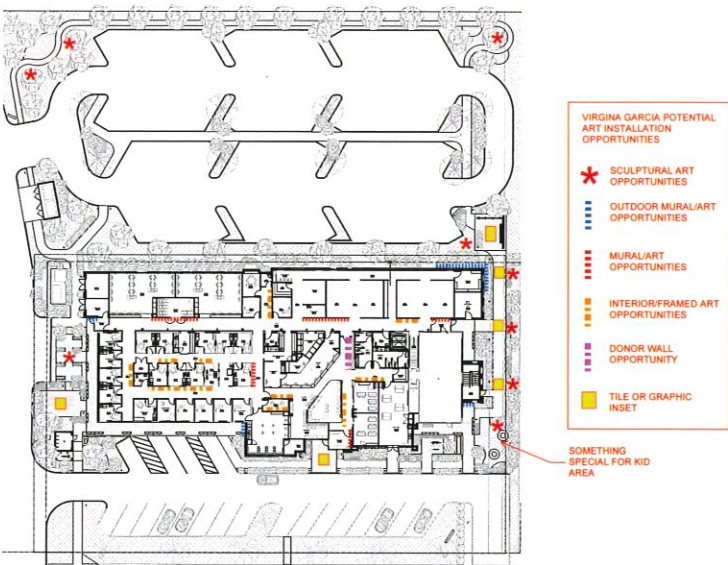
The building massing has multiple levels of height. The west side of the south facade is 1 story while the east side of the south facade is 2 story. Between the story change and the articulation of the building entries the massing is broken down to be pedestrian friendly.

ART AND MURALS

This project will emphasize culturally appropriate art that enhances the built environment and creates community. We have delineated several areas for potential art installations. Although we will likely not be able to place art at each location, we will be looking at each of the locations closely as we continue design.

As for murals our priority location is in the upper northeast corner of the building. We have an extensive wayfinding challenge of getting building visitors to park in the north parking lot and having to traverse the east walkway to get to the south side front door. Using a culturally appropriate mural will help emphasize wayfinding and provide interest on the north elevation which is muted compared to the south elevation.

Murals will be permitted through City of Newberg.



WINDOWS ON THE GROUND FLOOR FACADE ON PRIMARY STREET - SOUTH ELEVATION

Moving from west to east, the first block of rooms is the medical clinic. We have maximized the glazing to meet the needs of the clinic and to maintain structural integrity of the existing south wall. We have provided natural light at the end of the hallway with a nice large window. We have also created large window openings at the procedure room and talk rooms. Between conflicts of wall mounted equipment and balancing the patient privacy we feel we have maximized the square footage in this area.

The next space to the east is the pharmacy space. Security of the space is the utmost importance since they will be storing narcotics. We have provided four punched openings high up in the wall to allow for natural light while maintaining security to the space.

The next space to the east is the waiting room. We have maximized the glazing with a full storefront glazed wall while maintaining the entry portal.

The next space to the east is the wellness center. We have a significant amount of glazing in the room but still want to provide patient privacy. In particular, we have a solid wall around the teaching kitchen so that people can learn basic cooking skills out of the view of the public.

The next space to the east is the Newberg WIC space. They are an existing tenant and we are proposing to leave the glazing as currently constructed.

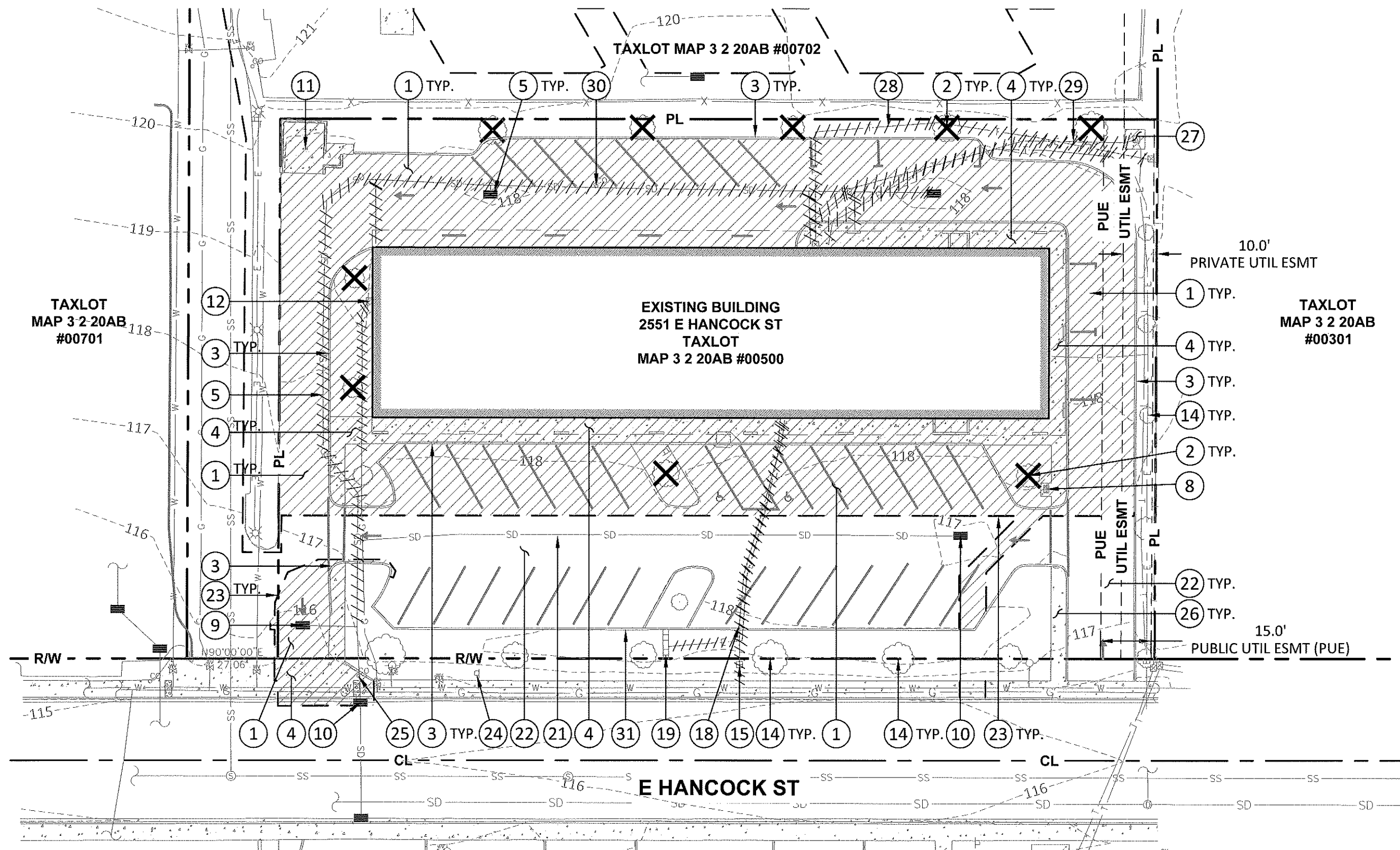
The last space to the east is the new stair tower. We have provided punched openings at the stairs in line with the architectural language for the building.

Because of the use of the spaces along the south elevation, we feel we have maximized the glazing within programmatic reason but are falling short of the required 40%. Please see the variance paperwork in the appendix.

3| DESIGN DRAWINGS

- | Cover
- | C1.0 Main Site - Existing Conditions and Demolition Plan
- | C1.1 Main Site - Demolition Plan Notes
- | C2.0 Main Site - Civil Site, Grading, Utility Plan
- | C2.1 Main site - Construction notes
- | C1.0A North Lot - Existing Conditions and Demolition Plan
- | C1.1A North Lot - Demolition Plan Notes
- | C2.0A North Lot - Civil Site, Grading, Utility Plan
- | C2.1A North Lot - Construction Notes
- | A1.0 Overall Site Plan
- | A1.1 North Parking Lot Plan
- | A1.2 Main Site Plan
- | A2.1 First Floor Plan
- | A2.2 Second Floor Plan
- | A2.3 Roof Plan
- | A3.1 North and South Elevations
- | A3.2 East and West Elevations
- | A7.1 Site Structures
- | A7.2 Site Structures
- | A7.3 Site Structures
- | A7.4 Site Structures
- | A7.5 Site Structures
- | A7.6 Signage Details
- | L1.01 Materials Plan - South
- | L1.02 Materials Plan - North
- | L2.01 Preliminary Grading Plan - South
- | L2.02 Preliminary Grading Plan - North
- | L3.00 Planting Schedule & Notes
- | L3.02 Planting Plan - South
- | L3.03 Planting Plan - North
- | E1.0 Site Plan - Lighting - North
- | E1.1 Site Plan - Lighting - South
- | E1.2 Site Plan - Lighting - North - Photometrics
- | E1.3 Site Plan - Lighting - South - Photometrics





PLAN VIEW

SCALE: 1" = 30'

VIRGINIA GARCIA NEWBERG CLINIC

21162 09/06/22

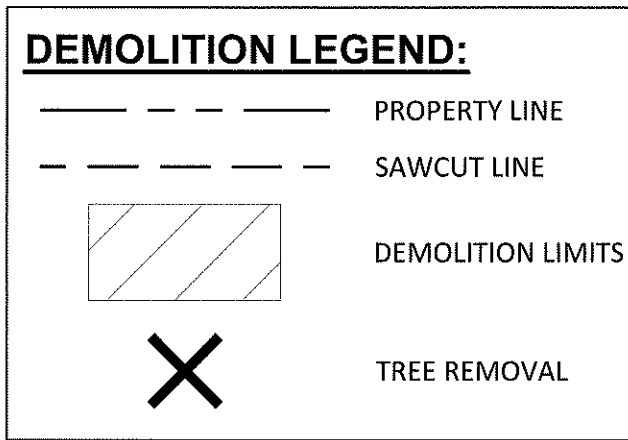
Harper Houf Peterson Righellis Inc.
ENGINEERS ARCHITECTS
 265 SE Spokane Street, Suite 200, Portland, OR 97202
 phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

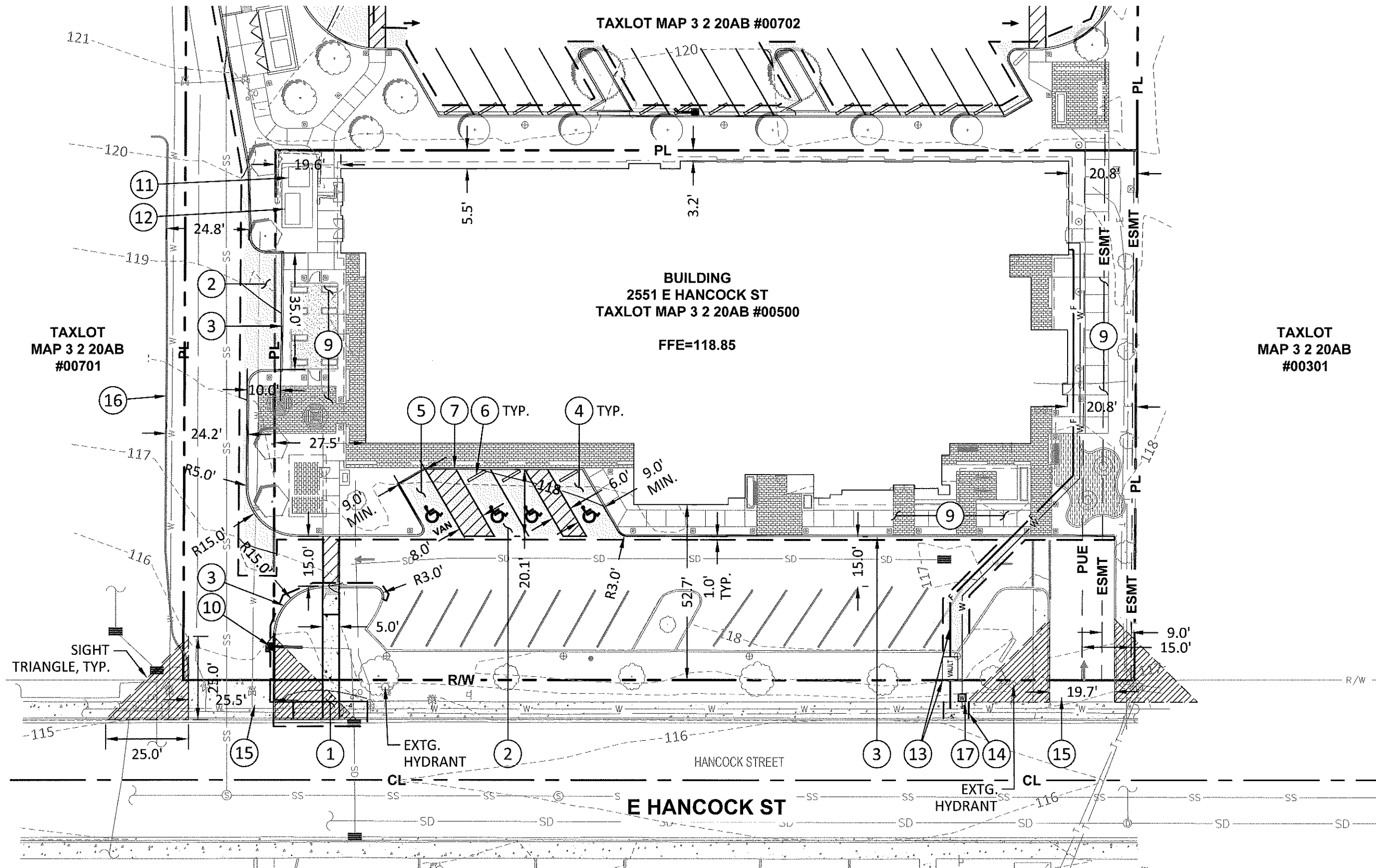
Scott Edwards Architecture

C1.0 MAIN SITE - EXISTING CONDITIONS AND DEMOLITION PLAN

DEMOLITION NOTES:

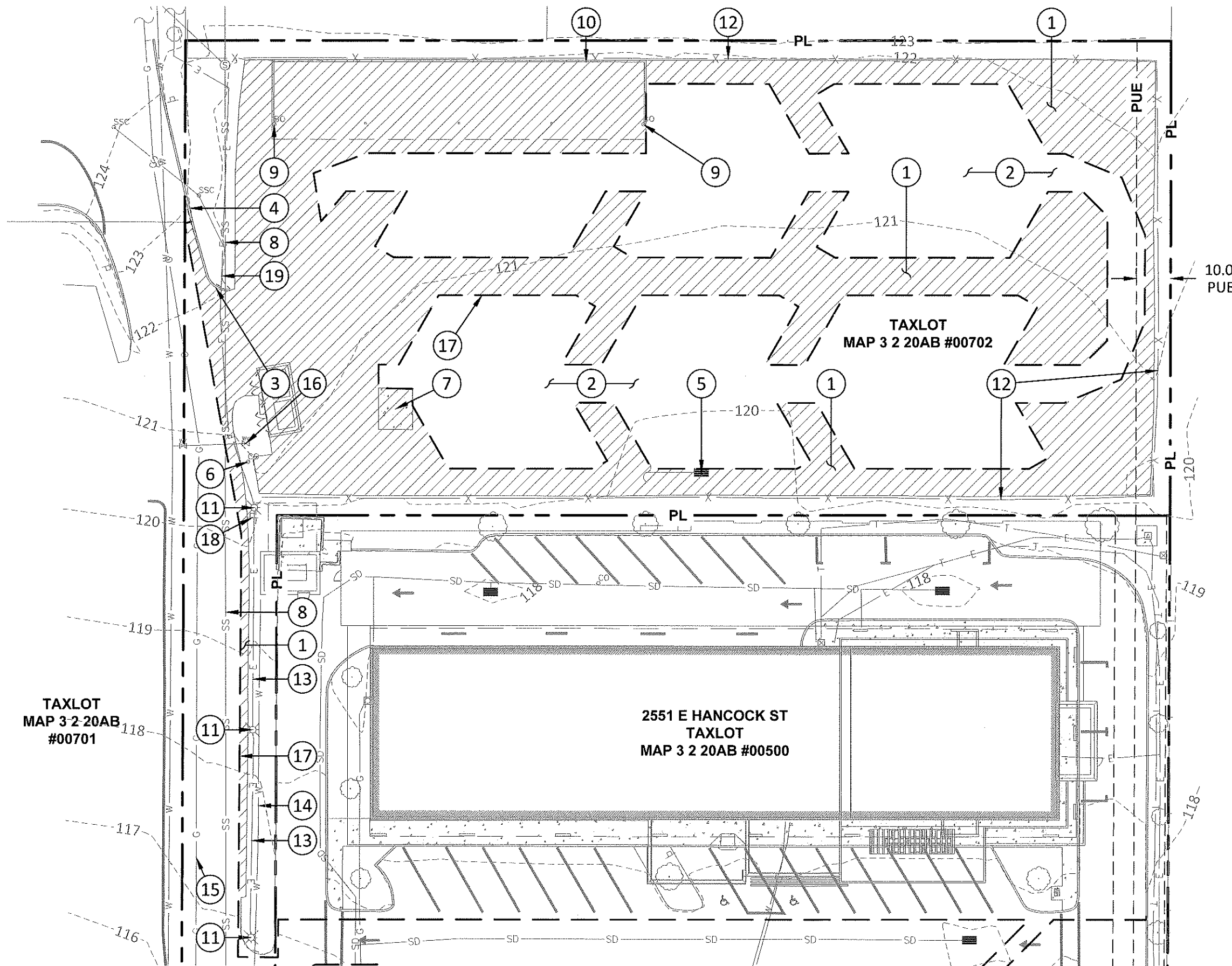
- ① REMOVE EXISTING ASPHALT SECTION.
- ② REMOVE EXISTING TREE.
- ③ REMOVE EXISTING CURB.
- ④ REMOVE EXISTING SIDEWALK SECTION.
- ⑤ EXISTING CATCH BASIN AND STORM LINES TO BE REMOVED.
- ⑧ REMOVE EXISTING SHARED-USE MAILBOX.
- ⑨ REMOVE EXISTING CATCH BASIN.
- ⑩ EXISTING CATCH BASIN TO REMAIN. PROTECT IN PLACE.
- ⑪ EXISTING TRASH ENCLOSURE TO BE DEMOLISHED.
- ⑫ EXISTING GAS METER TO BE RELOCATED. COORDINATE WITH PLUMBING AND NW NATURAL.
- ⑭ EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- ⑮ EXISTING 1.5" WATER METER TO BE REMOVED. COORDINATE WITH CITY OF NEWBERG.
- ⑱ EXISTING WATER SERVICE LINE TO REMAIN. PROTECT IN PLACE.
- ⑲ REMOVE EXISTING MONUMENT SIGN.
- ⑳ EXISTING STORM LINE TO REMAIN. PROTECT IN PLACE.
- ㉑ EXISTING ASPHALT TO REMAIN. PROTECT IN PLACE.
- ㉒ SAWCUT LIMITS.
- ㉓ EXISTING SIGN TO REMAIN. PROTECT IN PLACE.
- ㉔ EXISTING CLEANOUT AND STORM LINE TO REMAIN. PROTECT IN PLACE.
- ㉕ EXISTING SIDEWALK TO REMAIN. PROTECT IN PLACE.
- ㉖ REMOVE EXISTING TRANSFORMER AND CONCRETE PAD. CONTRACTOR TO COORDINATE WITH PGE PRIOR TO REMOVAL.
- ㉗ REMOVE EXISTING COMMUNICATIONS LINE. CONTRACTOR TO COORDINATE WITH FRANCHISE OWNER PRIOR TO REMOVAL.
- ㉘ REMOVE EXISTING UNDERGROUND POWER LINE. CONTRACTOR TO COORDINATE WITH PGE PRIOR TO REMOVAL.
- ㉙ REMOVE EXISTING STORM CLEANOUT
- ㉚ EXISTING CURB TO REMAIN. PROTECT IN PLACE.





CONSTRUCTION NOTES:

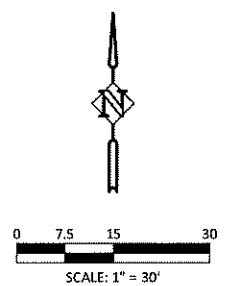
- ① CONCRETE SIDEWALK SECTION.
- ② ASPHALT PAVEMENT SECTION.
- ③ CONSTRUCT STANDARD CONCRETE CURB.
- ④ CONSTRUCT ACCESSIBLE PARKING STALL SIGNING AND STRIPING.
- ⑤ CONSTRUCT VAN ACCESSIBLE PARKING STALL SIGNING AND STRIPING.
- ⑥ INSTALL CONCRETE WHEEL STOP.
- ⑦ CONSTRUCT FLUSH CURB.
- ⑨ PEDESTRIAN & LANDSCAPE AREAS, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ⑩ INSTALL TRAPPED CATCH BASIN. CONNECT TO EXISTING STORM LEAD.
- ⑪ PROPOSED ELECTRICAL TRANSFORMER.
- ⑫ PROPOSED GENERATOR.
- ⑬ PROPOSED FIRE SERVICE TAP, BACKFLOW, VAULT, AND D.I.P FIRE SERVICE TO BUILDING.
- ⑭ REPAIR EXISTING PUBLIC SIDEWALK.
- ⑮ EXISTING DRIVEWAY TO REMAIN.
- ⑯ EXISTING DRIVE AISLE PAVEMENT STRIPING TO REMAIN.
- ⑰ NEW 1.5" WATER SERVICE AND METER PER CITY STANDARD DRAWING 309. COORDINATE WITH CITY OF NEWBERG.



TAXLOT
MAP 3 2 20AB
#00301

TAXLOT
MAP 3 2 20AB
#00701

2551 E HANCOCK ST
TAXLOT
MAP 3 2 20AB #00500



HP Harper
Houf Peterson
Righellis Inc.
ENGINEERS ARCHITECTS PLANNERS
205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hpr.com fax: 503.221.1171

PLAN VIEW
SCALE: 1" = 30'

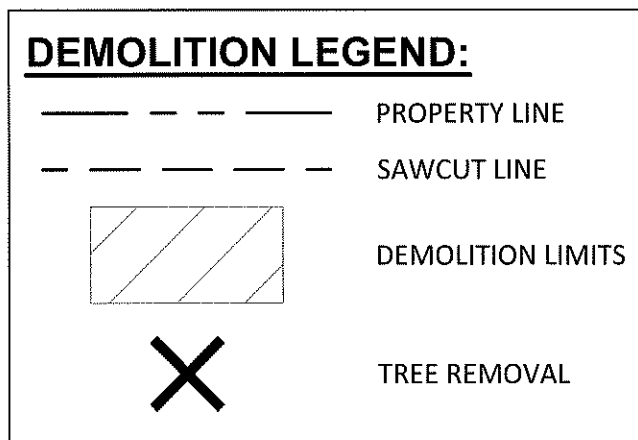
VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

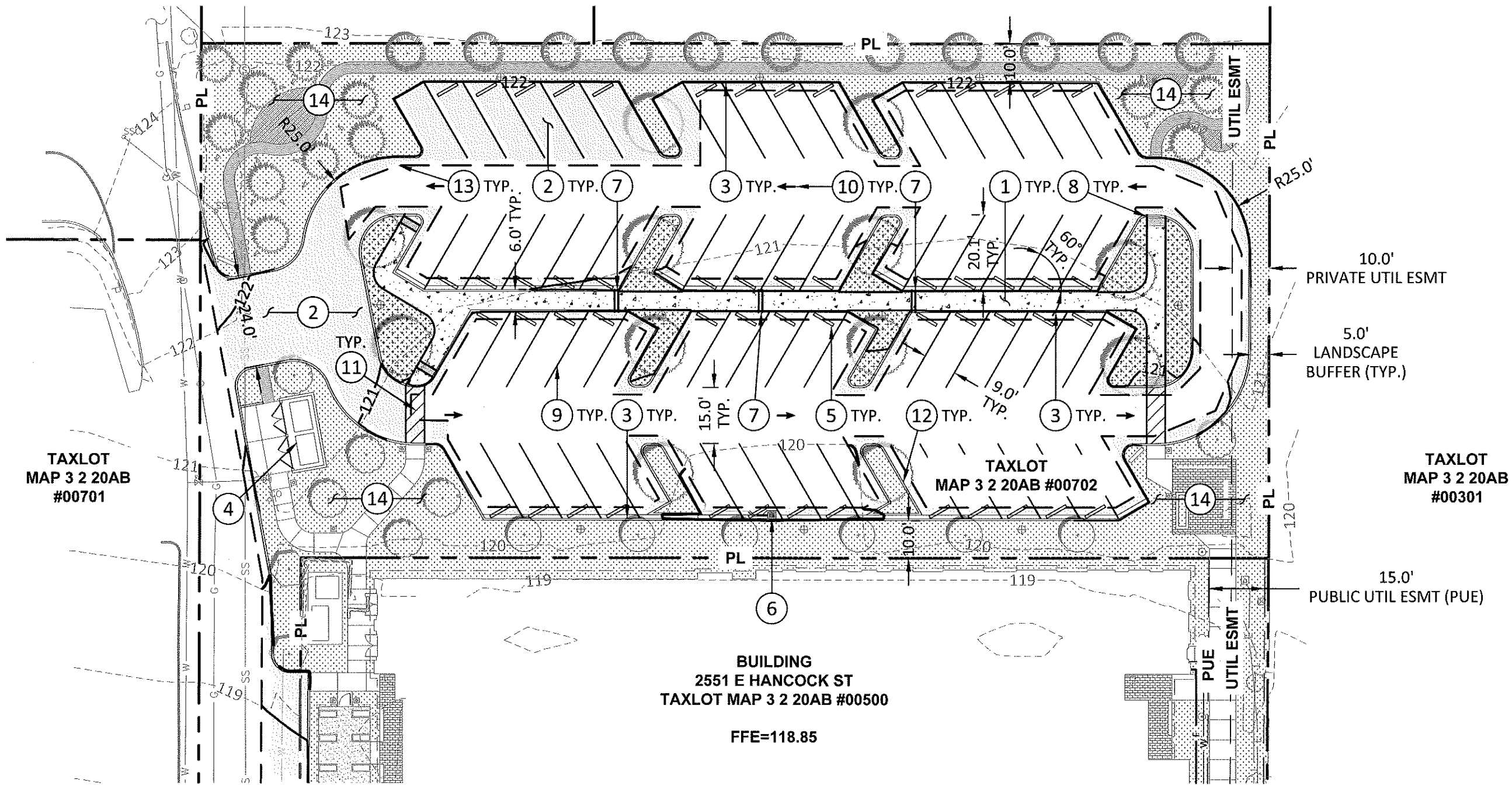
C1.0A NORTH LOT - EXISTING CONDITIONS AND DEMOLITION
PLAN

**Scott
Edwards
Architecture**

DEMOLITION NOTES:

- ① REMOVE EXISTING ASPHALT SECTION.
- ② EXISTING ASPHALT TO REMAIN. PROTECT IN PLACE.
- ③ REMOVE EXISTING CURB.
- ④ EXISTING CURB TO REMAIN. PROTECT IN PLACE.
- ⑤ REMOVE EXISTING CATCH BASIN. PRESERVE EXISTING STORM LINE FOR FUTURE CONNECTION.
- ⑥ EXISTING CLEANOUT AND STORM LINE TO REMAIN. PROTECT IN PLACE.
- ⑦ REMOVE EXISTING CONCRETE SECTION.
- ⑧ EXISTING SANITARY LINE TO REMAIN. PROTECT IN PLACE.
- ⑨ REMOVE EXISTING BOLLARD.
- ⑩ REMOVE EXISTING STRUCTURE.
- ⑪ REMOVE EXISTING LIGHT POST.
- ⑫ REMOVE EXISTING FENCE.
- ⑬ REMOVE EXISTING UNDERGROUND POWER LINE.
- ⑭ EXISTING WATER LINE TO REMAIN. PROTECT IN PLACE.
- ⑮ EXISTING GAS LINE TO REMAIN. PROTECT IN PLACE.
- ⑯ EXISTING WATER VALVE TO REMAIN. PROTECT IN PLACE.
- ⑰ SAWCUT LIMITS.
- ⑱ REMOVE EXISTING SIGN.
- ⑲ EXISTING UNDERGROUND POWER LINE TO REMAIN. PROTECT IN PLACE.





TAXLOT
MAP 3 2 20AB
#00701

TAXLOT
MAP 3 2 20AB #00702

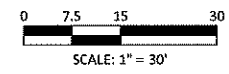
TAXLOT
MAP 3 2 20AB
#00301

BUILDING
2551 E HANCOCK ST
TAXLOT MAP 3 2 20AB #00500
FFE=118.85

10.0'
PRIVATE UTIL ESMT

5.0'
LANDSCAPE
BUFFER (TYP.)

15.0'
PUBLIC UTIL ESMT (PUE)



HHPR Harper
Houf Peterson
Righellis Inc.
ENGINEERS/PLANNERS
200 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

C2.0A NORTH LOT - CIVIL SITE, GRADING, UTILITY PLAN

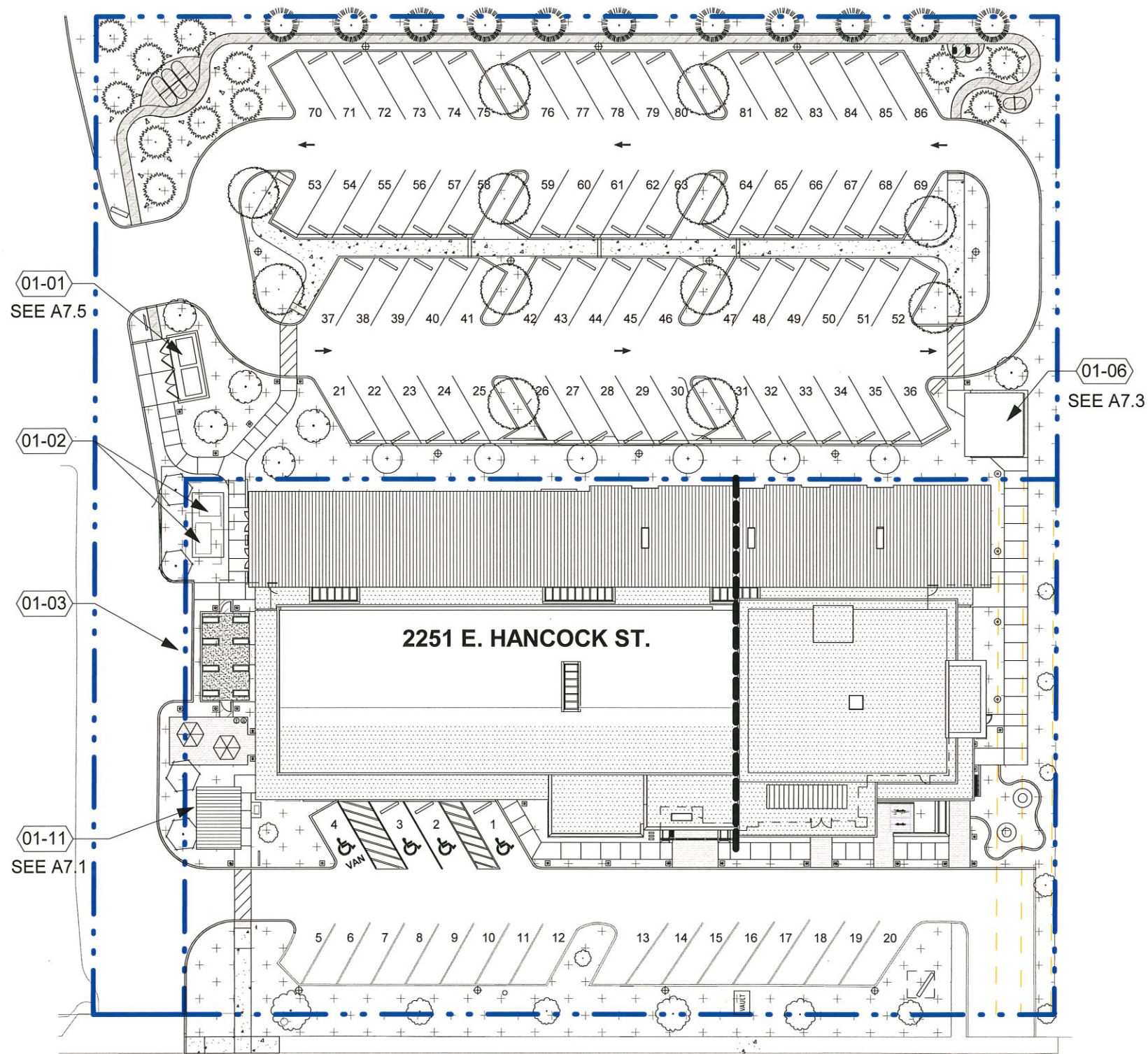
PLAN VIEW
SCALE: 1" = 30'

VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

**Scott
Edwards
Architecture**

CONSTRUCTION NOTES:

- ① CONCRETE SIDEWALK SECTION.
- ② ASPHALT PAVEMENT SECTION.
- ③ CONSTRUCT STANDARD CONCRETE CURB.
- ④ PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- ⑤ INSTALL CONCRETE WHEEL STOP.
- ⑥ CONSTRUCT TRAPPED CATCH BASIN. CONNECT TO EXISTING STORM LEAD.
- ⑦ CONSTRUCT CONCRETE DRAINAGE FLOW-THROUGH CHANNEL UNDER SIDEWALK.
- ⑧ CONSTRUCT PEDESTRIAN CURB RAMP.
- ⑨ CONSTRUCT STANDARD PARKING STALL STRIPING.
- ⑩ CONSTRUCT WHITE TRAFFIC ARROW SYMBOL.
- ⑪ CONSTRUCT WHITE CROSS-HATCH CROSSWALK STRIPING.
- ⑫ CONSTRUCT LANDSCAPE ISLAND WITH DRAINAGE FLOW-THROUGH SCUPPER.
- ⑬ SAWCUT LIMITS.
- ⑭ PEDESTRIAN & LANDSCAPE AREAS, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.



PARKING CALCULATION

3.5 PARKING SPACES PER 1,000 SF REQUIRED

TOTAL BUILDING AREA = 22,131 SF

22 X 3.5 = 77
77 TOTAL SPACES REQUIRED

MAX PARKING SPACES ALLOWED = 1 1/5 x
MINIMUM REQUIRED

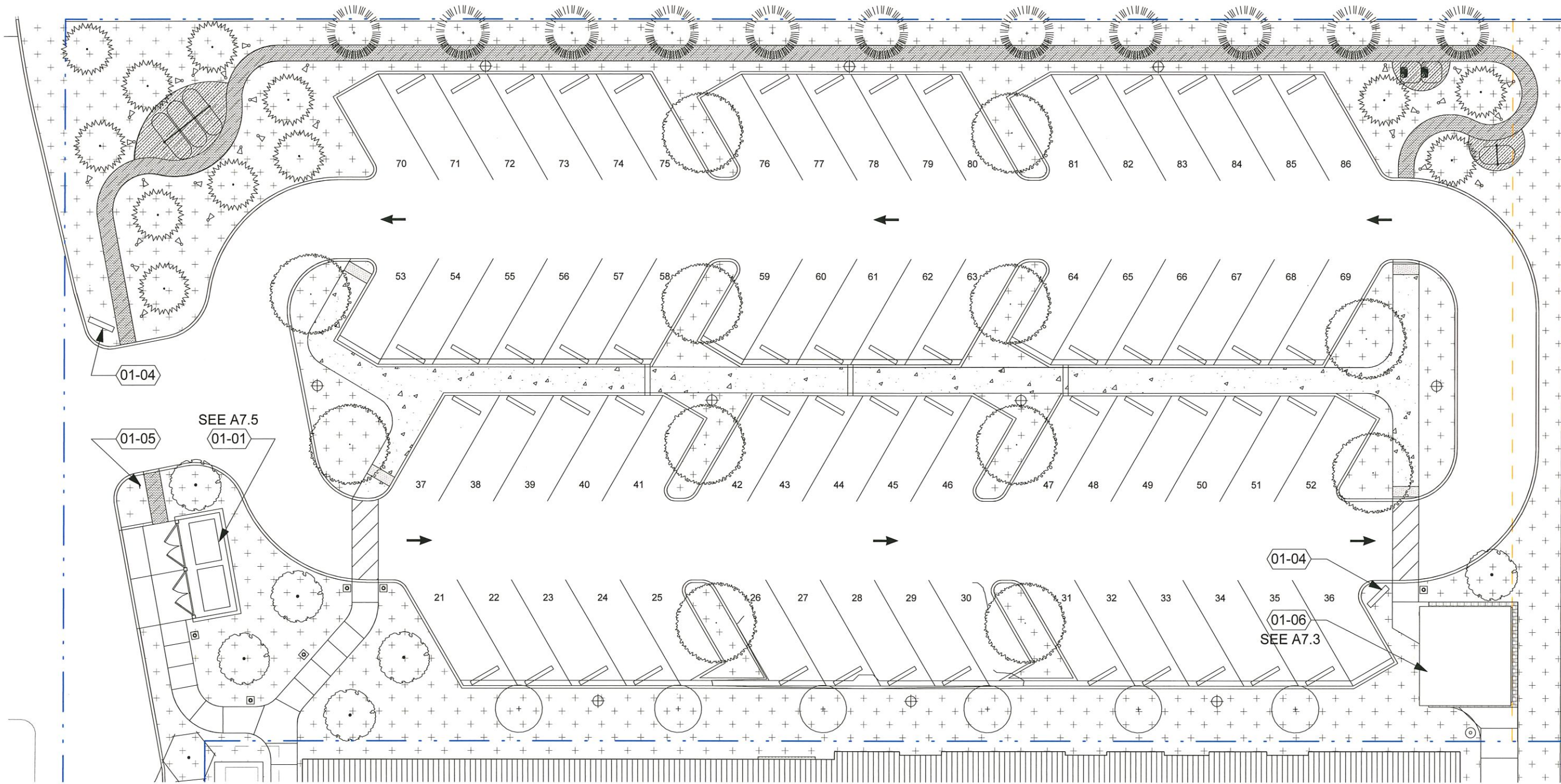
77 X 1.2 = 92.4
92 MAXIMUM SPACES ALLOWED

20 (E) + 66 = 86 PROVIDED

KEYNOTES 07-02

- 01-01 TRASH ENCLOSURE WITH ACCESS FROM SERVICE DRIVE
- 01-02 TRANSFORMER AND GENERATOR
- 01-03 LOADING BERTH
- 01-04 MONUMENT SIGN
- 01-05 DIRECTIONAL SIGNAGE
- 01-06 SITE ENTRY PAVILION
- 01-07 NEW CURB AND LANDSCAPING
- 01-08 COMMUNITY GARDEN BEDS
- 01-09 OUTDOOR SEATING AREA
- 01-10 MAILBOXES
- 01-11 LONG-TERM BIKE PARKING - 4 SPACES
- 01-12 ACCESSIBLE ROUTE
- 01-13 NEW PARKING AND STRIPING - SEE CIVIL
- 01-14 MAIN BUILDING ENTRY
- 01-16 KIDS' PLAY AREA
- 01-17 WATER FEATURE
- 01-19 SHORT-TERM BIKE PARKING - 4 SPACES
- 01-20 EXISTING PARKING TO REMAIN
- 01-21 EXISTING FIRE HYDRANT

E. HANCOCK ST.

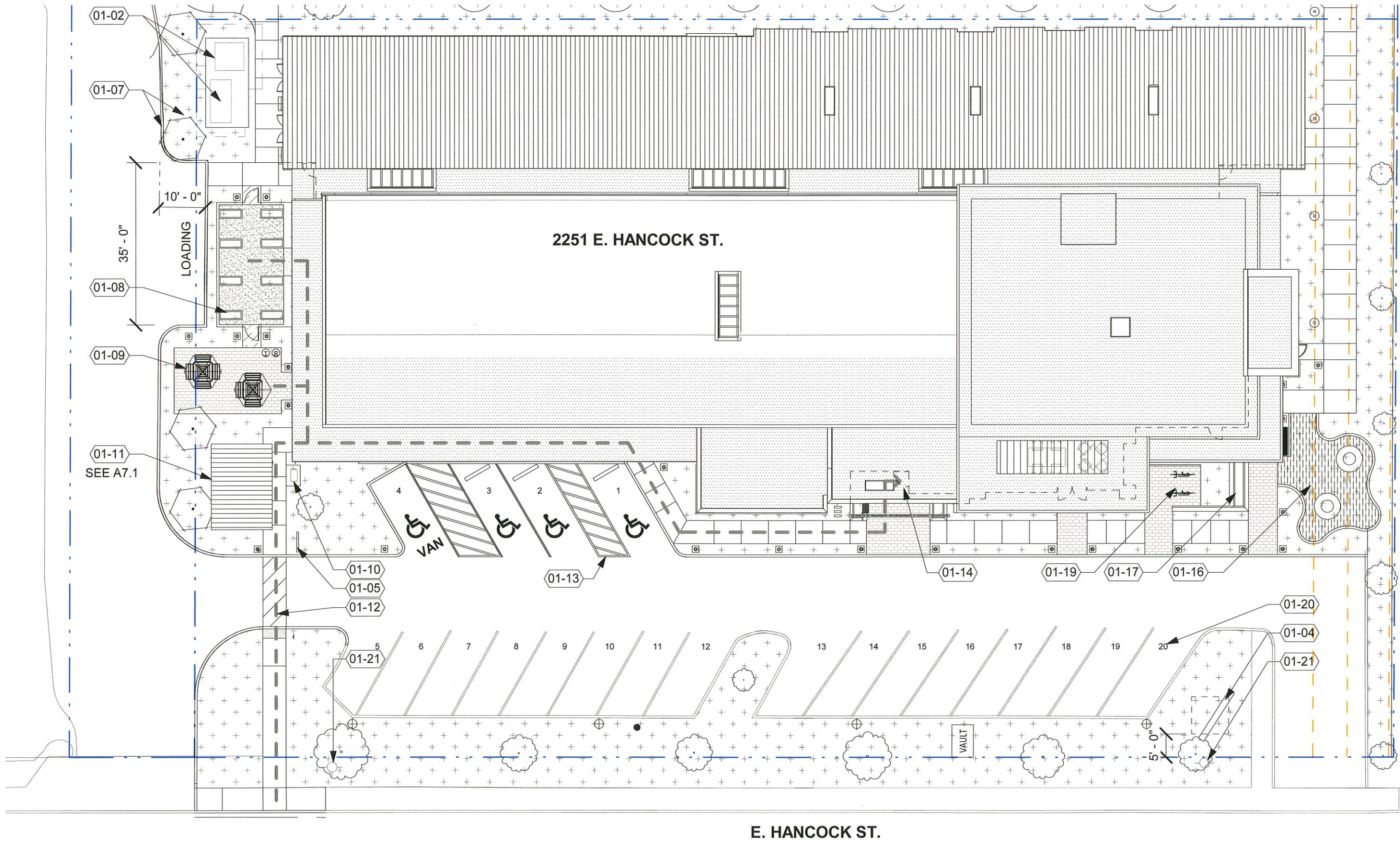


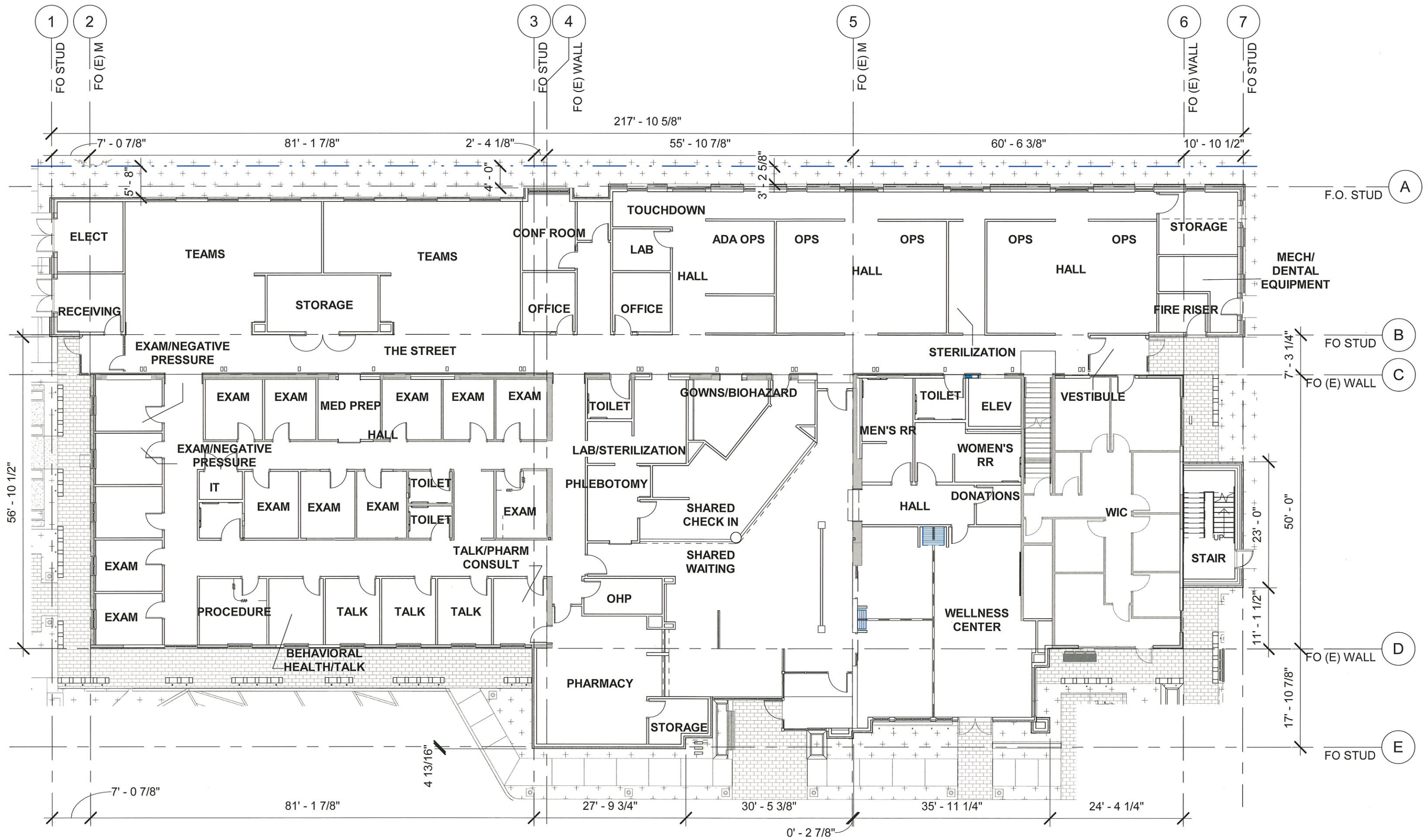
NORTH PARKING LOT PLAN
A1.1



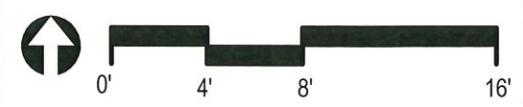
VIRGINIA GARCIA NEWBERG CLINIC
 21162 09/06/22





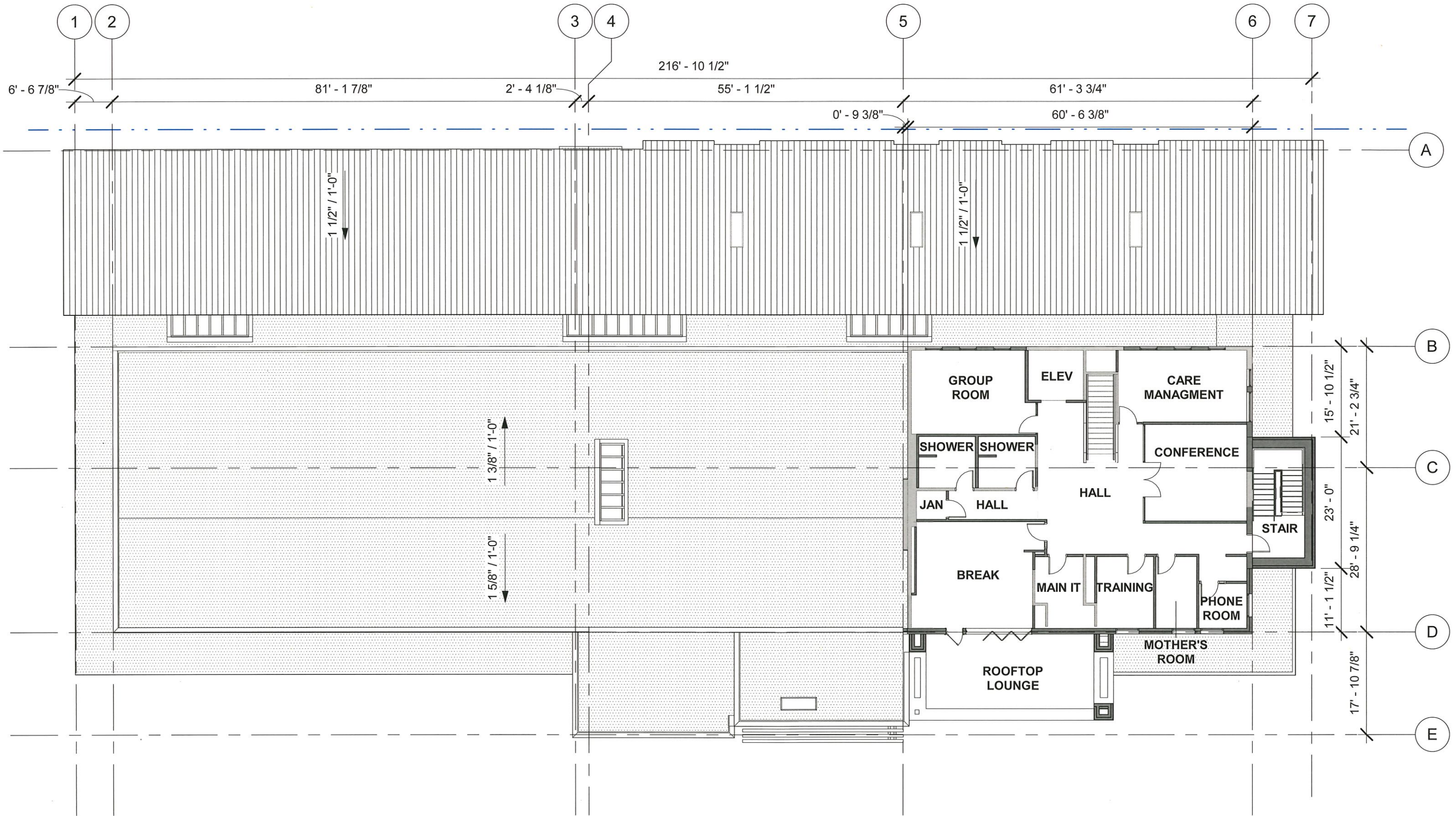


FIRST FLOOR PLAN
A2.1



VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22



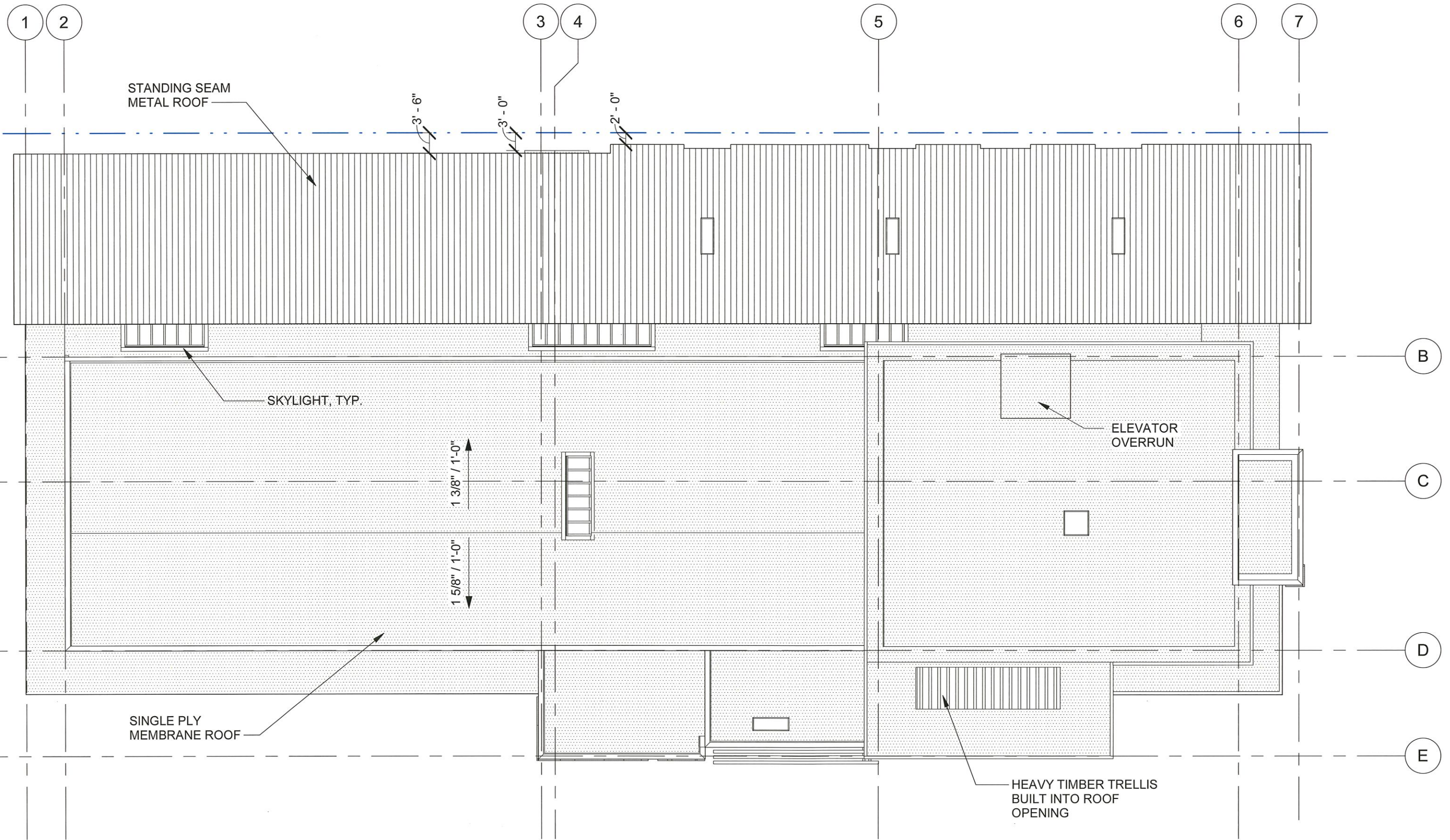


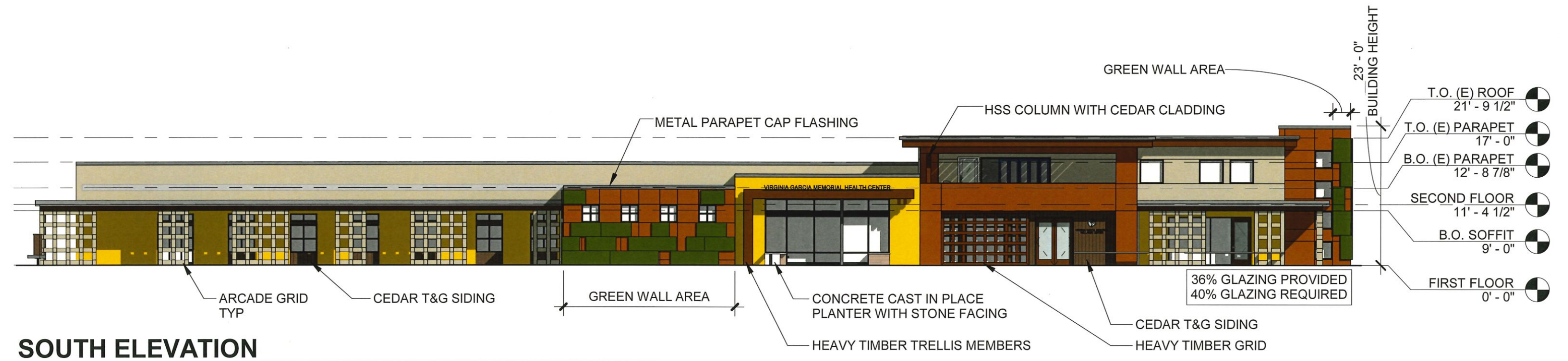
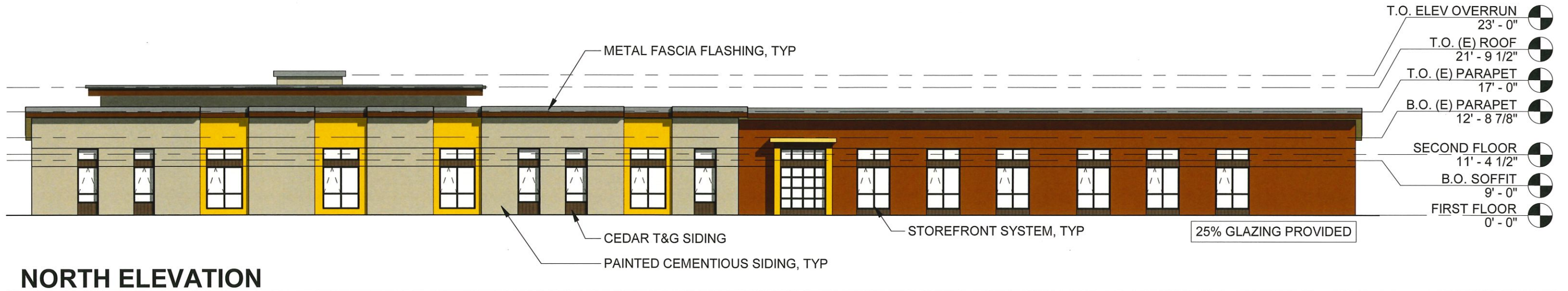
SECOND FLOOR PLAN
A2.2

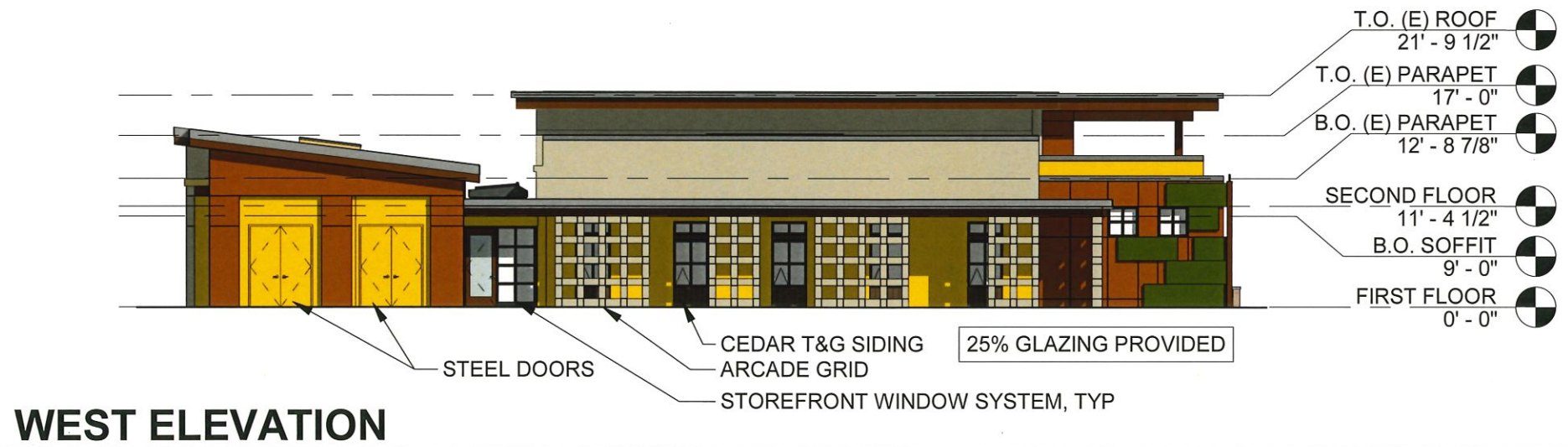
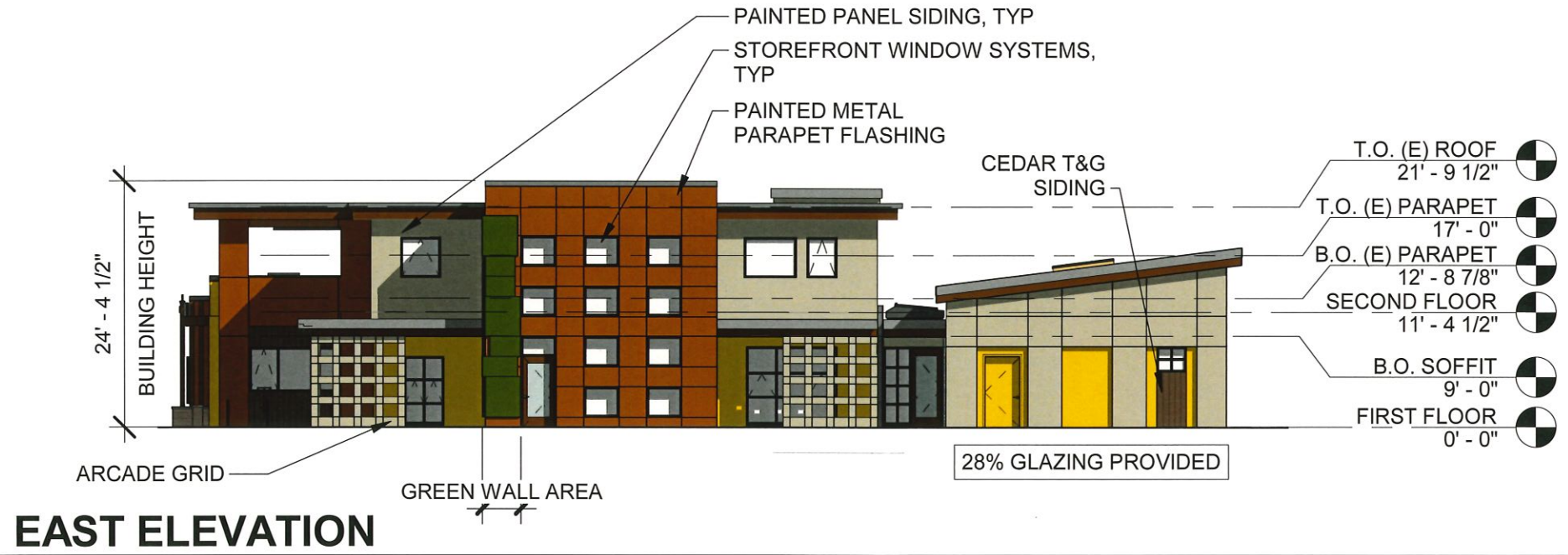


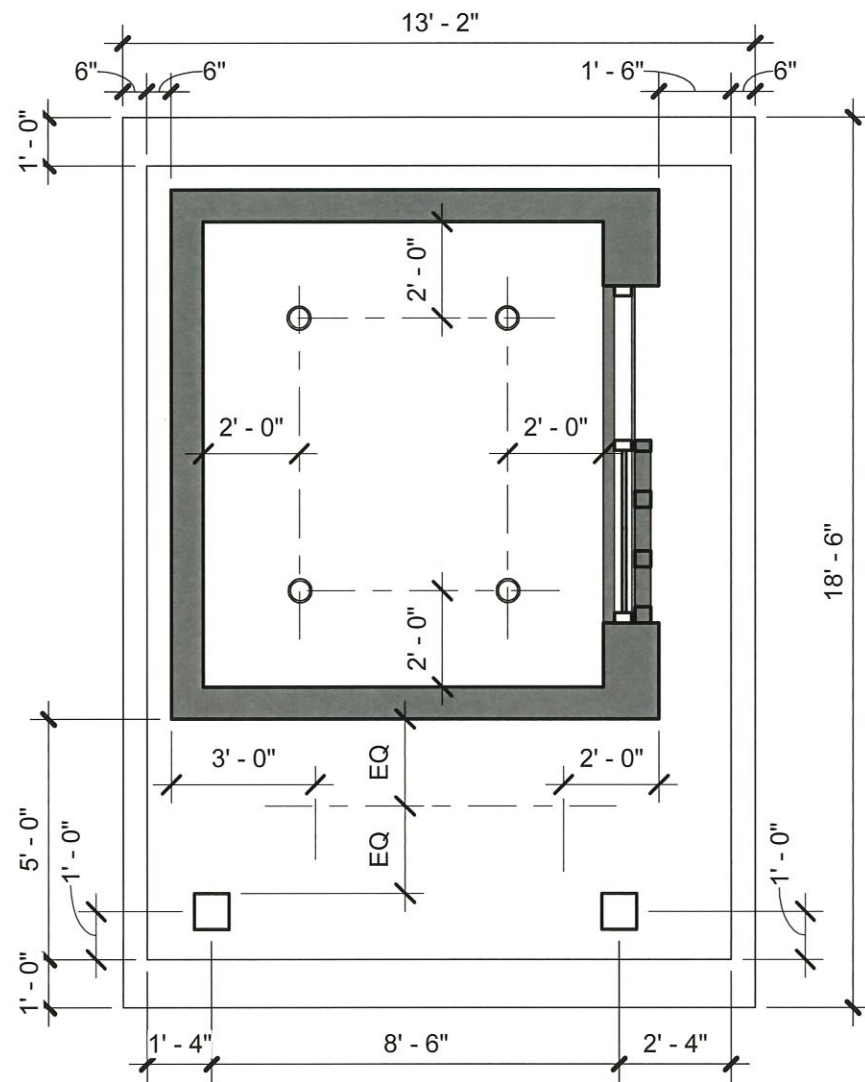
VIRGINIA GARCIA NEWBERG CLINIC

21162 09/06/22

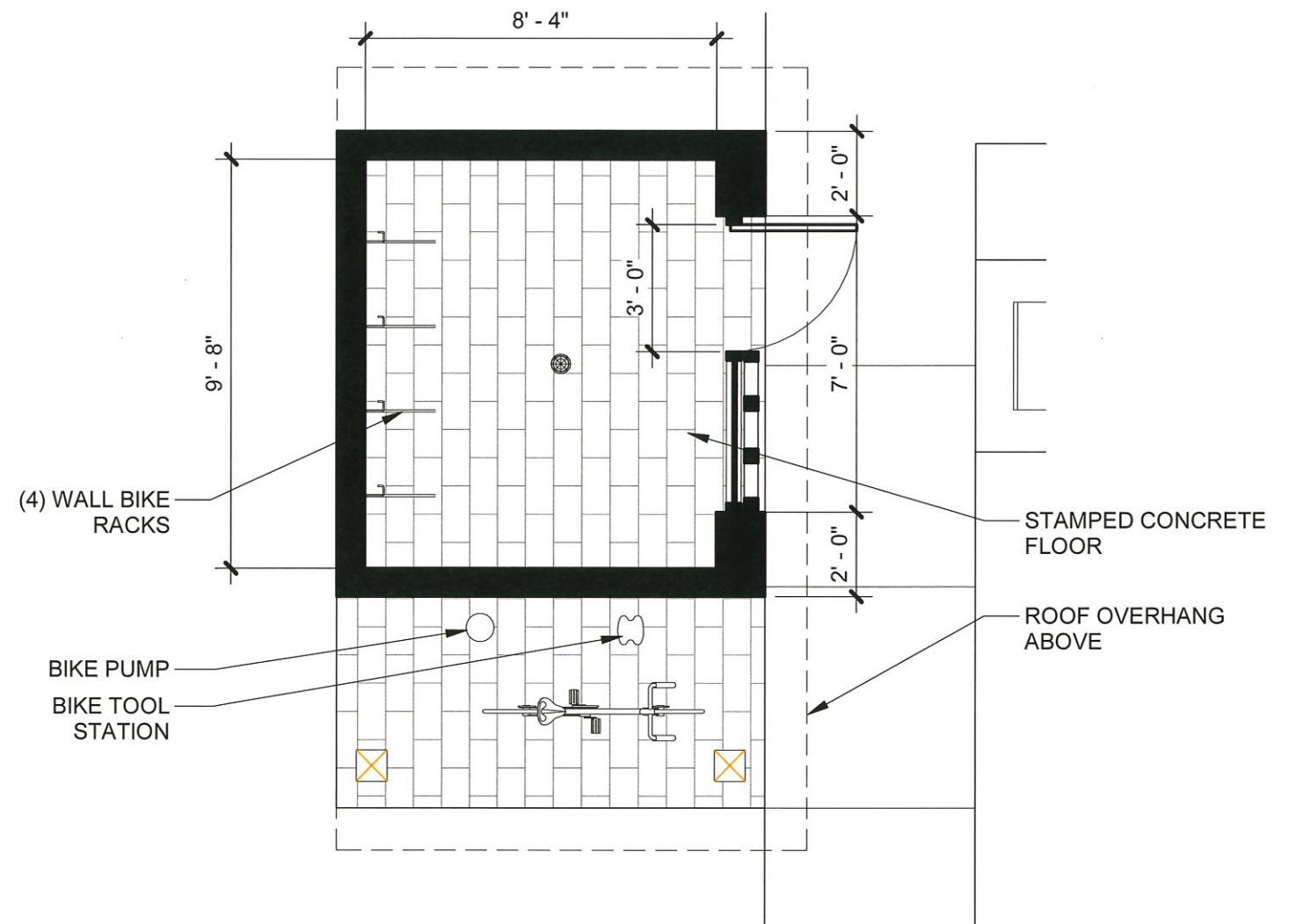




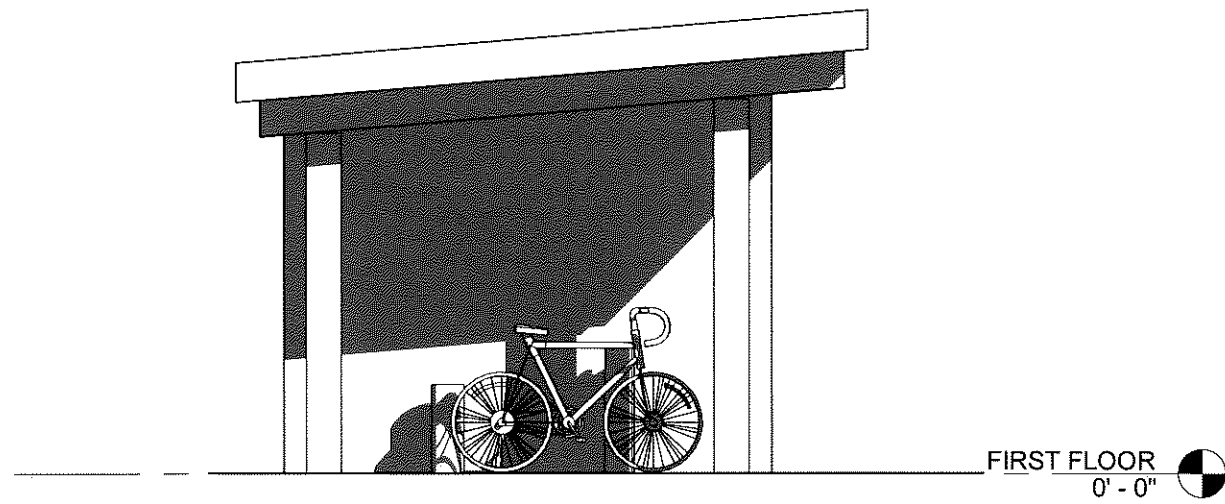




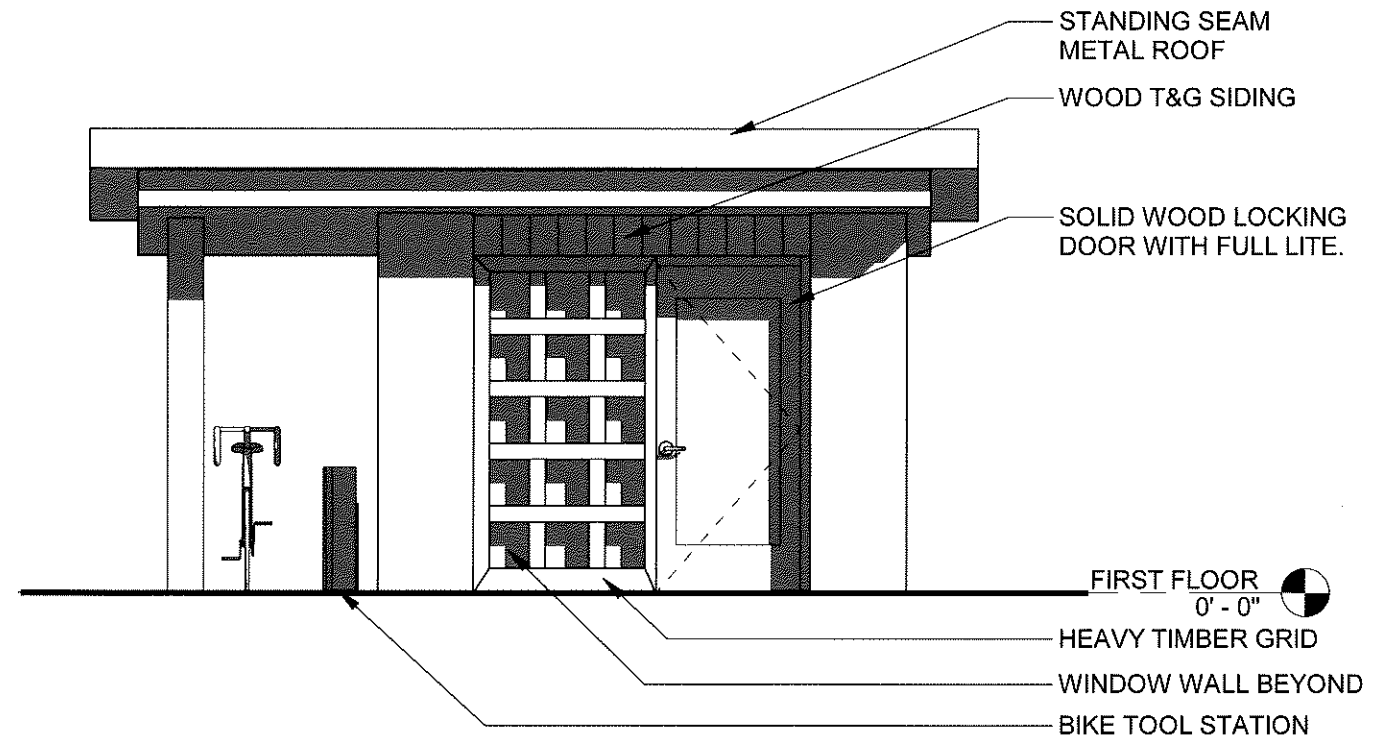
2 RCP - BIKE PARKING
1/4" = 1'-0"



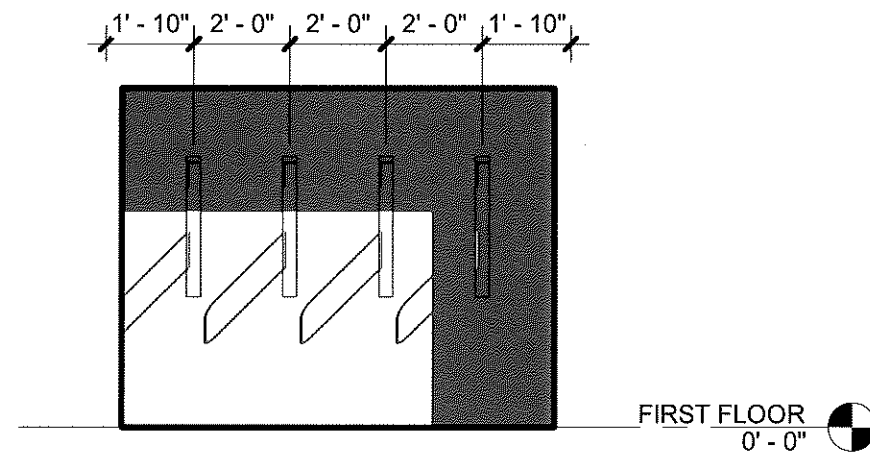
1 FLOOR PLAN - BIKE PARKING
1/4" = 1'-0"



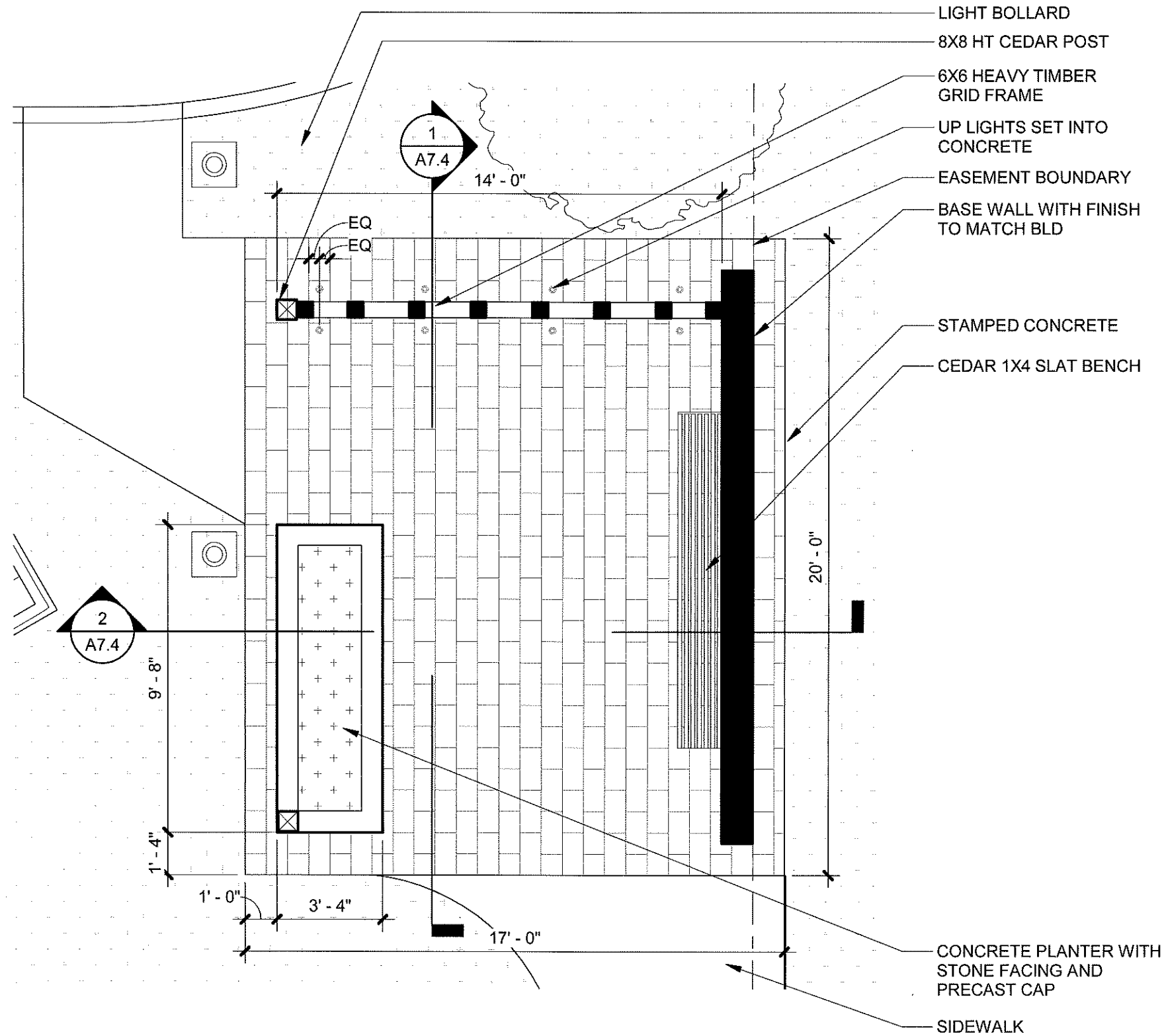
3 SOUTH ELEVATION - BIKE PARKING
1/4" = 1'-0"



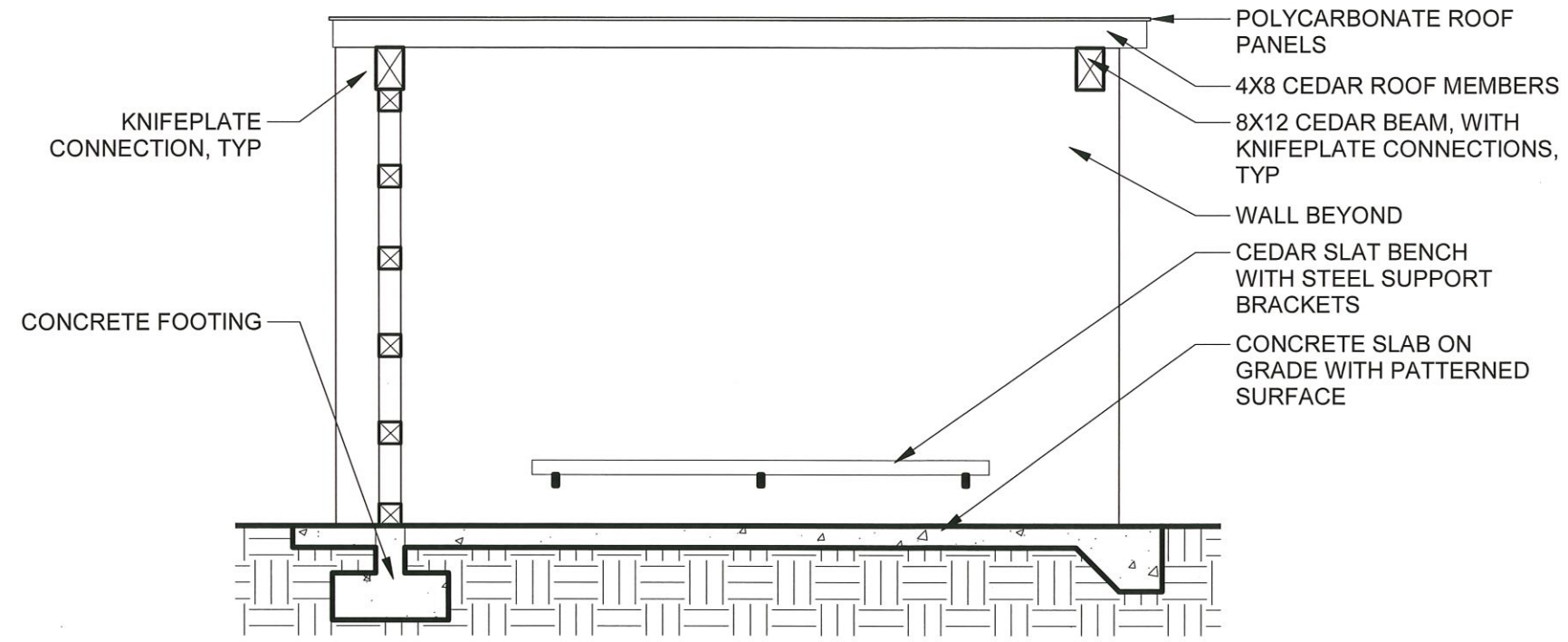
1 EAST ELEVATION - BIKE PARKING
1/4" = 1'-0"



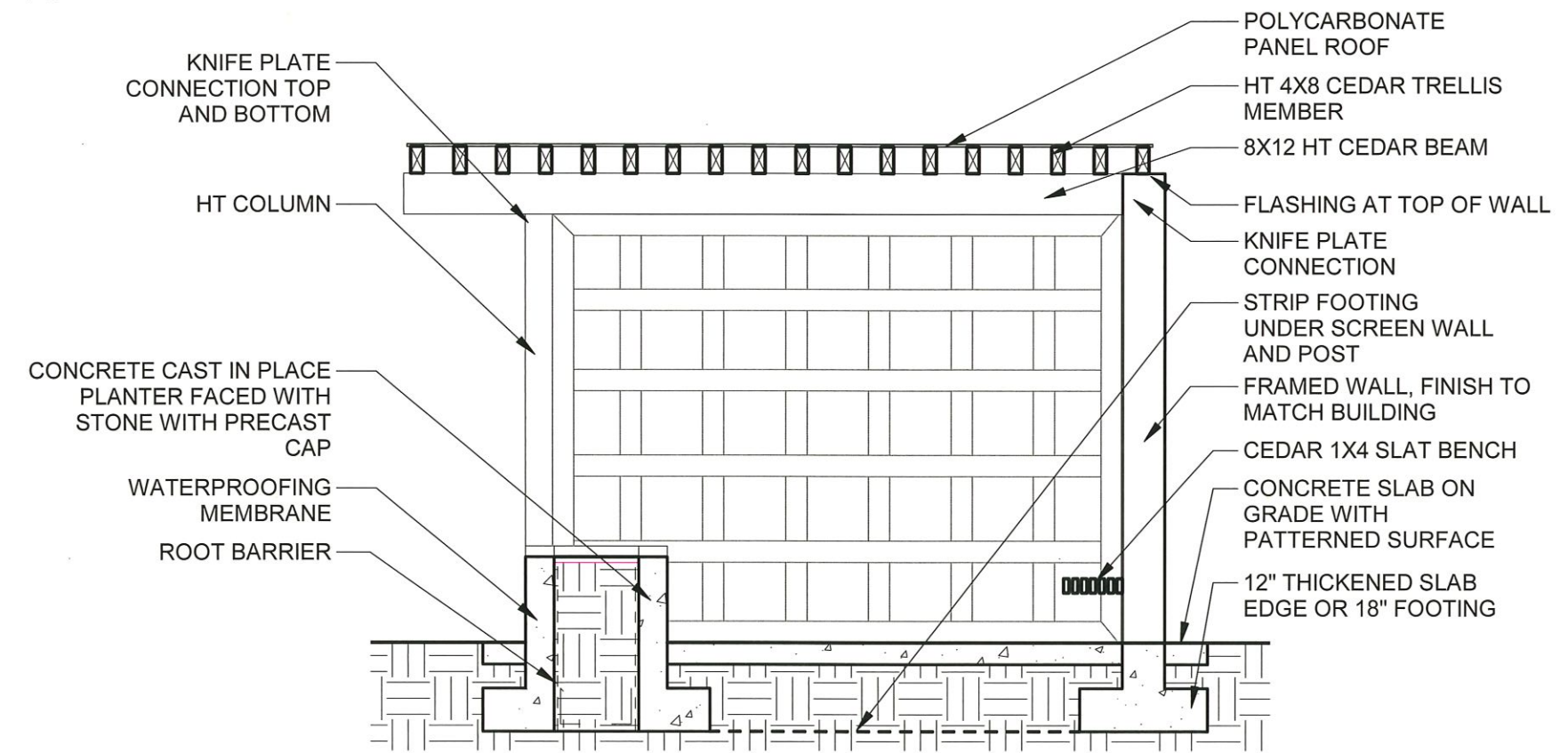
2 INTERIOR ELEVATION - BIKE PARKING
1/4" = 1'-0"



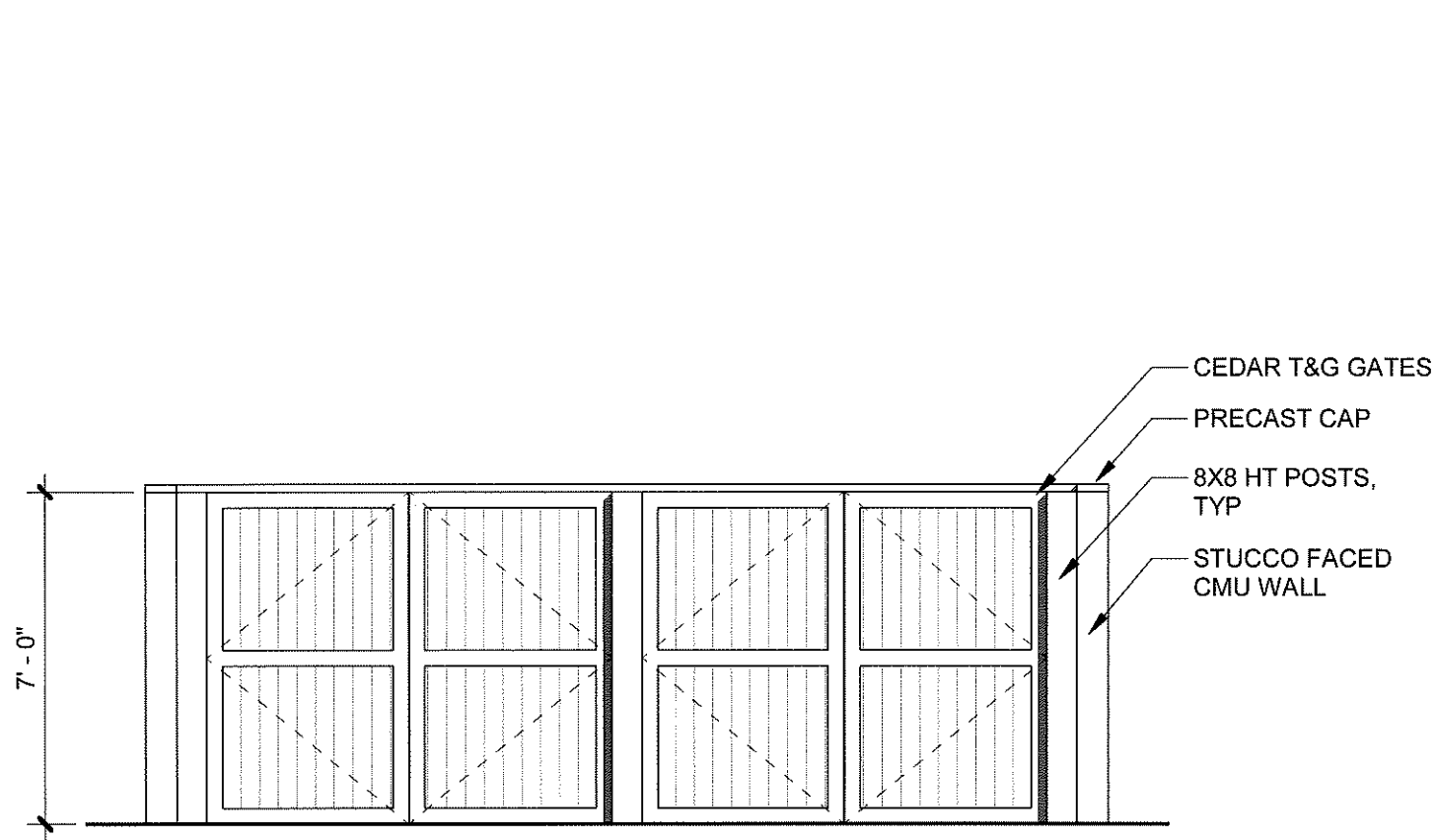
1 FLOOR PLAN - ENTRY PAVILION
 1/4" = 1'-0"



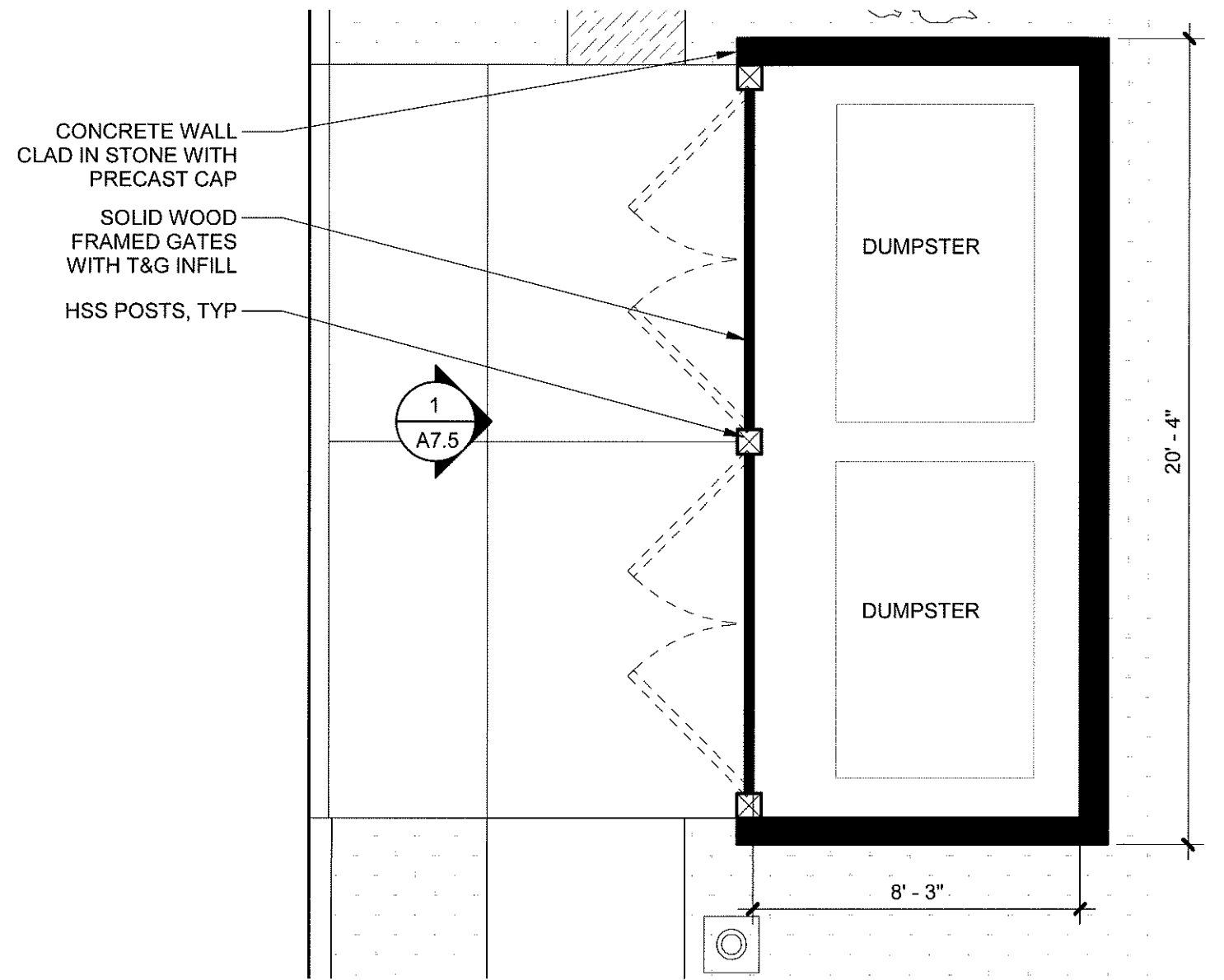
1 EAST ENTRY PAVILION - EAST SECTION
 1/4" = 1'-0"



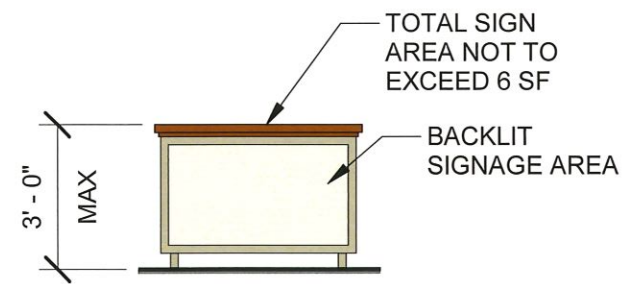
2 EAST ENTRY PAVILION - NORTH SECTION
 1/4" = 1'-0"



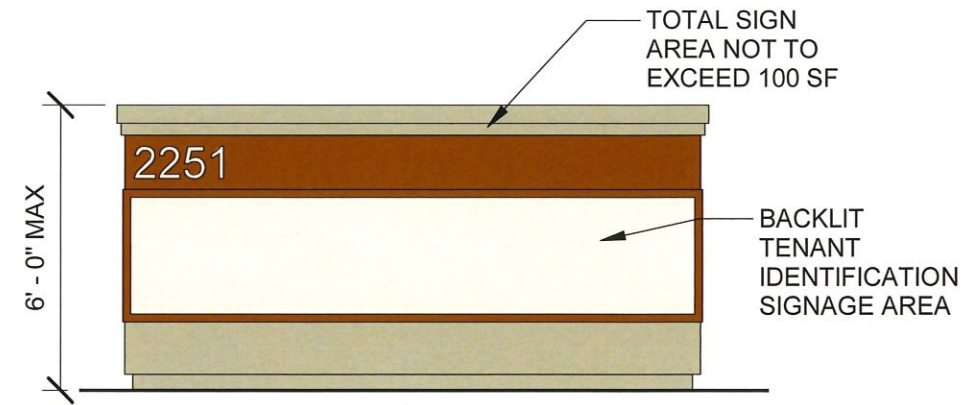
1 FRONT ELEVATION - TRASH ENCLOSURE
 1/4" = 1'-0"



2 FLOOR PLAN - TRASH ENCLOSURE
 1/4" = 1'-0"



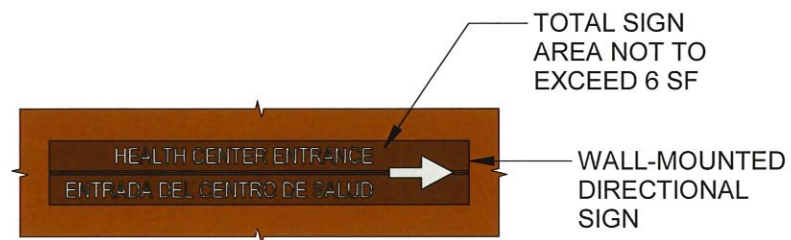
DIRECTIONAL SIGNAGE PRECEDENT



MONUMENT SIGN PRECEDENT

3 DIRECTIONAL SIGNAGE
1/4" = 1'-0"

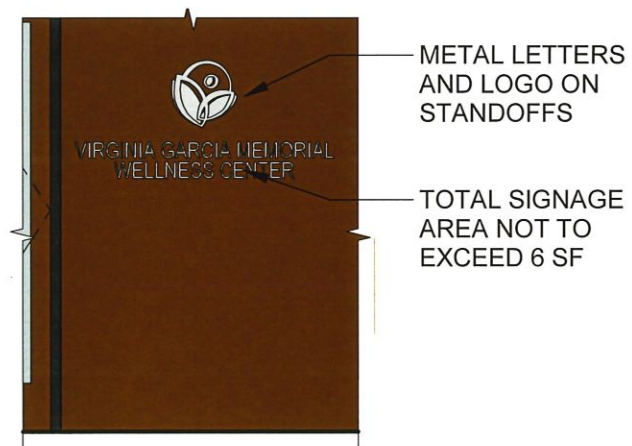
1 MONUMENT SIGN
1/4" = 1'-0"



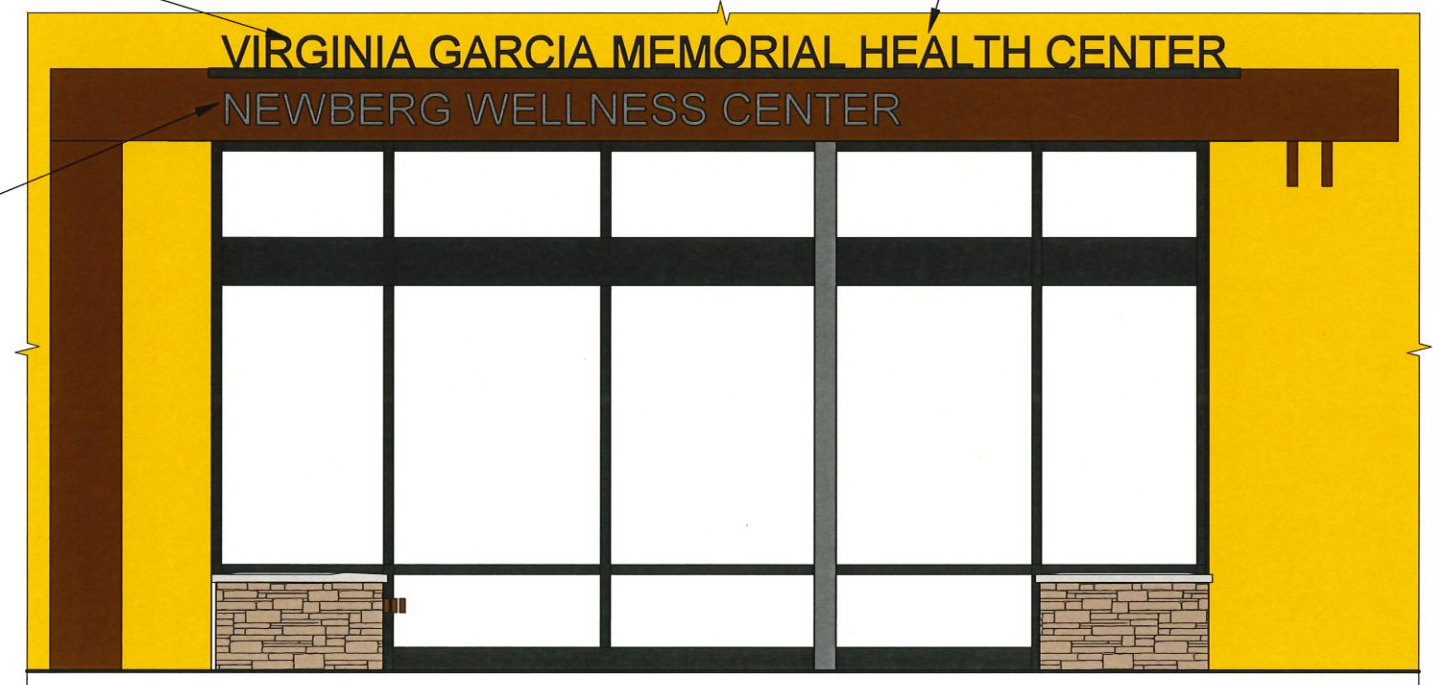
METAL LETTERS MOUNTED TO TOP OF HEAVY TIMBER TRELLIS

TOTAL SIGN AREA NOT TO EXCEED 259 SF

4 PARKING PAVILION SIGNAGE
1/2" = 1'-0"

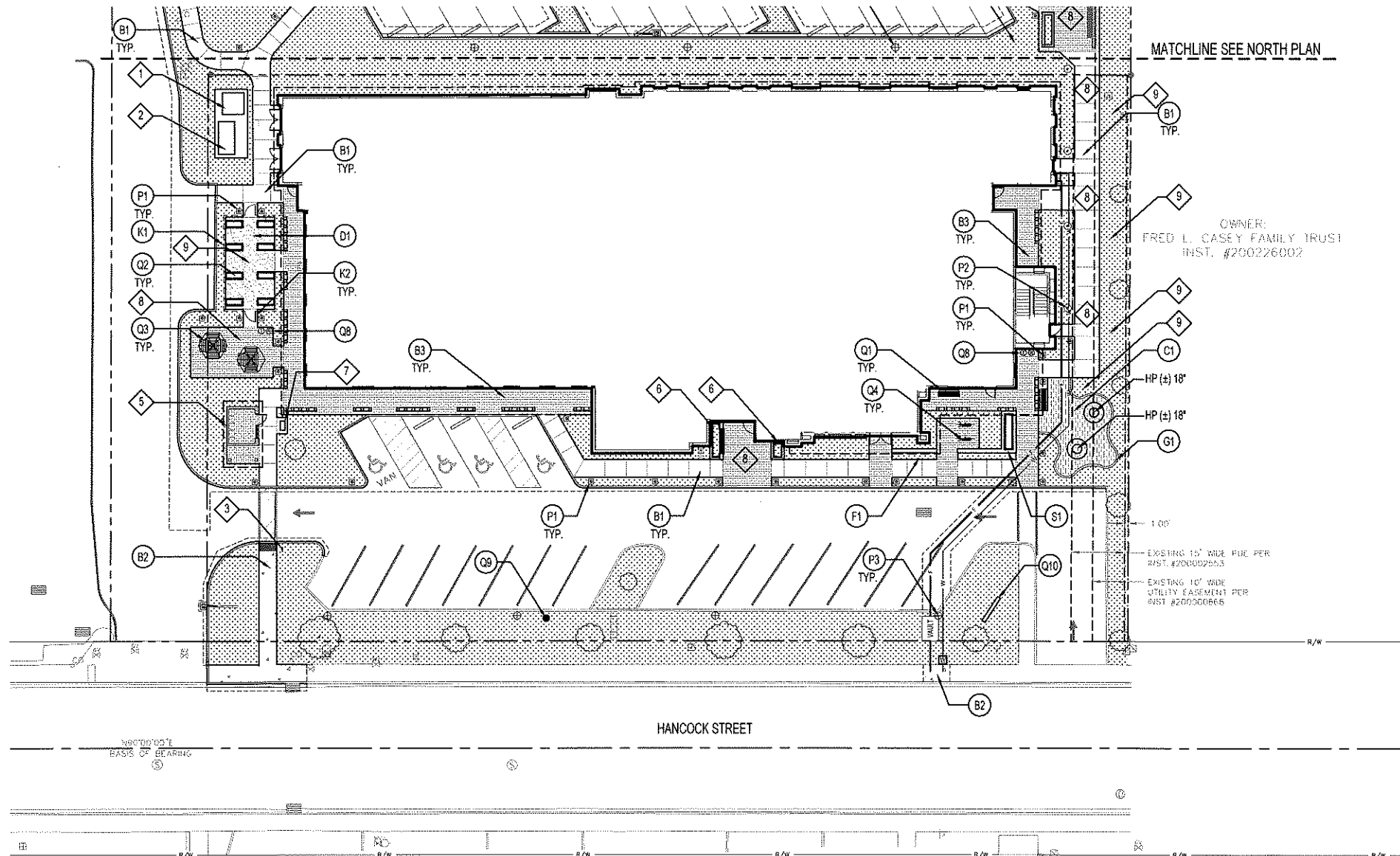


METAL LETTERS MOUNTED TO FACE OF HEAVY TIMBER TRELLIS



5 BUILDING SIGNAGE - WELLNESS CENTER
1/4" = 1'-0"

2 BUILDING SIGNAGE - MAIN ENTRY
1/4" = 1'-0"



MATERIALS SCHEDULE

PAVEMENTS

- (A1) ASPHALT PAVING (SEE CIVIL)
- (B1) CONCRETE PAVING - PEDESTRIAN
- 4" CONCRETE OVER 6" AGGREGATE BASE
- BROOM FINISH, SAW CUT JOINTS
- (B2) CONCRETE PAVING - PEDESTRIAN (SEE CIVIL)
- (B3) DECORATIVE CONCRETE PAVING - PEDESTRIAN
- STAMPED FINISH w/ INSET TILE OR GRAPHIC PER PLAN
- INTEGRAL COLOR w/ GRAPHIC
- (C1) SYNTHETIC TURF SAFETY SURFACING
- 3 TO 5 COLORS
- FOREVER LAWN PLAYGROUND GRASS, BASIS OF DESIGN
- (D1) DECOMPOSED GRANITE - COMMUNITY GARDEN
- 3" OF 1/4" MINUS
- TANGOLD COLOR
- (E1) BARK MULCH - WALKING PATH
- 3" MINIMUM DEPTH
- (E2) ENGINEERED WOOD FIBER - FITNESS EQUIPMENT
- 12" DEPTH; SUB DRAIN SYSTEM

STAIRS, RAMPS, WALLS, AND CURBS

- (F1) NATURAL STONE WALL w/ CAP
- MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN
- (G1) FLUSH CONCRETE CURB
- 18" DEEP, 6" WIDE
- (H1) METAL EDGER
- PERMALOC ALUMINUM EDGING; BASIS OF DESIGN

RAILINGS, GATES, AND FENCES

- (K1) 48" HT. DECORATIVE METAL PANEL FENCE
- B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN
- PATTERN OPTION: A 07
- (K2) 48" HT. DECORATIVE METAL PANEL GATE
- B&K MODERN LOW FENCE/DIVIDER; BASIS OF DESIGN
- PATTERN OPTION: A 07

SITE FURNISHINGS

- (P1) LIGHT BOLLARD
- SEE ELECTRICAL
- (P2) LIGHT POLE - PEDESTRIAN
- SEE ELECTRICAL
- (P3) LIGHT POLE - PARKING LOT
- SEE ELECTRICAL
- (P4) LANDSCAPE UPLIGHTING
- 60 DEGREE BEAM SPREAD, SEE ELECTRICAL
- (Q1) BENCH w/ BACK
- FORMS+SURFACES STANDALONE 6' BENCH, BASIS OF DESIGN
- (Q2) RAISED PLANTER
- 5' LENGTH x 2' WIDTH
- JUNIPER OR CEDAR TIMBERS
- (Q3) TABLES, CHAIRS, & SUNSHADE
- TYPE A, 4 SURFACE MOUNT BENCHES
- TYPE B, 3 SURFACE MOUNT BENCHES; ADA
- FORMS+SURFACES APEX ENSEMBLE, BASIS OF DESIGN
- FORMS+SURFACES SOLERIS SUNSHADE, BASIS OF DESIGN
- (Q4) (2) BIKE RACKS
- TIMBERFORM CYCLOOPS MODEL NO. 2170-3-06, BASIS OF DESIGN
- (Q5) FITNESS EQUIPMENT
- KOMPAN PUSH UP BAR, BASIS OF DESIGN
- (Q6) FITNESS EQUIPMENT
- KOMPAN 16 INCH AND 24 INCH STEP, BASIS OF DESIGN
- (Q7) FITNESS EQUIPMENT
- KOMPAN INCLINE PRESS, BASIS OF DESIGN
- (Q8) LITTER / RECYCLING
- LANDSCAPE FORMS PETOSKEY, BASIS OF DESIGN
- (Q9) EV CHARGING STATION (SEE ELECTRICAL)
- (Q10) MONUMENT SIGNS

SITE FURNISHINGS - SPECIALTY FEATURES

- (S1) WATER FEATURE
- MUTUAL MATERIALS NATURAL STONE, BASIS OF DESIGN

SOIL PREPARATION NOTE

1. SOIL PREP - RIP SUBGRADE TO DEPTH OF 4" BELOW AMENDED LAYER. TILL 3" COMPOST INTO TOP 12" PLACED TOPSOIL.

IRRIGATION NOTE

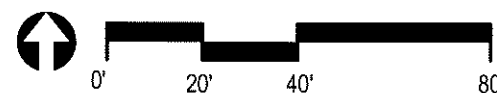
1. ALL PLANTING AREAS TO BE IRRIGATED w/ FULLY AUTOMATIC IRRIGATION SYSTEM.

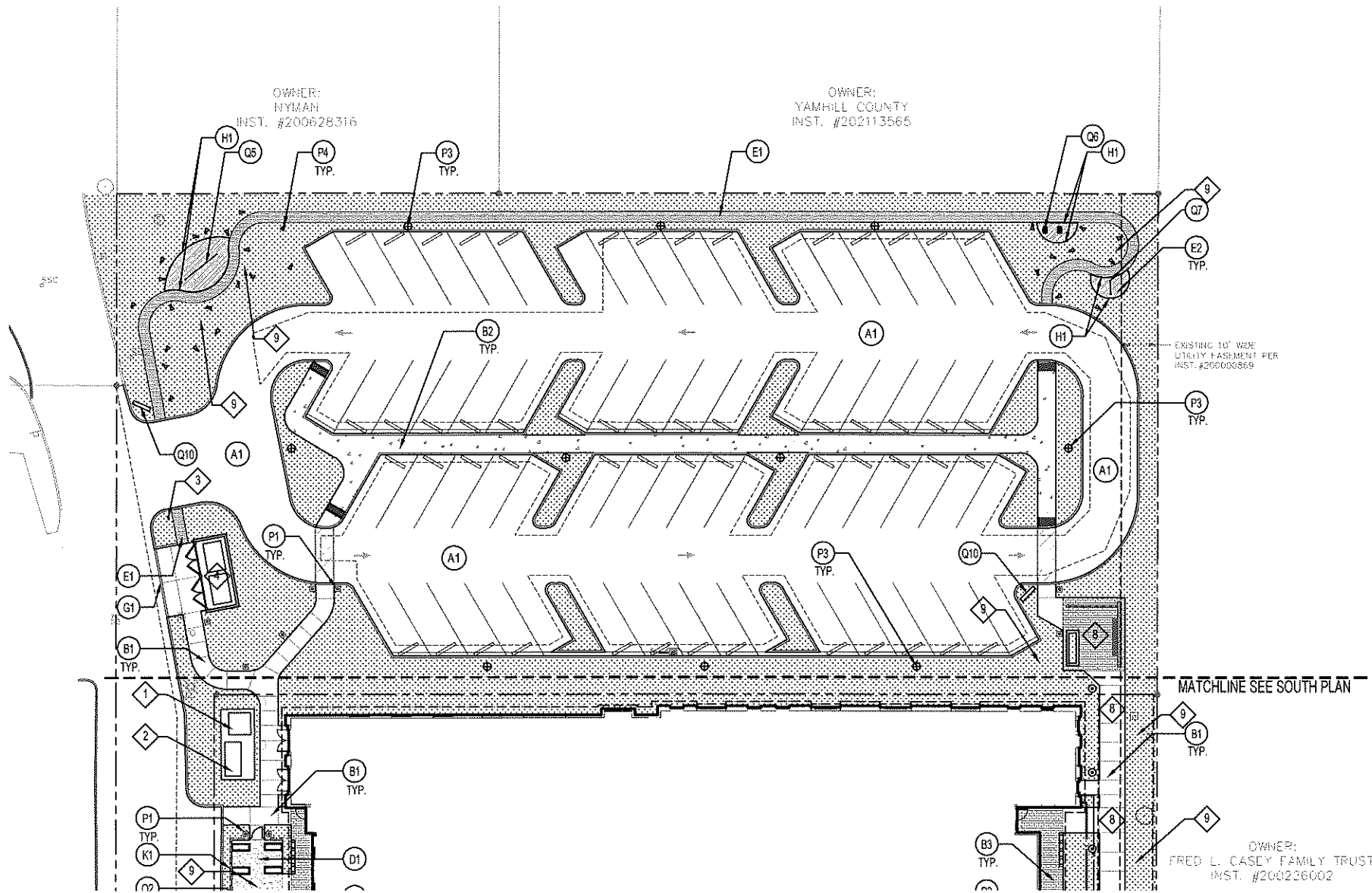
KEY NOTES

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2. ELECTRICAL GENERATOR - REFER TO ELECTRICAL
3. PARKING DIRECTIONAL SIGNAGE - REFER TO ARCHITECT
4. TRASH ENCLOSURE
5. BIKE ENCLOSURE
6. PLANTERS AT BUILDING - REFER TO ARCHITECT
7. USPS MAILBOXES - REFER TO ARCHITECT
8. PROPOSED FUTURE ART INSTALLATION - DECORATIVE CONCRETE GRAPHIC
9. PROPOSED FUTURE ART INSTALLATION - SCULPTURE

MATERIALS LEGEND

- PROPERTY LINE
- [Pattern] PLANTING AREA
- TYP. TYPICAL
- HP HIGH POINT
- [Symbol] EXISTING TREES





MATERIALS SCHEDULE

PAVEMENTS

- (A1) ASPHALT PAVING (SEE CIVIL)
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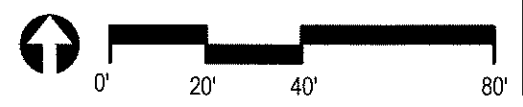
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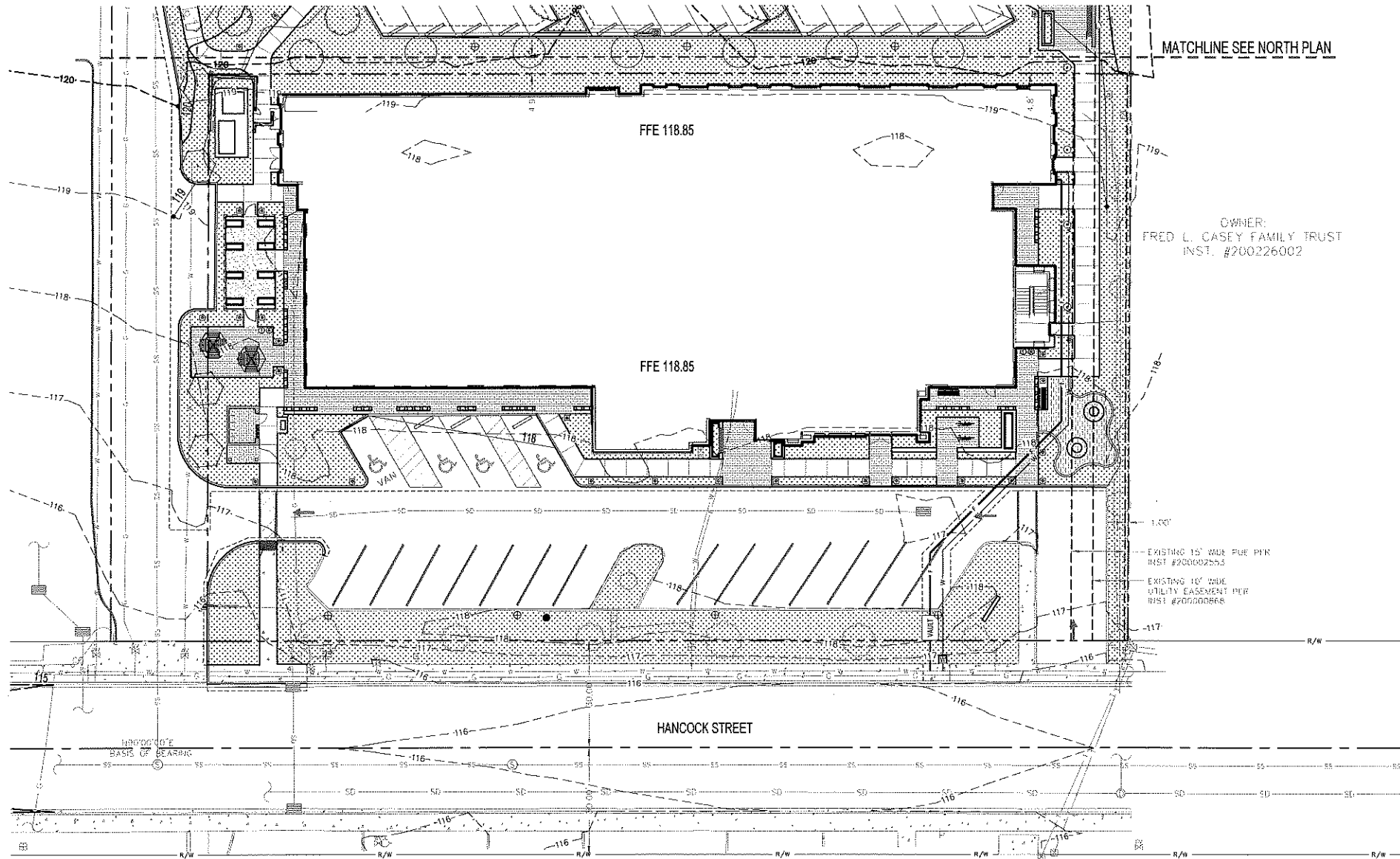
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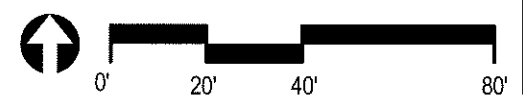


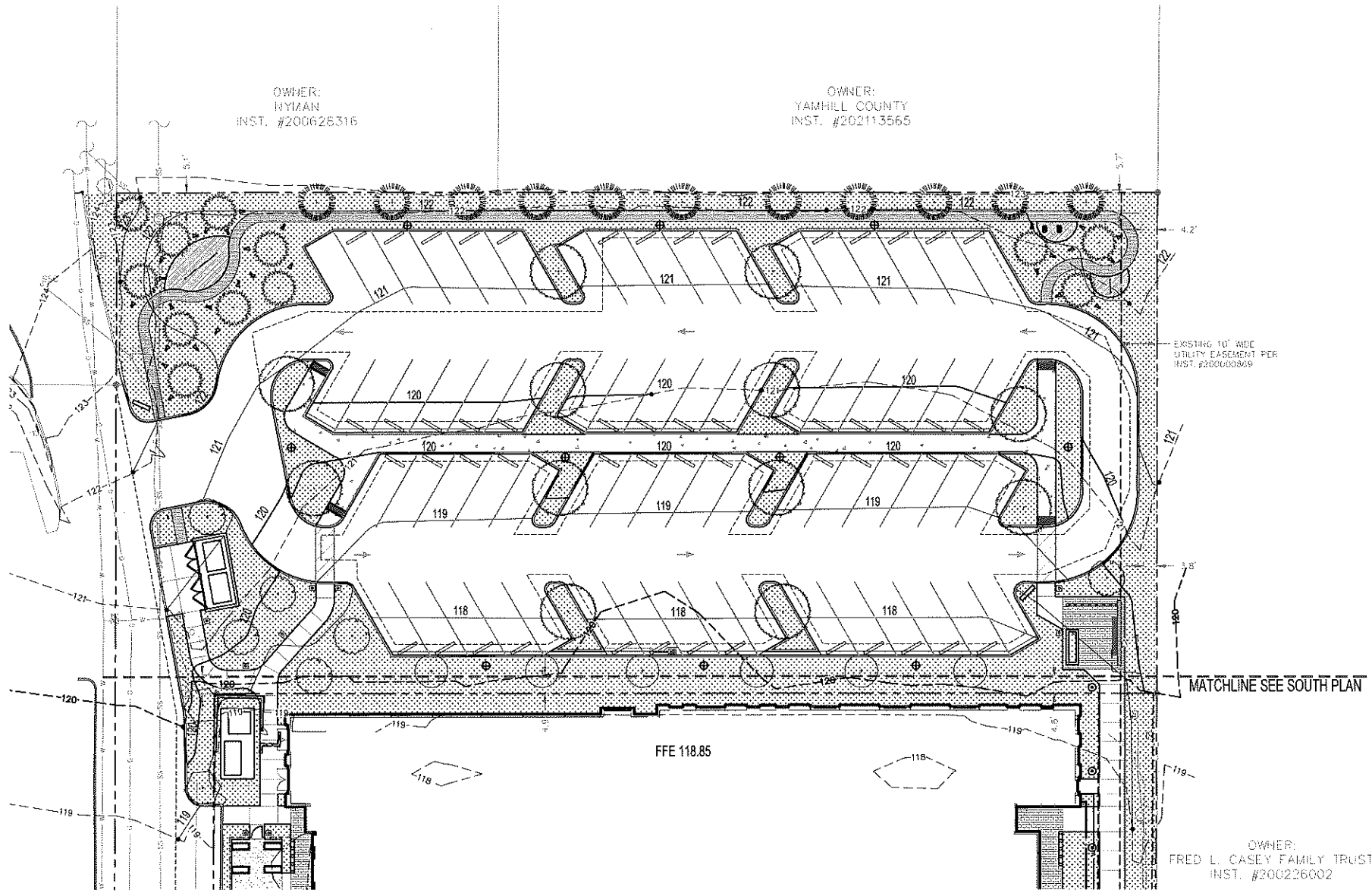
GRADING/DRAINAGE SCHEDULE

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION (VERIFY IN FIELD)
	PROPOSED DIRECTION AND PERCENT SLOPE

ABBREVIATIONS

BC	BOTTOM OF CURB (FS)
BW	BOTTOM OF WALL (FS)
FC	FLUSH CURB
FG	FINISH GRADE
FS	FINISH SURFACE
GB	GRADE BREAK
HP	HIGH POINT
RM	RIM INLET
LP	LOW POINT
TC	TOP OF CURB
TW	TOP OF WALL
TD	TRENCH DRAIN RIM



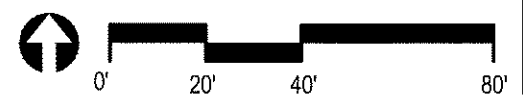


GRADING/DRAINAGE SCHEDULE

-----	EXISTING CONTOUR
—————	PROPOSED CONTOUR
XXXX	PROPOSED SPOT ELEVATION
(XXXX)	EXISTING SPOT ELEVATION (VERIFY IN FIELD)
X%	PROPOSED DIRECTION AND PERCENT SLOPE

ABBREVIATIONS

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HP	HIGH POINT
RM	RIM INLET
LP	LOW POINT
TC	TOP OF CURB
TW	TOP OF WALL
TD	TRENCH DRAIN RIM



PLANT SCHEDULE							
FOUNDATION PLANTING							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	CONTAINER CLASS	SPACING	NOTES
	ACCI	ACER CIRCINATUM	VINE MAPLE	8' HT.; 3/4" CAL.	CG #5, #7, #10, OR B&B	AS SHOWN	TYPE 3 UPRIGHT DECIDUOUS SHRUB / SMALL TREE; NUMBER OF BRANCHES 7 MIN.; ROOT BALL 18" MIN. DIA.; ROOT BALL DEPTH 11-3/4" MIN.; MULTI-STEM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	15" HT.; 3 CANES	CG #2, #3, #5	24" O.C.	TYPE 0 TENDER DECIDUOUS SHRUB; LOW SHRUB
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'	AZTEC PEARL MEXICAN ORANGE	18" HT. OR SPRD.	CG #3	48" O.C.	TYPE 3 BROADLEAF EVERGREEN; LOW SHRUB
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD PEPPERBUSH	18" HT.; 4 CANES	CG #2, #3, #5	36" O.C.	TYPE 2 INTERMEDIATE DECIDUOUS SHRUB; LOW SHRUB
	EUAJ	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	24" HT. x 8" SPRD.	CG #3	18" O.C.	TYPE 6 BROADLEAF EVERGREEN; HIGH SCREEN SHRUB
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	18" HT.; 4 OR MORE CANES	CG #3	AS SHOWN	HIGH SCREEN SHRUB
	GAJA	GARDENIA JASMINOIDES	SUMMER SNOW® GARDENIA	18" HT. OR SPRD.	CG #2	30" O.C.	
	MAAQ	MAHONIA AQUIFOLIUM	OREGON GRAPE	18" HT. x 12" SPRD.	CG #2	36" O.C.	PNW NATIVE; LOW SCREEN SHRUB
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	15" SPRD.	CG #2	30" O.C.	PNW NATIVE
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	12" SPRD.	CG #2, #3	36" O.C.	EVERGREEN SHRUB; HEAVY, WELL FOLIAGED; DIRR SPECS: ZONES 4-8; 48" HT. X SPRD
	NADO	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	15-18" HT. x 12-15" SPRD.	CG #3, #5	36" O.C.	LOW SHRUB
	RISA	RIBES SANGUINEUM	FLOWERING CURRANT	24" HT.; 4 CANES	CG #3, #5, #7	AS SHOWN	PNW NATIVE; ATTRACTS BIRDS; HIGH SCREEN SHRUB
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	15" HT. OR SPRD.; 4 CANES	CG #2, #3, #5	30" O.C.	TYPE 1 DECIDUOUS SHRUB; LOW SHRUB
	VIDA	VIBURNUM DAVIDII	DAVID VIBURNUM	18" HT. OR SPRD.	CG #3	36" O.C.	TYPE 2 BROADLEAF EVERGREEN; LOW SHRUB
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS							
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'	PROSTRATE WHITE ABELIA	18" SPRD.	CG #3	30" O.C.	
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNIKINNIK	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	12" SPRD.	CG #1, #2	18" O.C.	SEMI-EVERGREEN GRASS; ROOTS TO EDGE OF CONTAINER
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'	VARIEGATED JAPANESE SEDGE	12" SPRD.	CG #1, #2	12" O.C.	EVERGREEN GRASS; ROOTS TO EDGE OF CONTAINER
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	15" SPRD.	CG #2, 3	36" O.C.	TYPE 1 BROADLEAF EVERGREEN; LOW SHRUB
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	6" HT. x 10" SPRD.	CG #2, #3	12" O.C.	GRASS-LIKE GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	LOPI	LONICERA PILEATA	PRIVET HONEYSUCKLE	18" SPRD.	CG #2	AS SHOWN	TYPE 1 BROADLEAF EVERGREEN; LOW SHRUB
	MARE	MAHONIA NERVOSA	LONGLEAF REPENS	12" SPRD.	CG #2	24" O.C.	PNW NATIVE; EVERGREEN GROUNDCOVER
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'	GREEN SHEEN JAPANESE PRURGE	6" SPRD.	#SP4	12" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	CG #2, #3	36" O.C.	PNW NATIVE; EVERGREEN FERN; HEAVY, WELL FOLIAGED
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS	DWARF SWEETBOX	12" SPRD.	CG #2	24" O.C.	EVERGREEN GROUNDCOVER
	SPWA	SPIRAEA JAPONICA 'WALBUMA'	MAGIC CARPET SPIREA	12" SPRD. OR HT.; 4 CANES	CG #1, #2, #3	18" O.C.	TYPE 1 DECIDUOUS SHRUB; GROUNDCOVER

PLANT SCHEDULE							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	SPACING	QUANTITY	NOTES
	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2" CAL.; 12-14" HT.	AS SHOWN	6	SMALL TREE
	ACPA	ACER PALMATUM	JAPANESE MAPLE	8" HT.	AS SHOWN	6	SMALL TREE; MULTI-STEM
	GLTR	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL.; 12-14" HT.	AS SHOWN	4	MEDIUM TREE
	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2" CAL.; 12-14" HT.	AS SHOWN	12	LARGE TREE
	PSME	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6" HT.; 3-4" SPRD.	AS SHOWN	11	LARGE TREE
	THPL	THUJA PLICATA	WESTERN RED CEDAR	6" HT.; 3-4" SPRD.	AS SHOWN	12	LARGE TREE

PLANTING NOTES

1. VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
2. VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
3. VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
4. COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
5. REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
6. VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
7. PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
8. UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
9. LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSES. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.

SITE LANDSCAPE CALCULATIONS

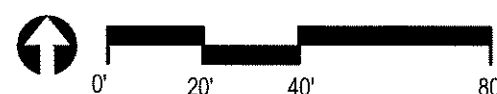
C-2: COMMUNITY COMMERCIAL	TOTAL AREA:
SITE BOUNDARY (NORTH LOT)	39,283 SF
SITE BOUNDARY (SOUTH LOT)	41,222 SF
BUILDING FOOTPRINT	18,813 SF

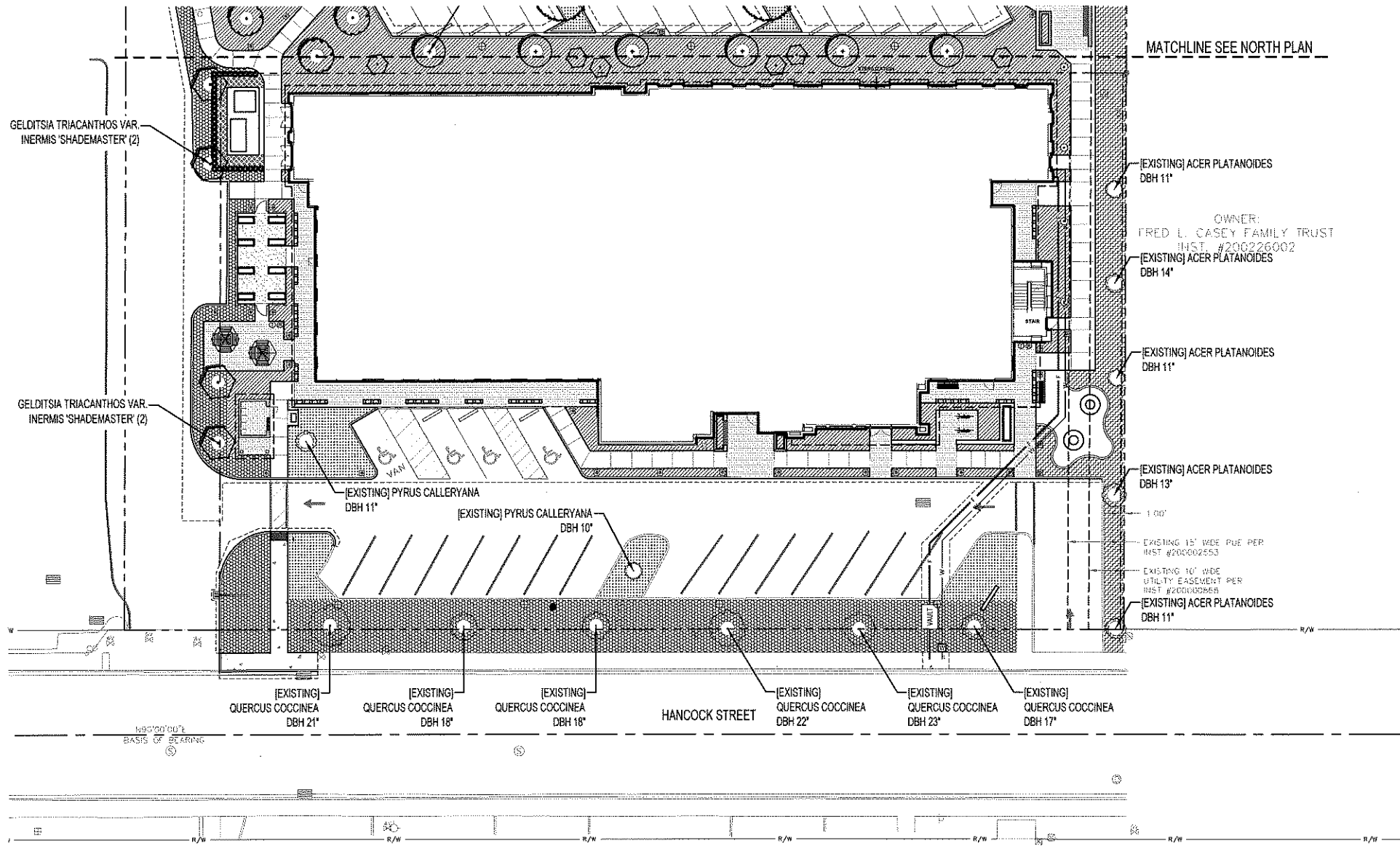
NORTH LOT LANDSCAPED AREAS:	REQUIRED:	PROPOSED:
MIN. 15% OF SITE REQ. LANDSCAPE	5,892 SF	10,149 SF
MIN. 25 SF PER STALL [PARKING LOT AREA = 36,124 SF 66 STALLS TOTAL 25 SF PER STALL = 1,650 SF REQ.]	1,650 SF	1,963 SF

SOUTH LOT LANDSCAPED AREAS:	REQUIRED:	PROPOSED:
MIN. 15% OF SITE REQ. LANDSCAPE [41,222 SF - 18,833 SF = 22,389 SF x .15 = 3,359 SF REQ.]	3,359 SF	7,377 SF
MIN. 25 SF PER STALL [PARKING LOT AREA = 7,519 SF 20 STALLS TOTAL 25 SF PER STALL = 500 SF REQ.]	500 SF	1,148 SF

BICYCLE PARKING:

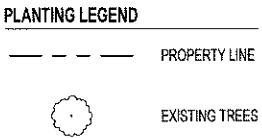
SHORT-TERM SPACES = 2 BIKE RACKS | 4 SPACES





MATCHLINE SEE NORTH PLAN

OWNER:
FRED L. CASEY FAMILY TRUST
INST. #200226002

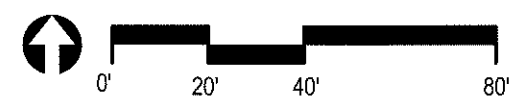


- PLANTING LEGEND**
- ADJACENT LOT PERIMETER PLANTING
- MIX OF LOW TO HIGH SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
 - PARKING LOT PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
 - STREET PERIMETER PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS
 - UTILITY GROUNDCOVER PLANTING
- LOW GROUNDCOVER
- #SP4 MINIMUM CONTAINERS
 - ACCENT PLANTING
- MIX OF LOW SHRUBS AND GROUNDCOVER
- 2 GAL. MINIMUM CONTAINERS

PLANT SCHEDULE		
FOUNDATION PLANTING		
SYMBOL	KEY	BOTANICAL NAME
	ACCI	ACER CIRCINATUM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'
	EUJA	EUCONYMUS JAPONICUS 'GREEN SPIRE'
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'
	GAJA	GARDENIA JASMINOIDES
	MAAQ	MAHONIA AQUIFOLIUM
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'
	NADO	NANDINA DOMESTICA 'GULF STREAM'
	RISA	RIBES SANGUINEUM
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'
	VIDA	VIBURNUM DAVIDII
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS		
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'
	LOPI	LONICERA PILEATA
	MARE	MAHONIA NERVOSA
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'
	POMU	POLYSTICHUM MUNITUM
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS
	SPWA	SPIRAEA JAPONICA 'WALBUMA'

PLANT SCHEDULE				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)
	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2' CAL.; 12-14' HT.
	ACPA	ACER PALMATUM	JAPANESE MAPLE	8' HT.
	GLTR	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2' CAL.; 12-14' HT.
	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2' CAL.; 12-14' HT.
	PSME	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HT.; 3-4' SPRD.
	THPL	THUJA PLICATA	WESTERN RED CEDAR	6' HT.; 3-4' SPRD.

PLANTING PLAN - SOUTH
L3.01



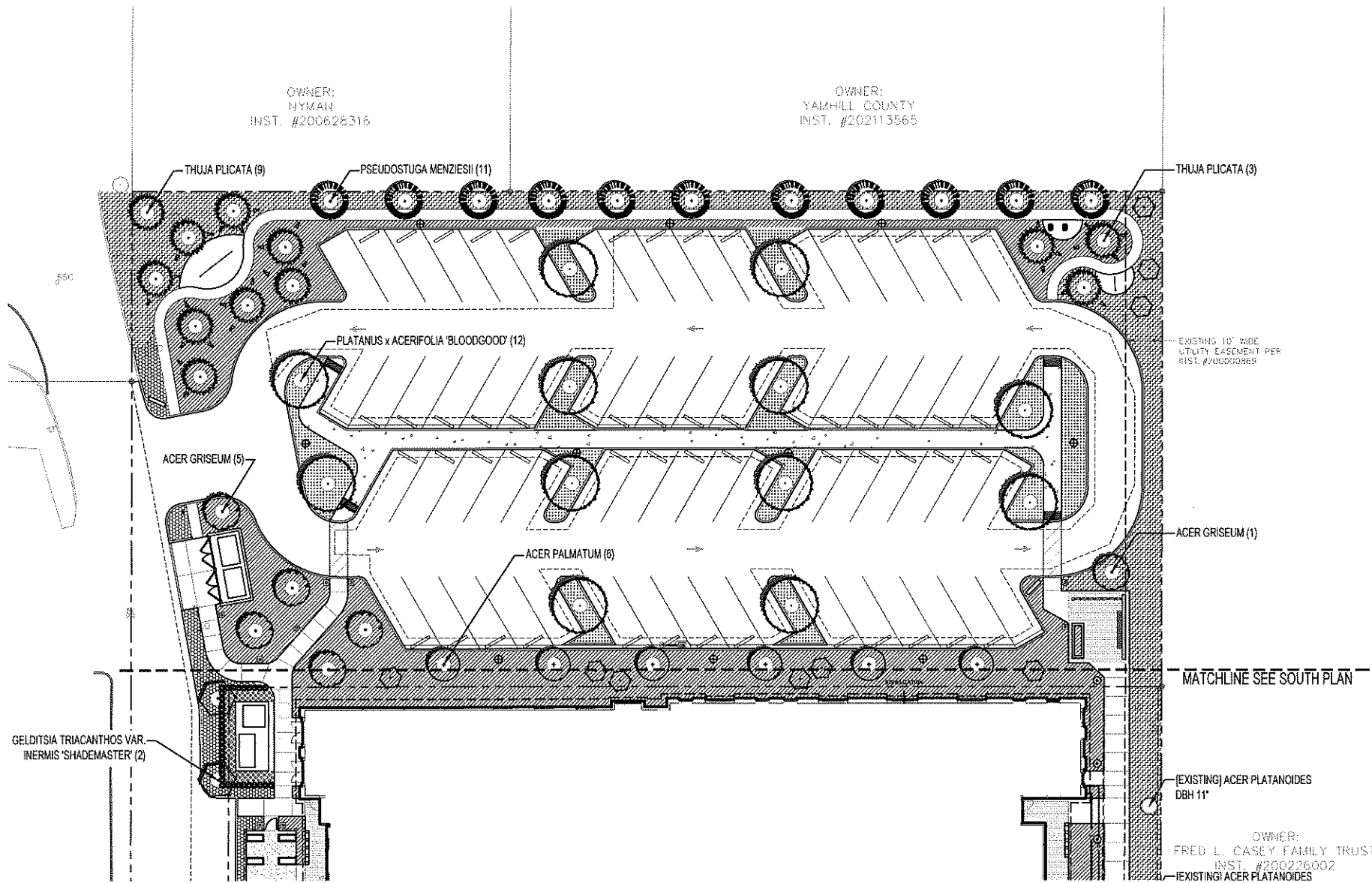
VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

PLACE
735 NW 18TH AVE
PORTLAND, OR 97209

Scott Edwards Architecture

OWNER:
HYMAN
INST. #200628316

OWNER:
YAMHILL COUNTY
INST. #202113565



PLANT SCHEDULE		
FOUNDATION PLANTING		
SYMBOL	KEY	BOTANICAL NAME
	ACCI	ACER CIRCINATUM
	CACL	CARYOPTERIS x CLANDONENSIS 'DARK KNIGHT'
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'
	CLHU	CLETHORA ALNIFOLIA 'HUMMINGBIRD'
	EUJA	EUONYMUS JAPONICUS 'GREEN SPIRE'
	FOMA	FOTHERGILLA MAJOR 'MOUNT AIRY'
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	MAAQ	MAHONIA AQUIFOLIUM
	MACO	MAHONIA AQUIFOLIUM 'COMPACTA'
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'
	NADO	NANDINA DOMESTICA 'GULF STREAM'
	RISA	RIBES SANGUINEUM
	SPJA	SPIRAEA JAPONICA 'GOLDMOUND'
	VIDA	VIBURNUM DAVIDII
FERNS, ORNAMENTAL GRASSES, VINES & GROUNDCOVERS		
	ABPR	ABELIA x GRANDIFLORA 'PROSTRATA'
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASACHUSETTS'
	BOGR	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CAVA	CAREX MORROWII 'AUEREA-VARIEGATA'
	CERG	CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'
	LOPI	LONICERA PILEATA
	MARE	MAHONIA NERVOSA
	PATE	PACHYSANDRA TERMINALIS 'GREEN SHEEN'
	POMU	POLYSTICHUM MUNITUM
	SAHO	SARCOCOCCA HOOKERIANA VAR. HUMILIS
	SPWA	SPIRAEA JAPONICA 'WALBURNA'

PLANT SCHEDULE				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)
	ACGR	ACER GRISEUM	PAPERBARK MAPLE	2' CAL.; 12-14' HT.
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	PLAC	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2' CAL.; 12-14' HT.
	PSME	PSEUDOSTUGA MENZIESII	DOUGLAS FIR	6' HT.; 3-4' SPRD.
	THPL	THUJA PLICATA	WESTERN RED CEDAR	6' HT.; 3-4' SPRD.

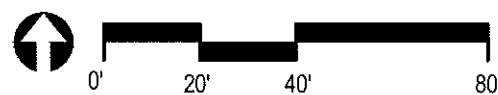
PLANTING LEGEND

- PROPERTY LINE
- EXISTING TREES

PLANTING LEGEND

- ADJACENT LOT PERIMETER PLANTING - MIX OF LOW TO HIGH SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
- PARKING LOT PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
- STREET PERIMETER PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS
- UTILITY GROUNDCOVER PLANTING - LOW GROUNDCOVER - #SP4 MINIMUM CONTAINERS
- ACCENT PLANTING - MIX OF LOW SHRUBS AND GROUNDCOVER - 2 GAL. MINIMUM CONTAINERS

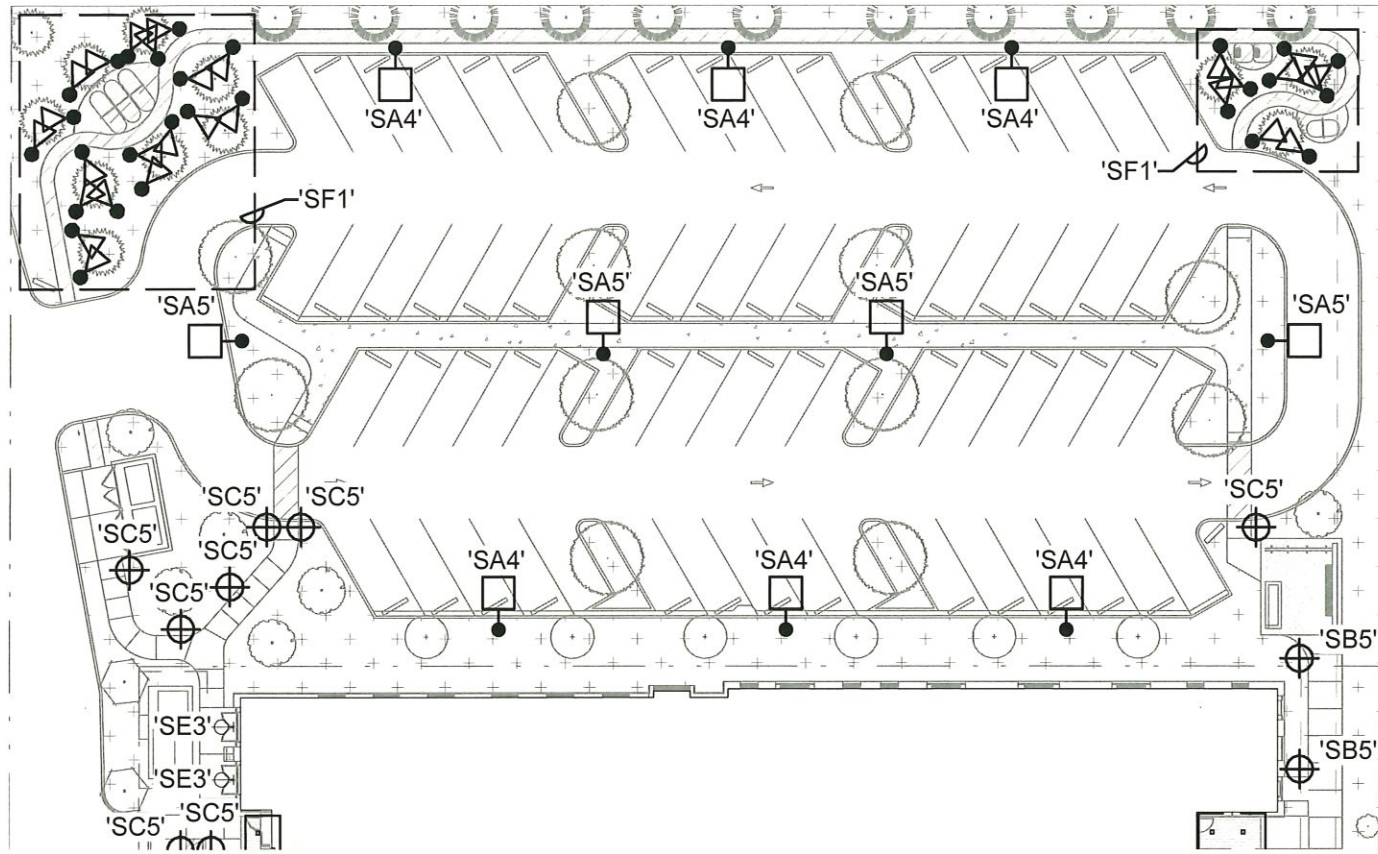
PLANTING PLAN - NORTH
L3.02



VIRGINIA GARCIA NEWBERG CLINIC
21162 09/06/22

PLACE
735 NW 18TH AVE
PORTLAND, OR 97209

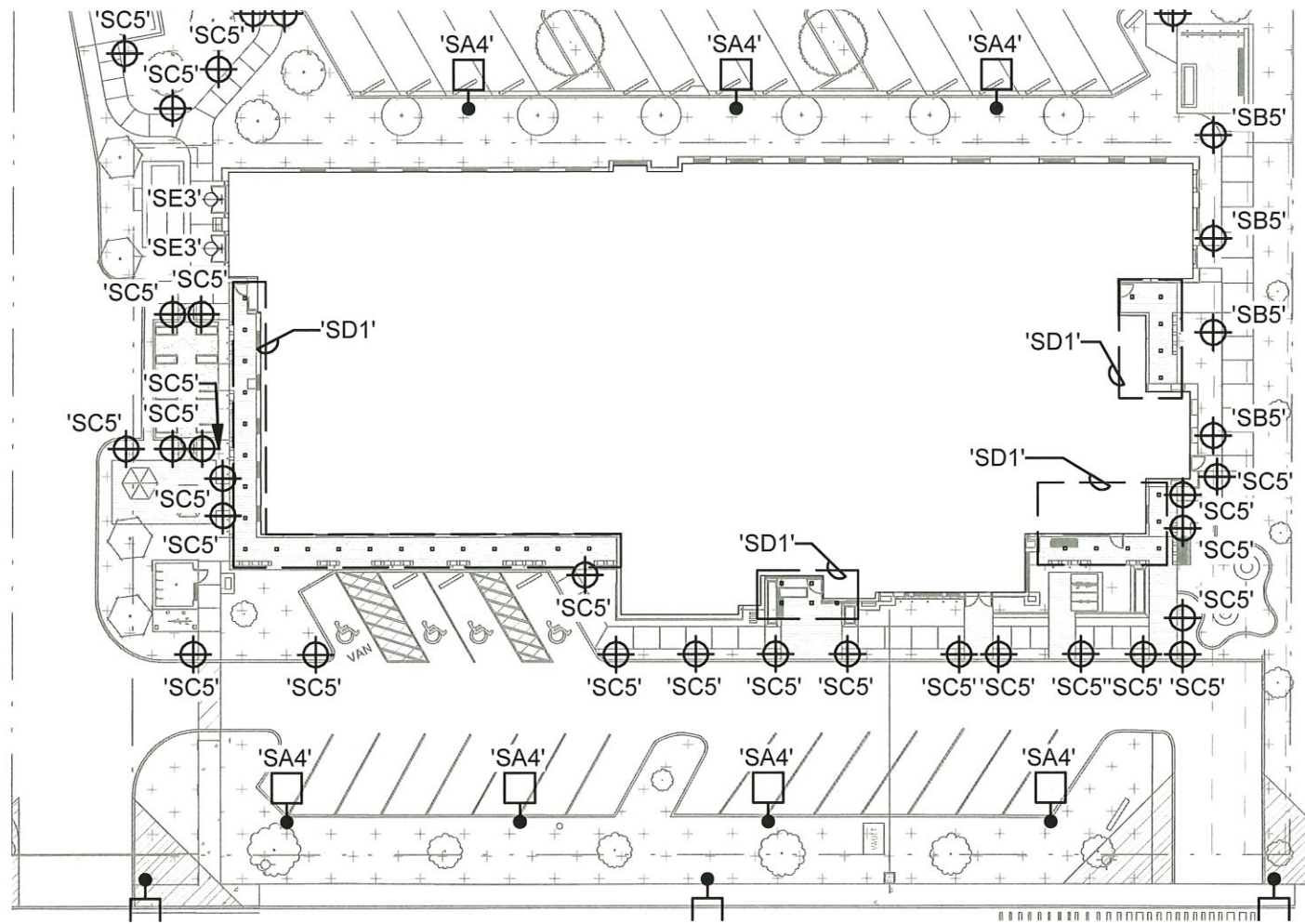
Scott
Edwards
Architecture

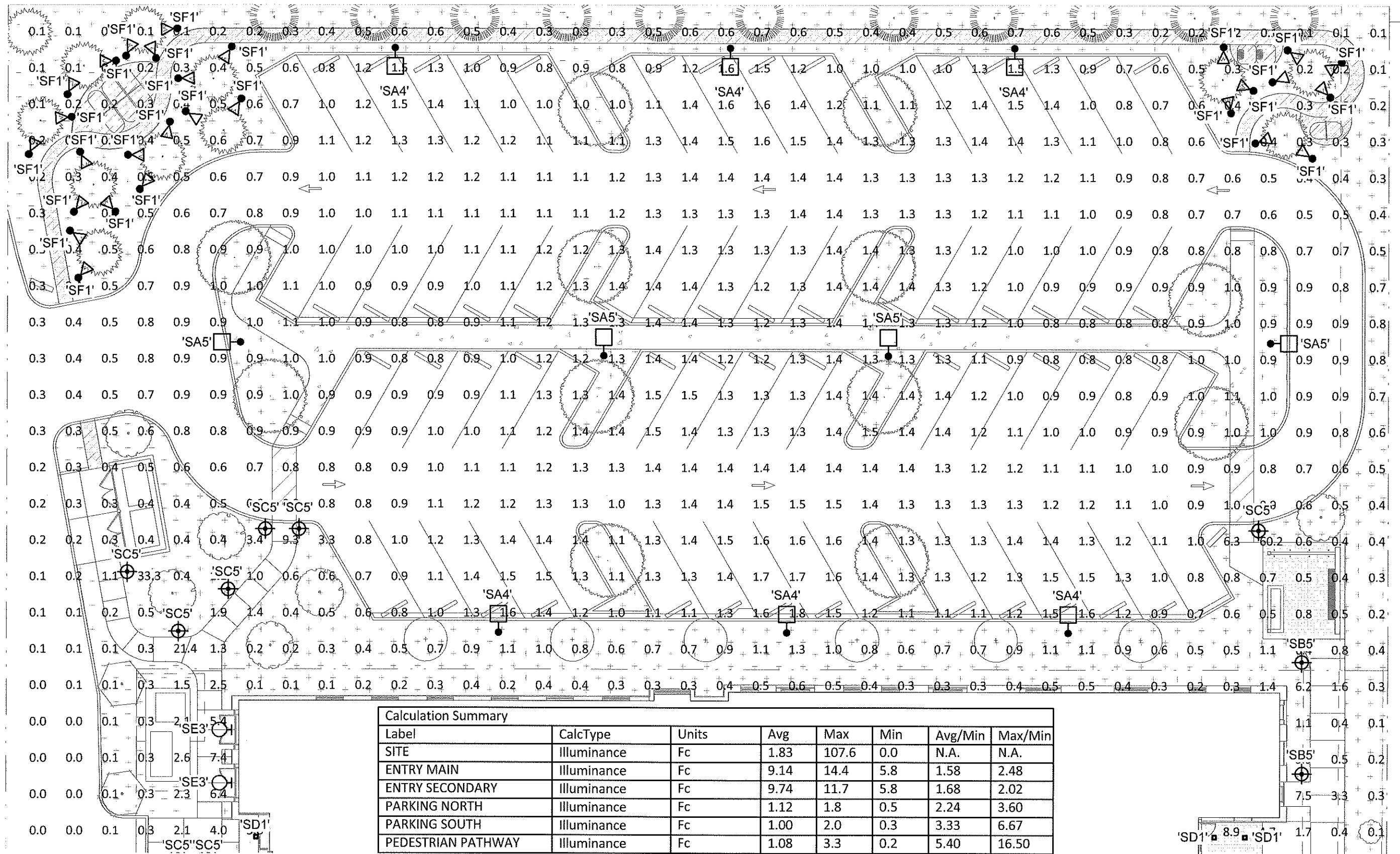


LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
'SA4'	SITE/AREA POLE MOUNTED LED; SINGLE HEAD; TYPE 4 DISTRIBUTION; NOMINAL 13IN WIDE x 26IN LONG X 3IN TALL	DIE CAST ALUMINUM	PRECISION MOLDED ACRYLIC LENSE	POLE MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS WITH GUST FACTOR OF 1.3	DARK BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	4281 NOMINAL LUMENS; 3000K LED; 80CRI	38.0	LITHONIA DSX0 SERIES	
'SA5'	SITE/AREA POLE MOUNTED LED; SINGLE HEAD; TYPE 5 DISTRIBUTION; NOMINAL 13IN WIDE x 26IN LONG X 3IN TALL	DIE CAST ALUMINUM	PRECISION MOLDED ACRYLIC LENSE	POLE MOUNTED TO 20FT TALL ROUND POLE; POLE TO WITHSTAND 100MPH WINDS WITH GUST FACTOR OF 1.3	DARK BRONZE	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	4541 NOMINAL LUMENS; 3000K LED; 80CRI	38.0	LITHONIA DSX0 SERIES	
'SB5'	SITE/AREA COLUMN LED; 76-DEGREE DISTRIBUTION; NOMINAL 6.3IN DIAMETER x 11.4FT TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE PEDESTAL	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	1102 NOMINAL LUMENS; 3000K LED; 80CRI	20.0	LIGMAN BENTON COLUMN SERIES	
'SC5'	SITE/AREA BOLLARD LED; 76-DEGREE DISTRIBUTION; NOMINAL 6.3IN DIAMETER x 39.3IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	GRADE MOUNTED TO CONCRETE PEDESTAL	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	1094 NOMINAL LUMENS; 3000K LED; 80CRI	21.0	LIGMAN BENTON BOLLARD SERIES	
'SD1'	RECESSED LED DOWNLIGHT; 60-DEGREE DISTRIBUTION; NOMINAL 11.375IN LONG x 6.5IN WIDE x 6IN TALL	16-GAUGE BLACK COLD ROLLED STEEL	CLEAR ACRYLIC	RECESSED IN CEILING	CLEAR REFLECTOR W/ MATTE DIFFUSED FINISH	UL WET	INTEGRAL DRIVER; 0-10V DIMMING	750 NOMINAL LUMENS; 3000K LED; 80 CRI	7.5	GOTHAM ICO 4 SERIES	
'SE3'	WALL MOUNTED SITE/AREA LED; TYPE 3 DISTRIBUTION; NOMINAL 10.2IN WIDE x 7.7IN DEEP x 3.1IN TALL	DIE CAST ALUMINUM	CLEAR IMPACT RESISTANT GLASS	WALL MOUNTED @ 10'-0" AFF	DARK GREY	IP 65	INTEGRAL DRIVER; 0-10V DIMMING	2446 NOMINAL LUMENS; 3000K LED; 80CRI	21.0	LIGMAN VEKTER SERIES	
'SF1'	GRADE MOUNTED LED FLOODLIGHT W/ 45-DEGREE CAP; 31-DEGREE WIDE FLOOD DISTRIBUTION; NOMINAL 2.25IN DIAMETER x 7IN LONG	DIE CAST ALUMINUM	CLEAR TEMPERED GLASS W/ SOFT FOCUS LENS	GRADE MOUNTED	SATIN ALUMINUM	IP 66	REMOTE DRIVER; MAGNETIC LOW VOLTAGE DIMMING	409 NOMINAL LUMENS; 3000K LED; 80CRI	7.0	BK LIGHTING DELTA STAR LED SERIES	





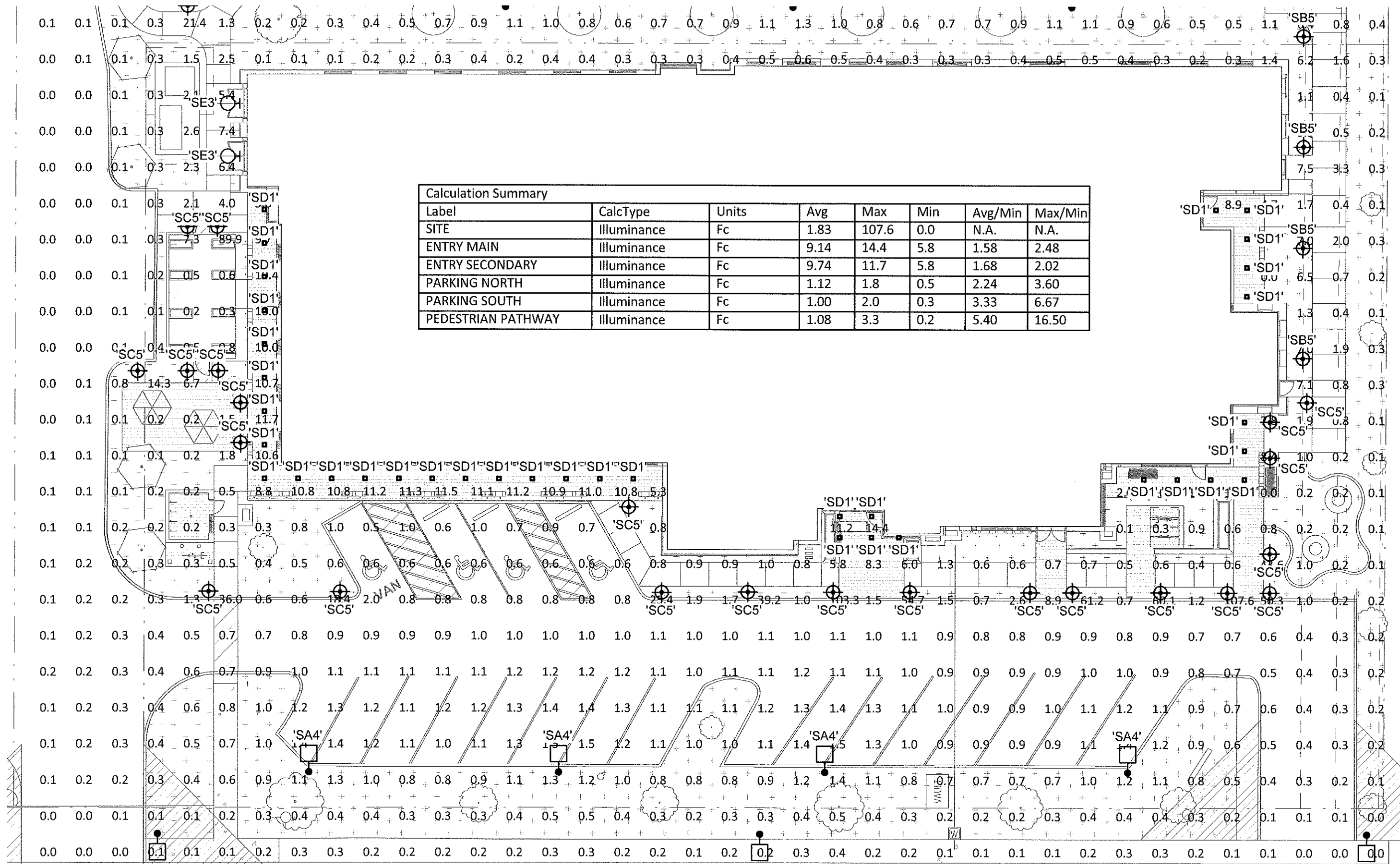


SITE PLAN - LIGHTING - NORTH - PHOTOMETRICS
E1.3



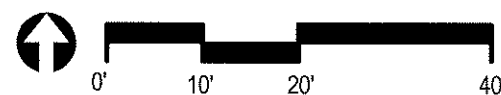
VIRGINIA GARCIA NEWBERG CLINIC
 21162 09/06/22





SITE PLAN - LIGHTING - SOUTH - PHOTOMETRICS

E1.4



VIRGINIA GARCIA NEWBERG CLINIC

21162 09/06/22



4| APPENDIX

- | RBT Consultants Memorandum Regarding Trip Generation
- | Loading Berth Variance Request
- | Glazing Requirement Variance Request
- | Land Use Luminaire Cutsheets



MEMORANDUM

To: Karyn Hanson, City of Newberg
Ashley Smith, City of Newberg
Doug Rux, City of Newberg

From: William Reynolds, PE (OR), AICP, PTP
RBT Consultants

Date: June 8, 2022

Subject: Virginia Garcia Ambulatory Health Clinic Expansion – Trip Generation Memo

Introduction

The following memo summarizes the estimated number of AM and PM peak hour vehicle trips for the proposed expansion of the existing Virginia Garcia Clinic, located at 2251 E Hancock Street in Newberg, OR.

Notes from a pre-application meeting for the project held on May 11, 2022, indicated that a Traffic Study *will not be required* based on an assumed expansion size of 9,000 ft². This memo serves to update the assumed number of vehicle trips based on the gross square footage of 9,625 ft², which includes the roof deck, using the current version ITE's Trip Generation Manual.

Project Trip Generation

The proposed land use most closely corresponds to the following land use category within the current version of ITE's Trip Generation Manual (11th Edition):

- Medical-Dental Office Building (Land Use Code 720)

Traffic impact analyses typically analyze traffic conditions during the AM and PM weekday peak periods, generally assumed to occur from 7 AM to 9 AM during the morning and 4 PM to 6 PM during the evening. The following trip rates correspond to the average trip rate for each time period shown:

- Daily
 - 36.00 vehicle trips per 1,000 ft² (50% entering / 50% exiting)
- AM Peak Hour of Adjacent Street Traffic (One Hour Between 7 and 9 a.m.)
 - 3.10 vehicle trips per 1,000 ft² (79% entering / 21% exiting)
- PM Peak Hour of Adjacent Street Traffic (One Hour Between 4 and 6 p.m.)
 - 3.93 vehicle trips per 1,000 ft² (30% entering / 70% exiting)

Table 1 shows the corresponding peak hour trips for the AM and PM peak hours of adjacent street traffic.

Table 1: Peak Hour Vehicle Trips

Land Use	ITE Code	Units	Daily Trips	AM Peak Hour		PM Peak Hour	
				In	Out	In	Out
Medical-Dental Office Building	720	9,625 ft ²	347	24	6	11	27
				30 trips		38 trips	

Traffic Study Requirements

Per Newberg Development Code 15.220.030(B)(14) a traffic study is required or may be required based on the following criteria:

*Traffic Study. A traffic study shall be submitted for any project that generates in excess of **40 trips per p.m. peak hour**. This requirement may be waived by the director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the director for projects below 40 trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service. The traffic study shall be conducted according to the City of Newberg design standards. [Ord. 2619, 5-16-05; Ord. 2451, 12-2-96. Code 2001 § 151.192.]*

Using the current version of ITE's Trip Generation Manual (11th Edition) and the gross square footage of the proposed expansion, the project is not expected to generate in excess of 40 vehicle trips during the PM peak hour (assumed to be between 4 PM and 6 PM).

Next Steps

Based on the estimated number of new PM peak hour vehicle trips for the proposed project, **no additional traffic analysis is recommended**. However, if City staff determine that a traffic study will be needed, prior to developing a Traffic Impact Analysis (TIA), a TIA scoping memo will be developed and submitted to the City, identifying a draft methodology for review. This would include number of intersections, scenarios to be analyzed, trip distribution, background growth rates, and plan for turning movement data collection.

Closing

Please feel free to reach out to me to discuss the contents of this Memo.

Sincerely,



William Reynolds, PE (OR), AICP, PTP
RBT Consultants

Medical-Dental Office Building - Stand-Alone (720)

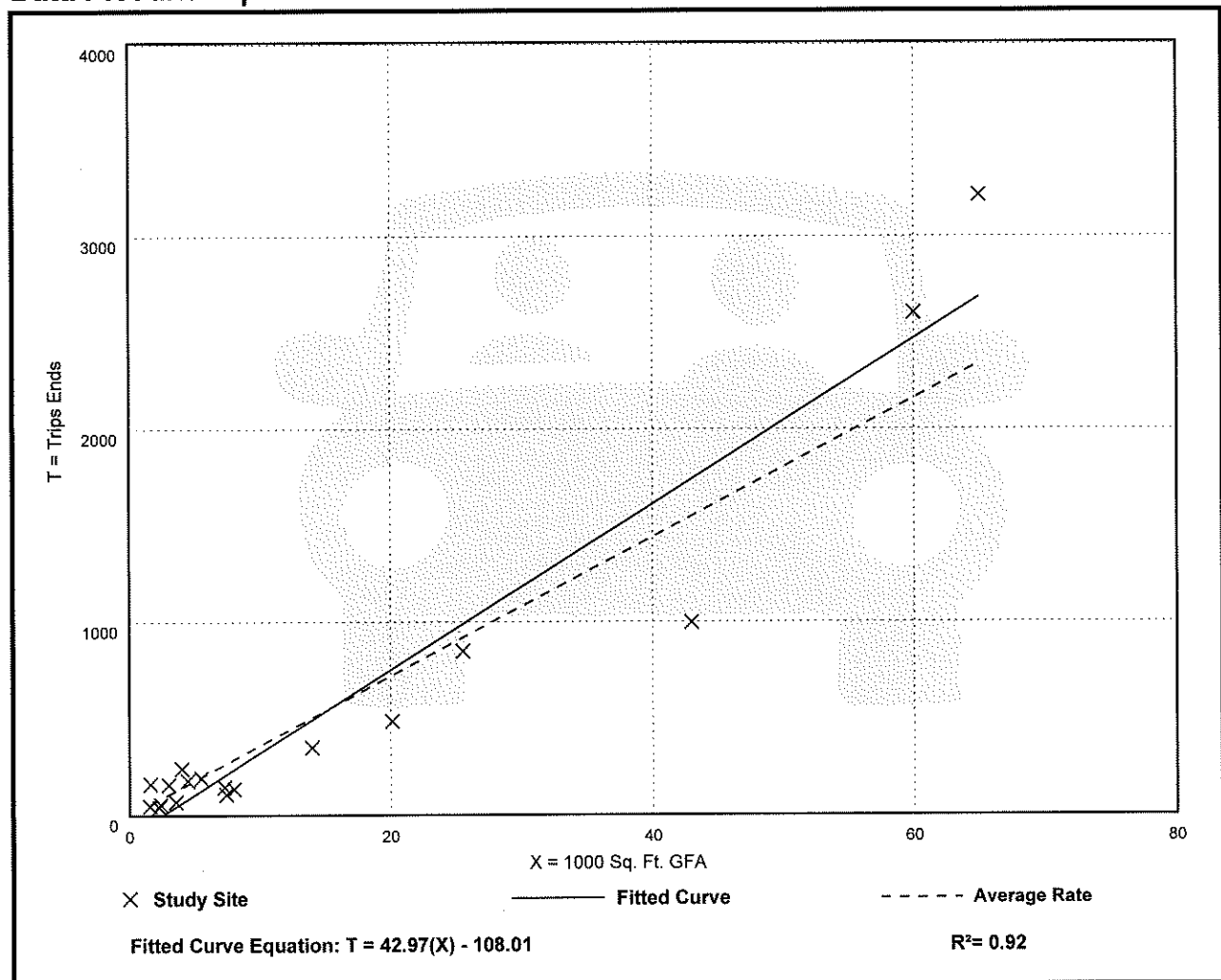
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 18
Avg. 1000 Sq. Ft. GFA: 15
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
36.00	14.52 - 100.75	13.38

Data Plot and Equation



Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 24

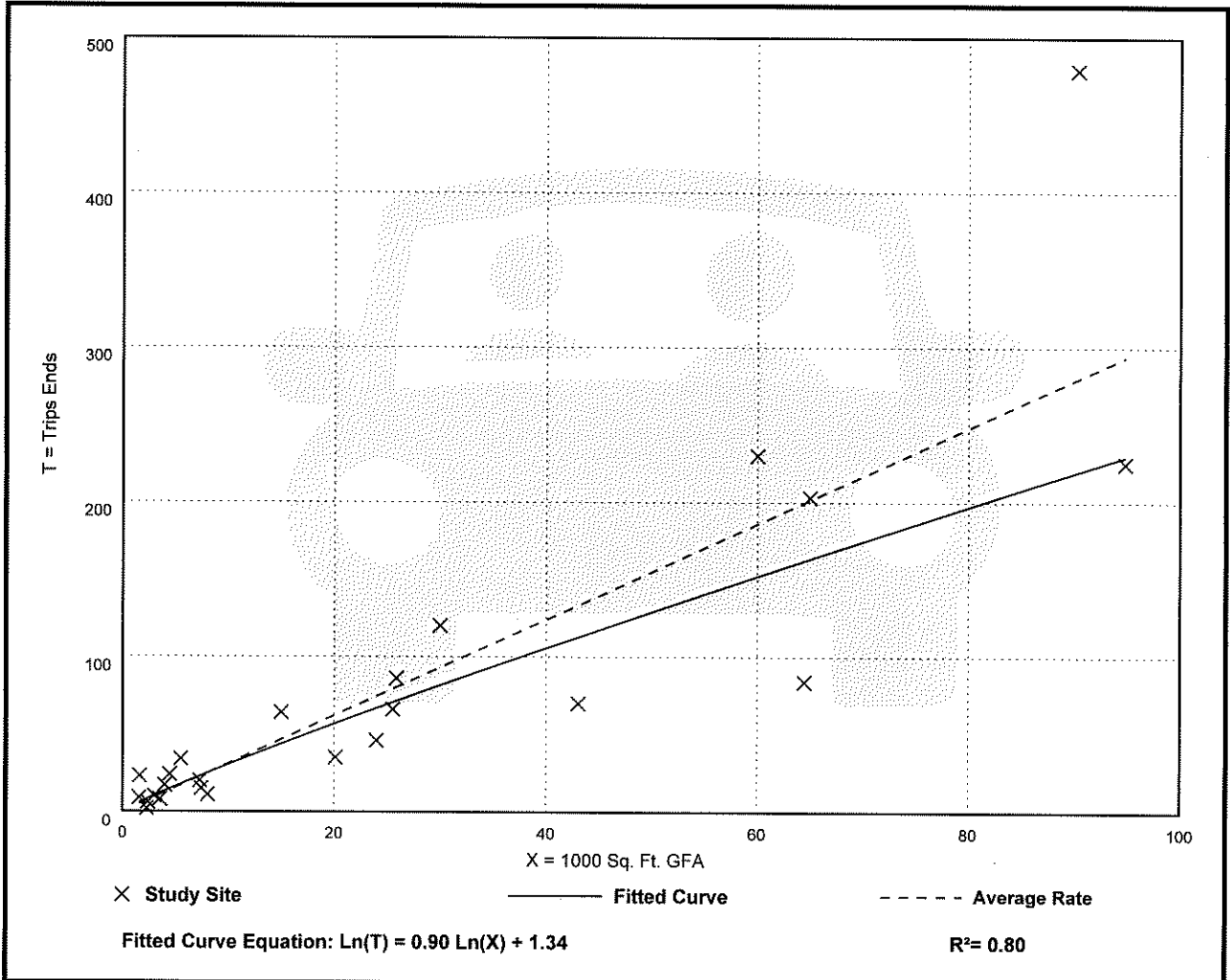
Avg. 1000 Sq. Ft. GFA: 25

Directional Distribution: 79% entering, 21% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.10	0.87 - 14.30	1.49

Data Plot and Equation



Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 30

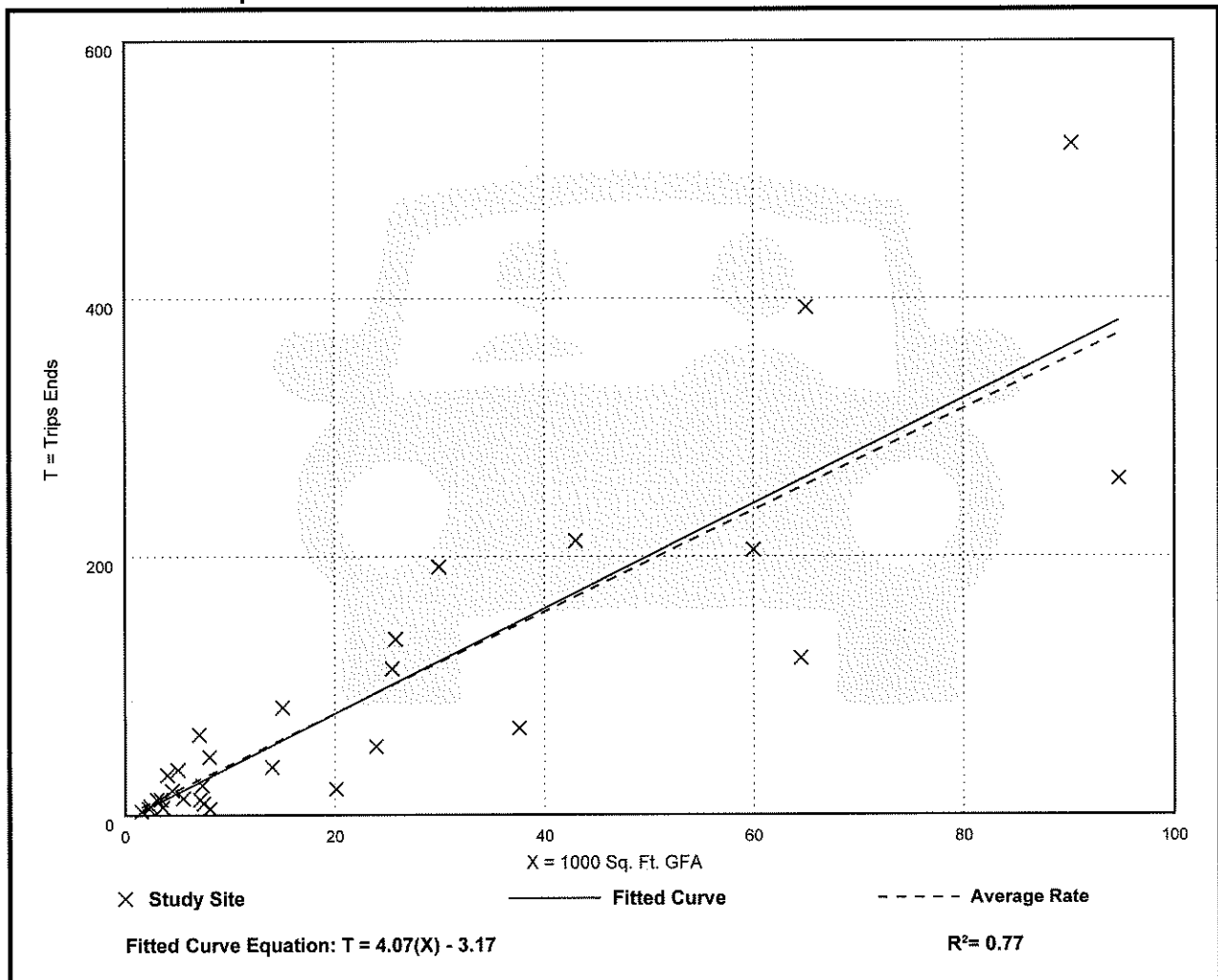
Avg. 1000 Sq. Ft. GFA: 23

Directional Distribution: 30% entering, 70% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.93	0.62 - 8.86	1.86

Data Plot and Equation



TYPE II VARIANCE REQUESTS

Date: 09/06/2022

The Type II Design Review application includes this request for the following three variances.

1. **15.220.070 G.1 Windows.** On commercial building facades facing a public street, windows shall comprise a minimum of 40 percent of the ground floor facade.

Required: 40% glazing
Requested: 36% glazing

The building will house expanded medical, dental and pharmacy facilities. The clinic will remain operational during construction to continue to serve the community. The south façade, which faces E. Hancock Street, is the only public street-facing façade. The southwest portion of the façade includes medical exam rooms, a medical procedure room, private talk rooms and the pharmacy. The exam and procedure rooms require privacy and extensive solid wall space for wall-mounted equipment. The pharmacy also requires extensive solid wall space for pharmacy casework and shelving, and it has high security needs due to the risk of narcotics theft.

Additionally, the southwest wall is existing with no structural design documentation on file at the City. Onsite observations by the structural engineer indicate limited lateral capacity in the existing wall. Openings larger than what is currently designed would require extensive footing upgrades. This would create a hardship for maintaining clinic operations during construction. The construction phasing plan includes room-by-room exam room upgrades to minimize the number of unavailable exam rooms at any one time. Upgrading the footings along the entire southwest wall would preclude this phasing strategy.

To mitigate the limited glazing on the southwest wall, the areas of glazing along the remaining façade have been maximized in order to get as close as possible to the required 40%. The main building entry consists of full height aluminum storefront. The entry to the Wellness Center also includes full height aluminum storefront except where casework abuts the south wall. The existing storefront entry into the WIC tenant space is not part of the scope of work and will be retained as-is.

Additionally, the east, north and west facades provide more than 20% glazing area, which helps to mitigate the slightly reduced glazing area on the south facade. Further building articulation strategies have been employed such as colored box grid pilasters along the south arcade and pedestrian-friendly massing along the entire south façade.

Variance Criteria

- (A) Strict interpretation of this regulation would result in significant difficulty for the Owner, which is a non-profit primarily serving clients with financial hardship and other barriers to healthcare
 - a. Providing the full 40% glazing would result in exam rooms and pharmacy laid out in an inefficient manner in order to accommodate the extra glazing as well as the required wall-mounted equipment. This inefficiency would result in larger than

- necessary rooms with fewer exam rooms overall. This in turn reduces the number of patients the clinic can serve.
- b. Providing the full 40% glazing would result in reduced privacy for patients and providers. It would increase the security risk to the pharmacy due to potential narcotics theft.
 - c. Providing the full 40% glazing would result in extensive footing upgrades, which precludes the ability to keep the clinic open during construction. The outcome would be a lengthy lapse in healthcare options for the community that the clinic serves.
- (B) This project includes upgrades to an existing building with no drawings on file at the City. Structural engineering observations indicate that providing the required 40% glazing in the existing southwest wall will result in significant footing upgrades. This circumstance is unique to this particular building. It would not apply to new construction in the C-2 zone and would not necessarily apply to other existing buildings in the C-2 zone.
- (C) Literal enforcement of this regulation would result in inefficiencies in design due to technical requirements of the building's use as a clinic with exam rooms and other rooms that require solid walls to function properly. Other properties in the C-2 zone may have different programmatic needs and fewer conflicts with the glazing requirement and therefore would not be forced into inefficient room layouts with less-than-optimal functionality.
- (D) Granting this variance will not constitute a grant of special privilege. Medical and dental uses are allowed by right in the C-2 zone, and the slightly reduced glazing percentage is only needed because of these uses. The request is for a 4% reduction in required glazing in order to provide functional and secure medical and pharmacy spaces, not for special privileges.
- (E) Granting this variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.
- a. Granting this variance will improve public health, safety and welfare by allowing the expanded clinic services to come to fruition, and by allowing the clinic to remain operational during construction.
 - b. Granting this variance will not be materially injurious to neighboring properties. The average person will not see the difference in a 4% reduction in glazing. Additionally, the building was built under earlier codes, and the combined proposed improvements will bring the building and the site into compliance with current codes. The overall project includes reduction in impervious surface, the addition of buffer landscaping, improved on-site lighting, and the improvement of the existing west driveway. The site will have an accessible path, required bike parking and additional non-required amenities like a community garden. The building will be voluntarily sprinklered to improve life safety. The slight 4% reduction in the percentage of glazing is more than offset by the cumulative benefits of the overall project to the surrounding area.

2. 15.440.080 A Off-street loading. Buildings to be built or substantially altered which receive and distribute materials and merchandise by trucks shall provide and maintain off-street loading berths in sufficient number and size to adequately handle the needs of the particular use.

- 1. The following standards shall be used in establishing the minimum number of berths required:

Gross Floor Area of the Building in Square Feet	No. of Berths
Up to 10,000	1
10,000 and over	2

Required: 2 berths
Requested: 1 berth

The building will house expanded medical, dental and pharmacy facilities. The majority of the clinic's deliveries occur a few times per month, with a few that occur weekly and two that happen daily. The vehicles making deliveries are primarily the box-type trucks used by FedEx, UPS, etc., as well as passenger vans and cars. No big rigs or other large trucks are anticipated.

The breakdown of deliveries is as follows:

- Biohazards/Sharps containers: Once a week for 15-20 minutes.
- Lab coats: Once a week for 10-20 minutes
- Liquid nitrogen: Every 3 weeks for approximately 30 minutes
- Immunizations: Once a month for 5-10 minutes
- McKesson lab/room supplies: 2-3 times a month for 10-20 minutes
- Office Depot: once a month for 10-20 minutes
- VGMHC courier: 2 times a day for 10-15 minutes
- Lab specimens: Labcorp – at end of day (6-7pm) for 5-10 minutes

Additionally, the clinic has control of the number of daily deliveries and the times that they occur.

Variance Criteria

- (A) Strict interpretation of this regulation would result in unnecessary expense for the Owner, which is a non-profit primarily serving clients with financial hardship and other barriers to healthcare. Given that most of the deliveries for this facility occur on a weekly or longer basis and large trucks are not expected, the two-berth requirement is not necessary for this facility's operations. The money saved by not developing a second, unneeded loading berth will be put to better use if spent on the clinic building and services.
- (B) This project lies in the C-2 Neighborhood Commercial zone. This zone encompasses a wide variety of uses and not all uses have identical needs for loading. The conditions applicable for this specific site do not necessitate two loading berths.
- (C) Literal enforcement of this regulation would result in unnecessary expenditure for the Owner for the development of a loading facility that is not needed for the building to operate. Other properties in the C-2 zone may have different needs for loading and therefore the expenditure for loading facilities would not be considered an undue hardship.
- (D) Granting the variance will not constitute a grant of special privilege since it is based on the actual use and needs of the building. The request is to avoid a requirement to construct a facility that is inappropriate for the building's use, not to gain special privilege.
- (E) Granting the variance will be beneficial to public health, safety and welfare because the funds will instead be used for the clinic. Additionally, reducing the number of loading berths reduces the amount of impervious surface. This allows for more landscaped area, which has a larger environmental benefit beyond this specific site. Granting the variance will not be materially injurious to neighboring properties since the requested single loading berth is sufficient for the number of deliveries the building expects and no disruptions to adjacent properties will occur as a result of the reduced number of loading berths.

Land Use Luminaire Cutsheets

Virginia Garcia Clinic Full Design
2022-0109.01

Prepared for:

Scott Edwards Architecture

Prepared by:

Chris Roybal

September 1, 2022



D-Series Size 0 LED Area Luminaire



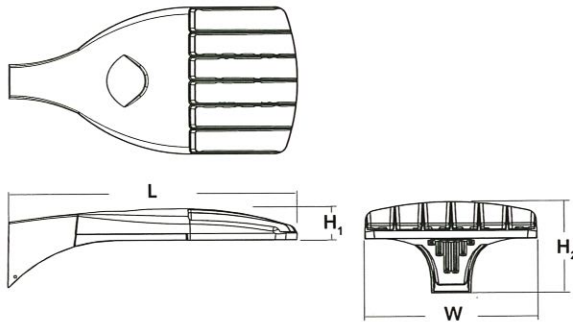
Buy American

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- EPA: 0.95 ft² (0.09 m²)
- Length: 26" (66.0 cm)
- Width: 13" (33.0 cm)
- Height₁: 3" (7.62 cm)
- Height₂: 7" (17.8 cm)
- Weight (max): 16 lbs (7.25 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series		LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED							
DSX0 LED	Forward optics		30K 3000 K	T1S Type I short (Automotive)	T5S Type V short ³	MVOLT (120V-277V) ^{5,6}	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²
	P1	P5	40K 4000 K	T2S Type II short	T5M Type V medium ³	XVOLT (277V-480V) ^{2,8,9}	
	P2	P6	50K 5000 K	T2M Type II medium	T5W Type V wide ³	120 ⁶	
	P3	P7 ¹		T3S Type III short	BLC Backlight control ⁴	208 ⁶	
	P4 ¹			T3M Type III medium	LCCO Left corner cutoff ⁴	240 ⁶	
	Rotated optics			T4M Type IV medium	RCCO Right corner cutoff ⁴	277 ⁶	
	P10 ²	P12 ²		TFIM Forward throw medium		347 ⁶	
	P11 ²	P13 ^{1,2}		T5VS Type V very short ³		480 ⁶	

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PERS Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



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DSX0-LED
 Rev. 07/19/21
 Page 1 of 8

COMMERCIAL OUTDOOR

Ordering Information

Accessories

Ordered and shipped separately.

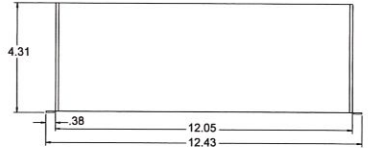
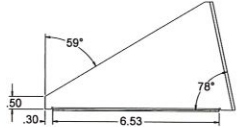
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSXOHS 20C U	House-side shield for P1, P2, P3 and P4 ²²
DSXOHS 30C U	House-side shield for P10, P11, P12 and P13 ²²
DSXOHS 40C U	House-side shield for P5, P6 and P7 ²²
DSXODDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²³
DSXOEGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [Light Air 2](#)

NOTES

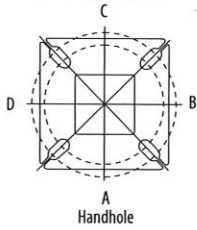
- 1 HA not available with P4, P7, and P13.
- 2 P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS or DDL.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- 7 XVOLT only suitable for use with P4, P7 and P13.
- 8 XVOLT operates with any voltage between 277V and 480V.
- 9 XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with PIRHN.
- 14 Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 15 Must be ordered with NLAIR2. For more information on nLight Air 2 [visit this link](#).
- 16 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 17 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 18 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 19 Reference Controls Options table on page 4.
- 20 Reference Motion Sensor Default Table on page 4 to see functionality.
- 21 Not available with other dimming controls options.
- 22 Not available with BLC, LCCO and RCCO distribution.
- 23 Must be ordered with fixture for factory pre-drilling.
- 24 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- 25 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield

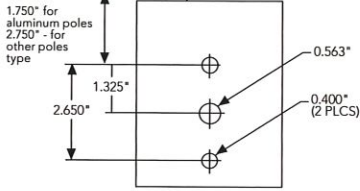


Drilling

HANDHOLE ORIENTATION
(from top of pole)



Template #8
Top of Pole



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544



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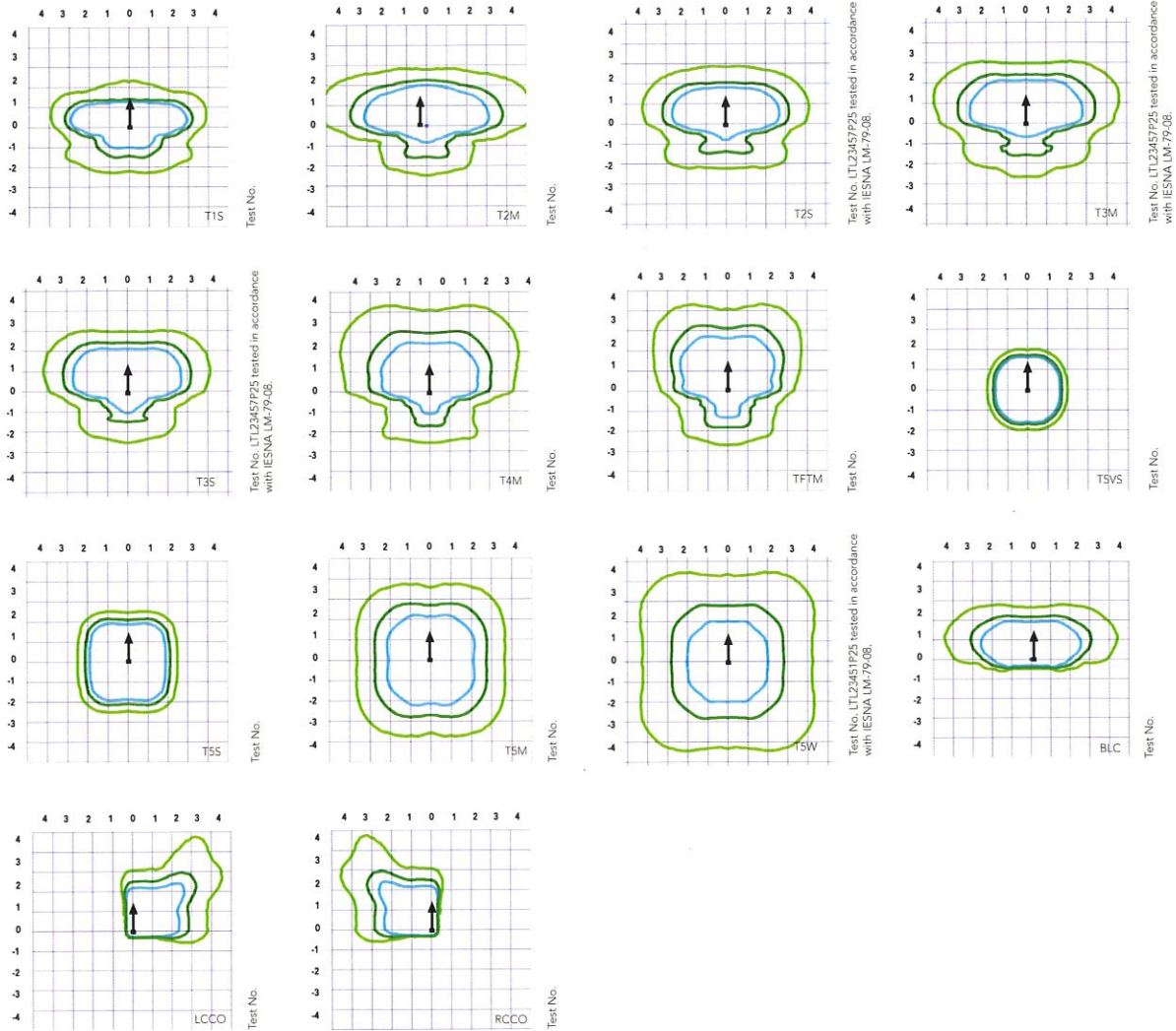
DSX0-LED
Rev. 07/19/21
Page 2 of 8

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 0 homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

- LEGEND**
- 0.1 fc
 - 0.5 fc
 - 1.0 fc



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DSX0-LED
 Rev. 07/19/21
 Page 3 of 8

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125				
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125				
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126				
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122				
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126				
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123				
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126				
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131				
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131				
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130				
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131				
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103				
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124
								T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124
T2M	5,593	1	0					1	114	6,025	1	0	1	123	6,102	1	0	1	125				
T3S	5,417	1	0					2	111	5,835	1	0	2	119	5,909	2	0	2	121				
T3M	5,580	1	0					2	114	6,011	1	0	2	123	6,087	1	0	2	124				
T4M	5,458	1	0					2	111	5,880	1	0	2	120	5,955	1	0	2	122				
TFTM	5,576	1	0					2	114	6,007	1	0	2	123	6,083	1	0	2	124				
TSVS	5,799	2	0					0	118	6,247	2	0	0	127	6,327	2	0	0	129				
TSS	5,804	2	0					0	118	6,252	2	0	0	128	6,332	2	0	1	129				
TSM	5,789	3	0					1	118	6,237	3	0	1	127	6,316	3	0	1	129				
TSW	5,834	3	0					2	119	6,285	3	0	2	128	6,364	3	0	2	130				
BLC	4,572	1	0					1	93	4,925	1	0	1	101	4,987	1	0	1	102				
LCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
RCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
P3	20	1050	71W					T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120
								T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121				
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117				
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121				
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118				
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120				
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125				
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125				
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125				
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126				
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99				
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116
								T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116
T2M	9,831	2	0					2	107	10,590	2	0	2	115	10,724	2	0	2	117				
T3S	9,521	2	0					2	103	10,256	2	0	2	111	10,386	2	0	2	113				
T3M	9,807	2	0					2	107	10,565	2	0	2	115	10,698	2	0	2	116				
T4M	9,594	2	0					2	104	10,335	2	0	3	112	10,466	2	0	3	114				
TFTM	9,801	2	0					2	107	10,558	2	0	2	115	10,692	2	0	2	116				
TSVS	10,193	3	0					1	111	10,981	3	0	1	119	11,120	3	0	1	121				
TSS	10,201	3	0					1	111	10,990	3	0	1	119	11,129	3	0	1	121				
TSM	10,176	4	0					2	111	10,962	4	0	2	119	11,101	4	0	2	121				
TSW	10,254	4	0					3	111	11,047	4	0	3	120	11,186	4	0	3	122				
BLC	8,036	1	0					2	87	8,656	1	0	2	94	8,766	1	0	2	95				
LCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				
RCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				



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DSX0-LED
 Rev. 07/19/21
 Page 5 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130
				TFTM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138
				TSS	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138
				TSM	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138
				TSW	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151
T2S	14,789	3	0					3	110	15,932	3	0	3	119	16,134	3	0	3	120
T2M	14,865	3	0					3	111	16,014	3	0	3	120	16,217	3	0	3	121
T3S	14,396	3	0					3	107	15,509	3	0	3	116	15,705	3	0	3	117
T3M	14,829	2	0					3	111	15,975	3	0	3	119	16,177	3	0	3	121
T4M	14,507	2	0					3	108	15,628	3	0	3	117	15,826	3	0	3	118
TFTM	14,820	2	0					3	111	15,965	3	0	3	119	16,167	3	0	3	121
TSVS	15,413	4	0					1	115	16,604	4	0	1	124	16,815	4	0	1	125
TSS	15,426	3	0					1	115	16,618	4	0	1	124	16,828	4	0	1	126
TSM	15,387	4	0					2	115	16,576	4	0	2	124	16,786	4	0	2	125
TSW	15,506	4	0					3	116	16,704	4	0	3	125	16,915	4	0	3	126
BLC	12,151	1	0					2	91	13,090	1	0	2	98	13,255	1	0	2	99
LCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
RCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74
P7	40	1300	166W					T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110
				TFTM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116
				TSS	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117
				TSM	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116
				TSW	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68
				RCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68



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DSX0-LED
 Rev. 07/19/21
 Page 6 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142
				TSS	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141
				TSM	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83
				T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130
				T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129
T2M	8,699	3	0	3	121	9,371	3	0	3	130	9,490	3	0	3	132				
T3S	8,412	3	0	3	117	9,062	3	0	3	126	9,177	3	0	3	127				
T3M	8,694	3	0	3	121	9,366	3	0	3	130	9,484	3	0	3	132				
T4M	8,530	3	0	3	118	9,189	3	0	3	128	9,305	3	0	3	129				
TFTM	8,750	3	0	3	122	9,427	3	0	3	131	9,546	3	0	3	133				
TSVS	8,812	3	0	0	122	9,493	3	0	0	132	9,613	3	0	0	134				
TSS	8,738	3	0	1	121	9,413	3	0	1	131	9,532	3	0	1	132				
TSM	8,736	3	0	2	121	9,411	3	0	2	131	9,530	3	0	2	132				
TSW	8,657	4	0	2	120	9,326	4	0	2	130	9,444	4	0	2	131				
BLC	7,187	3	0	3	100	7,742	3	0	3	108	7,840	3	0	3	109				
LCCO	5,133	1	0	2	71	5,529	1	0	2	77	5,599	1	0	2	78				
RCCO	5,126	3	0	3	71	5,522	3	0	3	77	5,592	3	0	3	78				
P12	30	1050	104W	T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127
				T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131
				TSS	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130
				TSM	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76
				T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123
				T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122
T2M	14,614	3	0	3	114	15,744	4	0	4	123	15,943	4	0	4	125				
T3S	14,132	4	0	4	110	15,224	4	0	4	119	15,417	4	0	4	120				
T3M	14,606	4	0	4	114	15,735	4	0	4	123	15,934	4	0	4	124				
T4M	14,330	4	0	4	112	15,438	4	0	4	121	15,633	4	0	4	122				
TFTM	14,701	4	0	4	115	15,836	4	0	4	124	16,037	4	0	4	125				
TSVS	14,804	4	0	1	116	15,948	4	0	1	125	16,150	4	0	1	126				
TSS	14,679	3	0	1	115	15,814	3	0	1	124	16,014	3	0	1	125				
TSM	14,676	4	0	2	115	15,810	4	0	2	124	16,010	4	0	2	125				
TSW	14,544	4	0	3	114	15,668	4	0	3	122	15,866	4	0	3	124				
BLC	7919	3	0	3	62	8531	3	0	3	67	8639	3	0	3	67				
LCCO	5145	1	0	2	40	5543	1	0	2	43	5613	1	0	2	44				
RCCO	5139	3	0	3	40	5536	3	0	3	43	5606	3	0	3	44				



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DSX0-LED
 Rev. 07/19/21
 Page 7 of 8

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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DSX0-LED
Rev. 07/19/21
Page 8 of 8



D-Series Size 0 LED Area Luminaire



Buy American

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

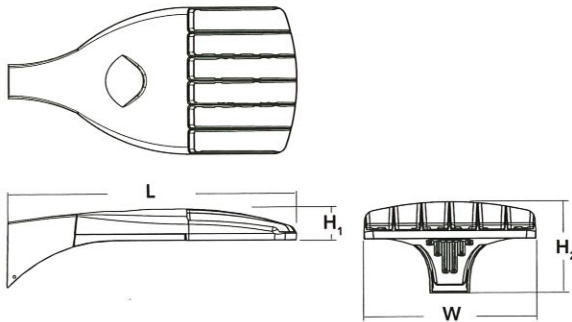
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

- EPA: 0.95 ft² (0.09 m²)
- Length: 26" (66.0 cm)
- Width: 13" (33.0 cm)
- Height₁: 3" (7.62 cm)
- Height₂: 7" (17.8 cm)
- Weight (max): 16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series		LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	P1 P5	30K 3000 K	T1S Type I short (Automotive)	MVOLT (120V-277V) ^{5,6}	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²
		P2 P6	40K 4000 K	T2S Type II short	XVOLT (277V-480V) ^{7,8,9}	
		P3 P7 ¹	50K 5000 K	T2M Type II medium	120 ⁶	
		P4 ¹		T3S Type III short	208 ⁶	
	Rotated optics	P10 ² P12 ²		T3M Type III medium	240 ⁶	
		P11 ² P13 ^{1,2}		T4M Type IV medium	277 ⁶	
				TFTM Forward throw medium	347 ⁶	
				T5S Type V short ³	480 ⁶	
				T5M Type V medium ³		
				T5W Type V wide ³		
				BLC Backlight control ⁴		
				LCCO Left corner cutoff ⁴		
				RCCO Right corner cutoff ⁴		
				T5VS Type V very short ³		

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20} PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20} FAO Field adjustable output ²¹	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



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DSX0-LED
 Rev. 07/19/21
 Page 1 of 8

Ordering Information

Accessories

Ordered and shipped separately.

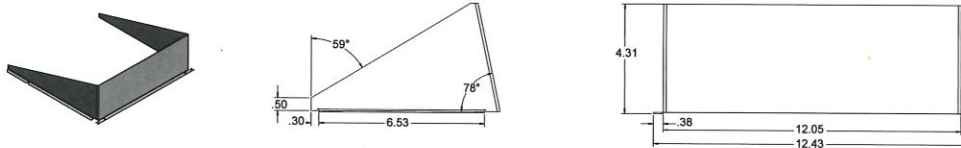
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSXOHS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSXOHS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSXOHS 40C U	House-side shield for P5,P6 and P7 ²²
DSXODDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²⁵
DSXOEGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [nLight Air 2](#)

NOTES

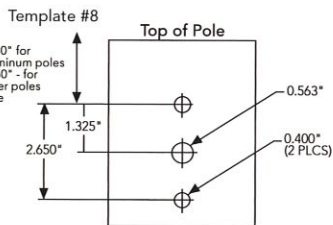
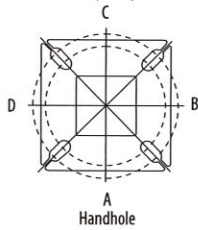
- 1 HA not available with P4, P7, and P13.
- 2 P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS or DDL.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- 7 XVOLT only suitable for use with P4, P7 and P13.
- 8 XVOLT operates with any voltage between 277V and 480V.
- 9 XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with PIRHN.
- 14 Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 15 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 16 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 17 If ROAM* node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 18 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 19 Reference Controls Options table on page 4.
- 20 Reference Motion Sensor Default Table on page 4 to see functionality.
- 21 Not available with other dimming controls options.
- 22 Not available with BLC, LCCO and RCCO distribution.
- 23 Must be ordered with fixture for factory pre-drilling.
- 24 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- 25 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5190	AS3-5280	AS3-5290	AS3-5390	AS3-5320	AS3-5490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544



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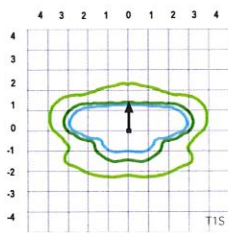
DSX0-LED
 Rev. 07/19/21
 Page 2 of 8

Photometric Diagrams

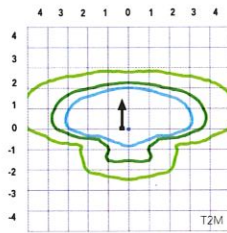
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

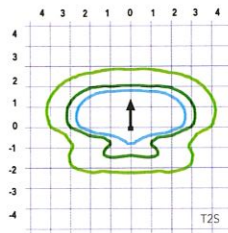
LEGEND
 0.1 fc
 0.5 fc
 1.0 fc



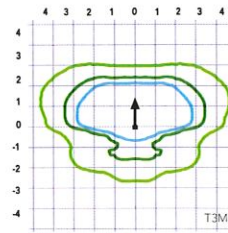
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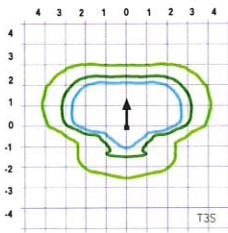
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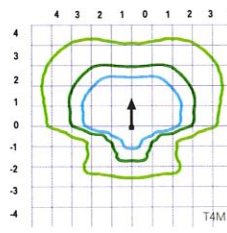
Test No. LT 23457925 tested in accordance with IESNA LM-79-08.



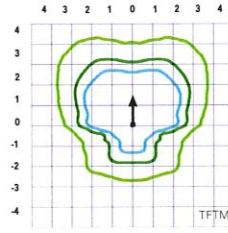
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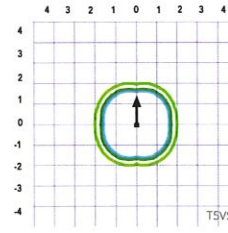
Test No. LT 23457925 tested in accordance with IESNA LM-79-08.



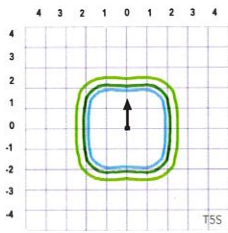
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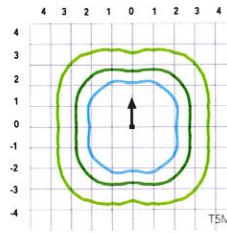
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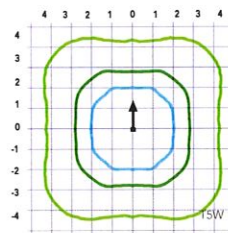
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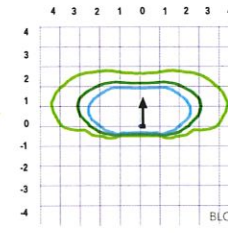
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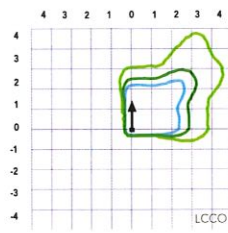
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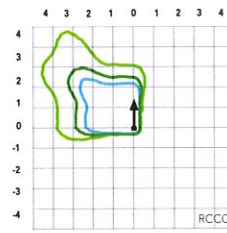
Test No. LT 23451725 tested in accordance with IESNA LM-79-08.



Test No.



Test No.



Test No.



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DSX0-LED
 Rev. 07/19/21
 Page 3 of 8

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors; with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.



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DSX0-LED
 Rev. 07/19/21
 Page 4 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125				
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125				
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126				
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122				
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126				
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123				
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126				
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131				
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131				
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130				
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131				
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103				
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124
								T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124
T2M	5,593	1	0					1	114	6,025	1	0	1	123	6,102	1	0	1	125				
T3S	5,417	1	0					2	111	5,835	1	0	2	119	5,909	2	0	2	121				
T3M	5,580	1	0					2	114	6,011	1	0	2	123	6,087	1	0	2	124				
T4M	5,458	1	0					2	111	5,880	1	0	2	120	5,955	1	0	2	122				
TFTM	5,576	1	0					2	114	6,007	1	0	2	123	6,083	1	0	2	124				
TSVS	5,799	2	0					0	118	6,247	2	0	0	127	6,327	2	0	0	129				
TSS	5,804	2	0					0	118	6,252	2	0	0	128	6,332	2	0	1	129				
TSM	5,789	3	0					1	118	6,237	3	0	1	127	6,316	3	0	1	129				
TSW	5,834	3	0					2	119	6,285	3	0	2	128	6,364	3	0	2	130				
BLC	4,572	1	0					1	93	4,925	1	0	1	101	4,987	1	0	1	102				
LCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
RCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
P3	20	1050	71W					T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120
								T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121				
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117				
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121				
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118				
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120				
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125				
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125				
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125				
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126				
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99				
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116
								T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116
T2M	9,831	2	0					2	107	10,590	2	0	2	115	10,724	2	0	2	117				
T3S	9,521	2	0					2	103	10,256	2	0	2	111	10,386	2	0	2	113				
T3M	9,807	2	0					2	107	10,565	2	0	2	115	10,698	2	0	2	116				
T4M	9,594	2	0					2	104	10,335	2	0	3	112	10,466	2	0	3	114				
TFTM	9,801	2	0					2	107	10,558	2	0	2	115	10,692	2	0	2	116				
TSVS	10,193	3	0					1	111	10,981	3	0	1	119	11,120	3	0	1	121				
TSS	10,201	3	0					1	111	10,990	3	0	1	119	11,129	3	0	1	121				
TSM	10,176	4	0					2	111	10,962	4	0	2	119	11,101	4	0	2	121				
TSW	10,254	4	0					3	111	11,047	4	0	3	120	11,186	4	0	3	122				
BLC	8,036	1	0					2	87	8,656	1	0	2	94	8,766	1	0	2	95				
LCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				
RCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133				
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133				
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133				
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129				
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133				
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130				
				TFTM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133				
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138				
				TSS	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138				
				TSM	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138				
				TSW	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139				
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109				
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81				
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81				
				P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151	3	0	3	121
								T2S	14,789	3	0	3	110	15,932	3	0	3	119	16,134	3	0	3	120
T2M	14,865	3	0					3	111	16,014	3	0	3	120	16,217	3	0	3	121				
T3S	14,396	3	0					3	107	15,509	3	0	3	116	15,705	3	0	3	117				
T3M	14,829	2	0					3	111	15,975	3	0	3	119	16,177	3	0	3	121				
T4M	14,507	2	0					3	108	15,628	3	0	3	117	15,826	3	0	3	118				
TFTM	14,820	2	0					3	111	15,965	3	0	3	119	16,167	3	0	3	121				
TSVS	15,413	4	0					1	115	16,604	4	0	1	124	16,815	4	0	1	125				
TSS	15,426	3	0					1	115	16,618	4	0	1	124	16,828	4	0	1	126				
TSM	15,387	4	0					2	115	16,576	4	0	2	124	16,786	4	0	2	125				
TSW	15,506	4	0					3	116	16,704	4	0	3	125	16,915	4	0	3	126				
BLC	12,151	1	0					2	91	13,090	1	0	2	98	13,255	1	0	2	99				
LCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74				
RCCO	9,041	1	0					3	67	9,740	1	0	3	73	9,863	1	0	3	74				
P7	40	1300	166W					T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570	3	0	3	112
								T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112				
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109				
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112				
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110				
				TFTM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112				
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116				
				TSS	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117				
				TSM	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116				
				TSW	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117				
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92				
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68				
				RCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68				



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DSX0-LED
 Rev. 07/19/21
 Page 6 of 8

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138				
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138				
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140				
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136				
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140				
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137				
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141				
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142				
				T5S	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141				
				T5M	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141				
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139				
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116				
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83				
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83				
				P11	30	700	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130
								T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129
T2M	8,699	3	0					3	121	9,371	3	0	3	130	9,490	3	0	3	132				
T3S	8,412	3	0					3	117	9,062	3	0	3	126	9,177	3	0	3	127				
T3M	8,694	3	0					3	121	9,366	3	0	3	130	9,484	3	0	3	132				
T4M	8,530	3	0					3	118	9,189	3	0	3	128	9,305	3	0	3	129				
TFTM	8,750	3	0					3	122	9,427	3	0	3	131	9,546	3	0	3	133				
TSVS	8,812	3	0					0	122	9,493	3	0	0	132	9,613	3	0	0	134				
T5S	8,738	3	0					1	121	9,413	3	0	1	131	9,532	3	0	1	132				
T5M	8,736	3	0					2	121	9,411	3	0	2	131	9,530	3	0	2	132				
TSW	8,657	4	0					2	120	9,326	4	0	2	130	9,444	4	0	2	131				
BLC	7,187	3	0					3	100	7,742	3	0	3	108	7,840	3	0	3	109				
LCCO	5,133	1	0					2	71	5,529	1	0	2	77	5,599	1	0	2	78				
RCCO	5,126	3	0					3	71	5,522	3	0	3	77	5,592	3	0	3	78				
P12	30	1050	104W					T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127
								T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129				
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125				
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129				
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126				
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130				
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131				
				T5S	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130				
				T5M	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130				
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128				
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107				
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76				
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76				
				P13	30	1300	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123
								T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122
T2M	14,614	3	0					3	114	15,744	4	0	4	123	15,943	4	0	4	125				
T3S	14,132	4	0					4	110	15,224	4	0	4	119	15,417	4	0	4	120				
T3M	14,606	4	0					4	114	15,735	4	0	4	123	15,934	4	0	4	124				
T4M	14,330	4	0					4	112	15,438	4	0	4	121	15,633	4	0	4	122				
TFTM	14,701	4	0					4	115	15,836	4	0	4	124	16,037	4	0	4	125				
TSVS	14,804	4	0					1	116	15,948	4	0	1	125	16,150	4	0	1	126				
T5S	14,679	3	0					1	115	15,814	3	0	1	124	16,014	3	0	1	125				
T5M	14,676	4	0					2	115	15,810	4	0	2	124	16,010	4	0	2	125				
TSW	14,544	4	0					3	114	15,668	4	0	3	122	15,866	4	0	3	124				
BLC	7,919	3	0					3	62	8,531	3	0	3	67	8,639	3	0	3	67				
LCCO	5,145	1	0					2	40	5,543	1	0	2	43	5,613	1	0	2	44				
RCCO	5,139	3	0					3	40	5,536	3	0	3	43	5,606	3	0	3	44				



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DSX0-LED
 Rev. 07/19/21
 Page 7 of 8

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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DSX0-LED
Rev. 07/19/21
Page 8 of 8

UBE-20011

Benton 4 Light Column



20w COB
1102 Lumens

76° Optic

IP65
Suitable for wet locations

IK08
Impact Resistant (Vandal Resistant)

Weight 45.6 lbs

Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

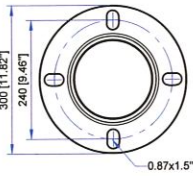
Modern urban lighting furniture. Fashionable contemporary structures creating glare-free soft illumination patterns and available with optional top-mounted adjustable accent spotlights.

A stylish Dark Sky Compliant round high performance light column with downward light distribution using LED lamps. This light column offers optimal visual comfort through glare control by utilizing a controlled optics designed by Ligman. These columns have a round design providing a unique wide light distribution, offering an architecturally appealing clover leaf pattern on the paving. The internal sides of the supporting pillars are accented by light from the LED.

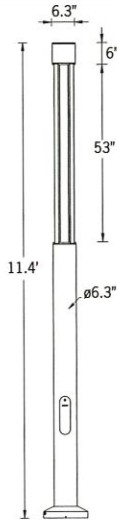
Color temperature 2700K, 3000K, 3500K and 4000K. The minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian areas, precincts, building surrounds, shopping centers, squares and parks. The Benton Column comes standard with a unique waterproof internal driver housing compartment that is situated at the top of the pole to stop water and dust from entering the electrical components. This fixture is supplied completely wired with powercord and waterproof gland from the driver enclosure to the base of the column to ensure quick trouble-free installation.

Custom column heights are available to suit customer design requirements, please specify. This luminaire is supplied complete with anchor bolts and top quality die-cast aluminum anchor bolt cover. Reduced custom wattages and dimming can be provided to suit Title 24 and customer requirements. (Specify total watt requirement per fixture)

Designed to complement the Benton bollard UBE-10001
• NOTE: For the square version of the Benton, please see the Vancouver Light Column and Bollard



Mounting Detail



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UBE-20011

Benton 4 Light Column



PROJECT		DATE	
----------------	--	-------------	--

QUANTITY		TYPE		NOTE	
-----------------	--	-------------	--	-------------	--

ORDERING EXAMPLE || UBE - 20011 - 20w - W30 - 02 - 120/277v - Options

UBE-20011				
LAMP	LED COLOR	FINISH COLOR	VOLTAGE	
20w COB 1102 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- | | |
|--|--|
| <ul style="list-style-type: none"> NAT - Natatorium Rated DIM - 0-10v Dimming HCT - Custom Height (Specify) GFCI - GFCI Box HSS - House Side Shield | <p>DICHROIC COLOR FILTERS</p> <ul style="list-style-type: none"> RD - Red Color Filter BL - Blue Color Filter AM - Amber Color Filter GR - Green Color Filter |
|--|--|

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Benton Product Family



Benton 1

• UBE-10001-21w-1094lm [Ø6.3"]



Benton 2

• UBE-10011-26w-1642lm [Ø8.8"]



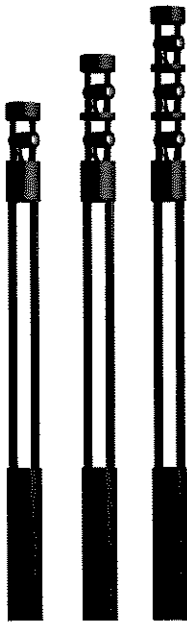
Benton 3

• UBE-20001-40w-2486lm [Ø8.8"-14.7"]



Benton 4

• UBE-20011-20w-1102lm [Ø6.3"-11.4"]



Benton 5

• UBE-20021-40w/21w-4177lm [Ø8.8"]
• UBE-20022-40w/2x21w-5865lm [Ø8.8"]
• UBE-20023-40w/3x21w-7553lm [Ø8.8"]



Benton 5

• UBE-70001-14w-615lm [Ø6.3"]



Benton 6

• UBE-70011-21w-1109lm [Ø8.8"]

UBE-10001

Benton 1 Bollard



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U1 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Modern urban lighting furniture.

Fashionable contemporary structures creating glare-free soft illumination patterns

A stylish Dark Sky Compliant high performance bollard with downward light distribution using LED lamps. This light column offers optimal visual comfort through glare control by utilizing a controlled optics designed by Ligman. These columns have a round design providing a unique wide light distribution, offering an architecturally appealing clover leaf pattern on the paving. The internal sides of the supporting pillars are accented by light from the LED.

Color temperature 2700K, 3000K, 3500K and 4000K. The minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian areas, precincts, building surrounds, shopping centers, squares and parks. The Benton Bollard comes standard with a unique waterproof internal driver housing compartment that is situated at the top of the pole to stop water and dust from entering the electrical components. This fixture is supplied completely wired with powercord and waterproof gland from the driver enclosure to the base of the bollard to ensure quick trouble-free installation.

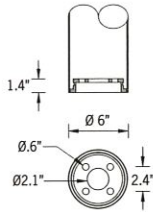
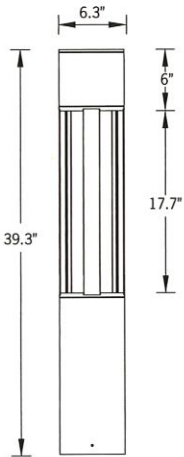
Custom bollard heights are available to suit customer design requirements, please specify.

This luminaire is supplied complete with anchor bolts and top quality die-cast aluminum anchor bolt cover.

Reduced custom wattages and dimming can be provided to suit Title 24 and customer requirements. (Specify total watt requirement per fixture)

Designed to complement the Benton Light Column.

21w COB 1094 Lumens | 76° Optic
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 15.4 lbs



Mounting Detail

Additional Options (Consult Factory For Pricing)



A91591
Lockable In Use GFCI
Receptacle Outlet Box



Ligman Lighting USA reserves the right to change specifications without prior notice. please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UBE-10001

Benton 1 Bollard



PROJECT				DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UBE - 10001 - 21w - W30 - 02 - 120/277v - Options

UBE-10001				
LAMP	LED COLOR	FINISH COLOR	VOLTAGE	
21w COB 1094 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

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ADDITIONAL OPTIONS

- NAT - Natatorium Rated
- DIM - 0-10v Dimming
- HGT - Custom Bollard Height
- GFCI - GFCI Box
- A91591 - Lockable In Use GFCI Receptacle Outlet Box

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



Benton Product Family



Benton 1

• UBE-10001-21w-1094lm [Ø6.3"]



Benton 2

• UBE-10011-26w-1642lm [Ø8.8"]



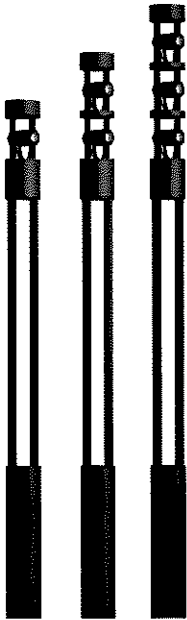
Benton 3

• UBE-20001-40w-2486lm [Ø8.8"-14.7"]



Benton 4

• UBE-20011-20w-1102lm [Ø6.3"-11.4"]



Benton 5

• UBE-20021-40w/21w-4177lm [Ø8.8"]
• UBE-20022-40w/2x21w-5865lm [Ø8.8"]
• UBE-20023-40w/3x21w-7553lm [Ø8.8"]



Benton 5

• UBE-70001-14w-615lm [Ø6.3"]



Benton 6

• UBE-70011-21w-1109lm [Ø8.8"]



Luminaire Type:

Catalog Number:



High Center Beam Round Downlight 4"



OVERVIEW

Feature Set

- Eleven optimized distribution patterns allow designers to achieve tailored objectives
- Bounding Ray™ optical design
- 45° Cutoff to source and source image
- Field interchangeable optic
- Driver and LED light engine fully serviceable from below ceiling
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- ENERGY STAR® Certified product

Distribution



Superior Performance

Nominal Lumens	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000
Delivered	703	807	1062	1545	1977	2419	2920	3548	3982	4419	4848
Wattage	6.7	7.5	9.8	15.1	21.5	26.5	34.1	33.8	39.5	46.2	53.2
Efficacy	104	108	108	102	92	91	86	105	101	96	91

*Based on 3500K 80CRI 35D AR LSS

COMPLEMENTARY PRODUCTS

Coordinated Apertures | Multiple Layers of Light



General Illumination Layer | EVO



High Center Beam Layer | Incito



EVO + Incito — Multiple Layers of Light

								Core
Downlight	Open Wallwash	Lensed Wallwash	Cylinder	Downlight	Adjustable	Lensed Wallwash	Cylinder	
								Special Applications



4" High Center Beam Round Downlight

ORDERING INFORMATION

A+ Capable options indicated by this color background.

Design2Ship Quick Ship Program: Options in green text qualify for Design2Ship — 5 business days from order entry to ship. Refer to Design2Ship Brochure for complete program details. **Maximum Order Quantity: 50 units.**

Luminaire Type:

Catalog Number:

EXAMPLE: IC04 35/15 AR LSS 35D 277 EZ1

Series	Color Temperature	Lumens	Reflector Color	Flange Type	Reflector Finish	Beam
IC04 Incito 4in Round Downlight	27/ 2700 K	05 500 lumens	AR Clear	(blank) Self-flanged	LSS Semi-specular	100 ² 10° beam angle
	30/ 3000 K	07 750 lumens	PR Pewter	FL Flangeless	LD Matte diffuse	150 15° beam angle
	35/ 3500 K	10 1000 lumens	WTR Wheat			200 20° beam angle
	40/ 4000 K	15 1500 lumens	GR Gold			250 25° beam angle
	50/ 5000 K	20 2000 lumens	WR ¹ White painted			300 30° beam angle
		25 2500 lumens	BR ¹ Black			350 35° beam angle
		30 3000 lumens	BZR ¹ Dark Bronze painted			400 40° beam angle
		35 3500 lumens	WRAMF ¹ White Anti-microbial			450 45° beam angle
		40 4000 lumens				500 50° beam angle
		45 4500 lumens				600 60° beam angle
	50 5000 lumens				650 65° beam angle	

Voltage	Driver	Control Interface	Options
120 120V	GZ10 0-10V driver dims to 10%	(blank)	SF Single fuse.
277 277V	GZ1 0-10V driver dims to 1%	NLT ⁷ nLight [®] dimming pack.	90CRI High CRI (90+)
347 ^{2,4} 347V	EZ10 eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	NLTER ^{7,8} nLight [®] dimming pack for fixtures on emergency circuit	TRW ⁹ White Painted Flange
	EZ1 eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	NLTAIR2 nLight [®] AIR dimming pack.	TRBL ¹⁰ Black Painted Flange
	EZB eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	NLTAIRER2 ⁹ nLight [®] AIR dimming pack for fixtures on emergency circuit	ELR ¹¹ Batterypack with remote test switch
	EDAB ⁶ eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	NLTAIREM2 nLight [®] AIR dimming pack for fixtures on emergency circuit	CP ¹² Chicago Plenum
	EDXB ^{6,5} eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. MIN:1000 MAX:4000		N80 nLight Lumen Compensation
	ECOS2 ⁶ Lutron [®] Hi-Lume [®] 2-wire forward-phase driver. 120V Only. Minimum dimming level 1%. Min: 1000LM; Max: 4000LM.		RRL RELOC [®] Ready Luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Available only with RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www.acuitybrands.com for RELOC [®] product specifications. Above ceiling access required.
	ECOD ⁶ Lutron [®] EcoSystem [®] digital Hi-Lume 1% soft-on, fade to black. Min: 500LM; Max: 750LM.		

ACCESSORIES — order as separate catalog numbers (shipped separately)

OPTC4 XXD	Additional optics for field installation. Replace "XX" with beam angle.
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ORDERING NOTES

- Not Available with Finishes.
- Only available 1500lm and below.
- Not available with ELR emergency option.
- Supplied with factory installed step down transformer.
- Includes terminator resistor.
- Not Available with Control Interfaces.
- Must specify 120 or 277.
- For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with WR (White Reflector). Not available with FL.
- For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with BR (Black Reflector). Not available with FL.
- Must specify 120 or 277. Not available with 347. Require 13 1/2" above ceiling access for use with ELR option.
- Only available up to 4500 lumens. Specify 120 or 277.



Optical and Trim Assembly

Fully serviceable and upgradeable lensed LED light engine suitable for field maintenance or service from above or below the ceiling. Optical design is a Bounding Ray™ design with 45° cutoff to source and source image. Top down flash characteristic for superior glare control. Flangeless trim option includes proprietary Gotham mud ring enabling seamless integration into drywall applications. Mud ring ships separately.

Electrical

The luminaire shall operate from a 50 or 60 Hz ± 3 Hz AC line over a voltage ranging from 120 VAC to 277 VAC. Support 347V via fixture-mounted stepdown transformer. The fluctuations of line voltage shall have no visible effect on the luminous output. The luminaire shall have a power factor of 90% or greater at all standard operating voltages and full luminaire output. Sound Rated A+. Driver shall be >80% efficient at full load across all input voltages. Input wires shall be 18AWG, 300V minimum solid copper.

Controls

Luminaire shall be equipped with interface for nLight wired or nLight AIR networks with integral power supply as per specification.

Emergency

Luminaires supplied with a battery pack comply with NFPA 101 (Life Safety code) and deliver constant light output throughout the 90 minutes of code required emergency operation period when there is a normal AC power loss with remote test switch available.

Dimming

The luminaire shall be capable of continuous dimming without perceivable stroboscopic flicker as measured by flicker index (ANSI/IES RP-16-10) over a range of 100 – 10%, 100 – 1.0% or 100 – 0.1% of rated lumen output with a smooth shut off function to step to 0%. eidoLED LED drivers shall conform to IEEE P1789 standards. Alternatively, manufacturers must demonstrate conformance with product literature and testing which demonstrates this performance. Systems that do not meet IEEE P1789 will not be considered. Driver is inaudible in 24dB environment, and stable when input voltage conditions fluctuate over what is typically experienced in a commercial environment.

Construction

Light engine and driver are accessible from above or below ceiling. 16-gauge black painted steel mounting frame with mounting bars included. Post-installation adjustment possible from above or below ceiling. Galvanized steel junction box with hinged access covers and spring latch. Three combination 1/2"-3/4" and one 1/2" knockout for straight-through conduit runs. Capacity: 8 (4 in, 4 out) No. 12 AWG conductors rated for 90°C. Accommodates up to 1½"-thick ceilings.

Listings

Fixtures are CSA Certified to meet US and Canadian Standards: All fixtures manufactured in strict accordance with the appropriate and current requirements of the "Standards for Safety" to UL, wet location covered ceiling.

Luminaire configurations are Energy Star certified through testing in EPA-recognized laboratories, with the results reviewed by an independent, accredited certification organization. Visit www.energystar.gov for specific configurations listed.

IC-rated up to 1000 lumens.

Photometrics

LEDs tested to LM-80 standards. Measured by IESNA Standard LM-79-08 in an accredited lab. Lumen output shall not decrease by more than 30% over the minimum operational life of 60,000 hours.

Color appearance from luminaire to luminaire of the same type and in all configurations, shall be consistent both initially and at 6,000 hours and operate within a tolerance of <2.5 MacAdam ellipse as defined by the center of the quadrangles defined in ANSI C78.377-2015.

Buy American

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

Warranty

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note:

Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

 **A+ Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight* control networks when ordered with drivers marked by a shaded background*
- This luminaire is part of an A+ Certified solution for nLight* control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

4" High Center Beam Round Downlight

Tables of Use

IC0 - eidoLED Driver Default Dimming Curve			
Nomenclature	Min Dimming	Driver Dim Curve	Control Dim Curve
EZ10	10%	Linear	Linear/Logarithmic
EZ1	1%	Linear	Linear/Logarithmic
EZB	<1%	Logarithmic	Linear
EDAB	<1%	Logarithmic*	Linear
EDXB	<1%	Square	Linear

*Changeable thorough DALI controller

Lumen Output Multiplier		
CRI	CCT	Multiplier
80	2700K	0.916
	3000K	0.948
	3500K	1
	4000K	1.032
	5000K	1.1
90	2700K	0.748
	3000K	0.8
	3500K	0.838
	4000K	0.845
	5000K	0.945

Reflector Finish Multiplier	
Reflector Finish	Multiplier
LS - Specular	1
LSS - Semi Specular	0.956
WR - White	0.87
LD - Matte Diffuse	0.85
BR - Black	0.73
BZR - Bronze	0.73

Nomenclature	Driver Description	Control Provided				
		NLT	NLTER	NLTAIR2	NLTAIREM2	NLTAIRER2
GZ10	0-10V driver dims to 10%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
GZ1	0-10V driver dims to 1%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZ10	eidoLED 0-10V ECOdrive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZ1	eidoLED 0-10V ECOdrive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2
EZB	eidoLED 0-10V SOLOdrive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V EM G2	RPP20 D 24V ER G2

Marked Spacing in Inches 25°C Ambient			
Lumen Package	Fixed Center to Center MIN	Fixture Center to Building Member MIN	Space Above Fixture
5000	24	12	0.5
3500-4500 (GZ1/GZ10 Only)	24	12	0.5
4000-4500 w/CP (EZ1/EZ10 Only)	24	12	0.5
3500-4500 w/CP (GZ1/GZ10 Only)	24	12	0.5

ELR Availability/Compatibility – Initial Lumens			
Product	LED		Initial Lumens
	Lumens	Watts	
IC04	500-5000	6-53	630

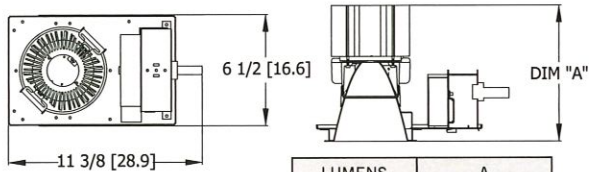
4" High Center Beam Round Downlight

DIMENSIONAL DATA

*Dimensions in inches [centimeters]

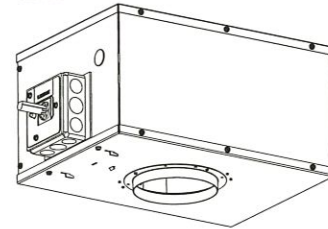
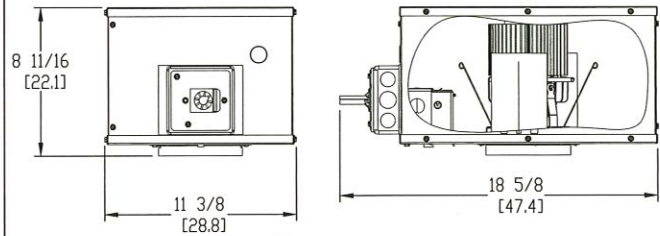
Aperture: 4-5/16 [11]	Ceiling Opening: 5-1/8 [13] self-flanged
Overlap Trim: 5-7/16 [13.8]	4-5/8 [11.7] flangeless

Standard

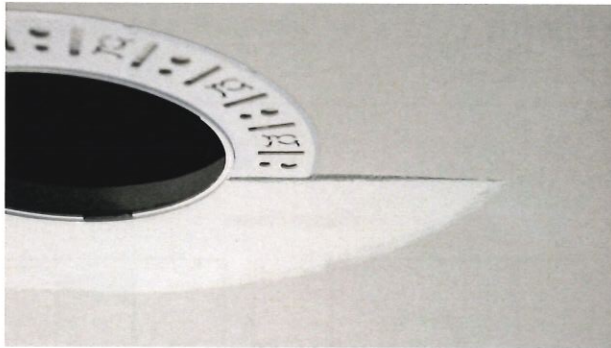


LUMENS	A
Up to 1000	6 [15.2]
Up to 2000	7 [17.8]
Above 2000	8 [20.3]

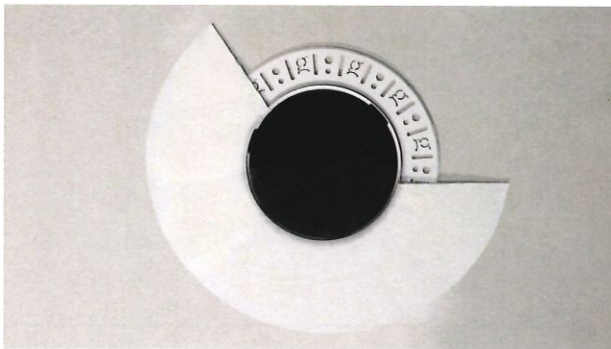
Chicago Plenum



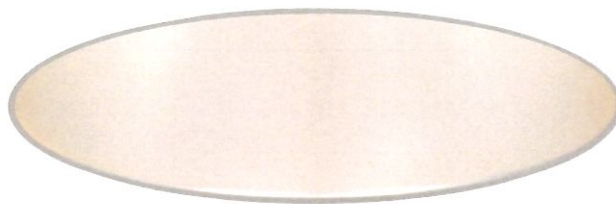
Flangeless



Partially finished mud ring, showing cross-section detail.



An ICO downlight requires only approximately 3" of plaster to finish.



ICO with flangeless trim

Flangeless Installation

Gotham's flangeless option utilizes a micro-thin polymer mud ring that minimizes the amount of drywall compound required to finish the ceiling. The end result is a virtually undetectable flangeless downlight installation.

The polymer mud ring is installed independent of the recessed frame, therefore floating with the ceiling. This innovation minimizes any surface cracks during reflector installation, ceiling movement and any future service to the recessed frame, wiring, electronics, etc.

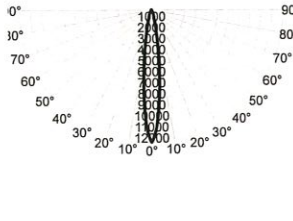


4" High Center Beam Round Downlight

Photometry

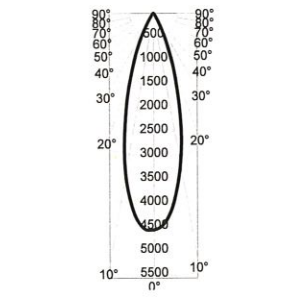
CONSULT WWW.GOTHAMLIGHTING.COM FOR ADDITIONAL PHOTOMETRY

ICO4 35/15 AR LSS 15D Input Watts: 15.1, Delivered Lumens: 1504, LPW: 99.6, S/MH: 0.24, Test No: ISF 192654P563



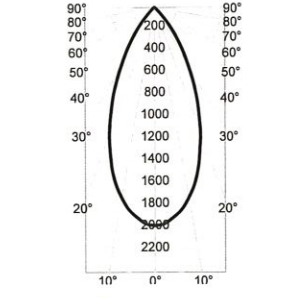
CP Summary	Zonal Lumen Summary			Coefficients of Utilization										Cone of Light			Luminance (cd/sq.m)
				pf	80%	20%		50%	Mounting Height	Initial FC Center Beam	Beam Diameter	Average Luminance					
						50%	30%						10%	50%	30%	10%	
0°	Zone	Lumens	% Fixture	pw	50%	30%	10%	50%	30%	10%	50%	30%	10%	6.0	332.3	1.5	0° 1,505,657
0°	0° - 30°	1,449	96%	0	122	122	119	119	119	114	114	114	114	8.0	186.9	2.0	45° 3,408
5°	0° - 40°	1,479	98%	1	116	115	113	114	113	111	110	109	108	10.0	119.6	2.4	55° 1,106
15°	0° - 60°	1,501	100%	2	112	109	107	110	107	105	107	105	103	12.0	83.1	2.9	65° 300
25°	0° - 90°	1,503	100%	3	108	104	102	106	103	101	104	101	99	14.0	61.0	3.4	75° 0
35°	90° - 180°	1	0%	4	104	100	98	103	100	97	101	98	96				85° 0
45°	0° - 180°	1,504	100%	5	101	97	94	100	97	94	98	95	93				
55°				6	98	94	92	97	94	91	96	93	91				
65°				7	96	92	89	95	91	89	94	91	89				
75°				8	93	90	87	93	89	87	92	89	87				
85°				9	91	88	85	91	87	85	90	87	85				
90°				10	89	86	83	89	86	83	88	85	83				

ICO4 35/15 AR LSS 30D Input Watts: 15.1, Delivered Lumens: 1411, LPW: 93.4, S/MH: 0.47, Test No: ISF 192657P563



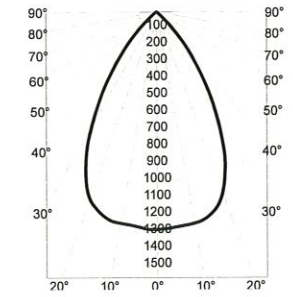
CP Summary	Zonal Lumen Summary			Coefficients of Utilization										Cone of Light			Luminance (cd/sq.m)
				pf	80%	20%		50%	Mounting Height	Initial FC Center Beam	Beam Diameter	Average Luminance					
						50%	30%						10%	50%	30%	10%	
0°	Zone	Lumens	% Fixture	pw	50%	30%	10%	50%	30%	10%	50%	30%	10%	6.0	125.7	3.1	0° 569,489
0°	0° - 30°	1,295	92%	0	119	119	119	116	116	111	111	111	111	8.0	70.7	4.2	45° 4,664
5°	0° - 40°	1,376	97%	1	112	110	108	110	108	107	106	105	103	10.0	45.3	5.2	55° 1,327
15°	0° - 60°	1,407	100%	2	106	103	100	105	102	99	102	99	97	12.0	31.4	6.3	65° 300
25°	0° - 90°	1,410	100%	3	101	97	94	100	96	93	97	94	92	14.0	23.1	7.3	75° 0
35°	90° - 180°	1	0%	4	97	92	89	96	92	88	94	90	87				85° 0
45°	0° - 180°	1,411	100%	5	92	88	85	92	87	84	90	86	84				
55°				6	89	84	81	88	84	81	87	83	80				
65°				7	85	81	77	85	80	77	84	80	77				
75°				8	82	77	74	82	77	74	81	77	74				
85°				9	79	75	72	79	74	71	78	74	71				
90°				10	76	72	69	76	72	69	75	71	69				

ICO4 35/15 AR LSS 45D Input Watts: 15.1, Delivered Lumens: 1437, LPW: 95.2, S/MH: 0.73, Test No: ISF 192660P563



CP Summary	Zonal Lumen Summary			Coefficients of Utilization										Cone of Light			Luminance (cd/sq.m)
				pf	80%	20%		50%	Mounting Height	Initial FC Center Beam	Beam Diameter	Average Luminance					
						50%	30%						10%	50%	30%	10%	
0°	Zone	Lumens	% Fixture	pw	50%	30%	10%	50%	30%	10%	50%	30%	10%	6.0	54.7	5.2	0° 247,708
0°	0° - 30°	1,060	74%	0	120	120	120	117	117	117	112	112	112	8.0	30.8	6.9	45° 13,812
5°	0° - 40°	1,329	92%	1	111	109	107	109	107	105	105	104	102	10.0	19.7	8.7	55° 2,211
15°	0° - 60°	1,432	100%	2	104	100	97	102	99	96	99	96	94	12.0	13.7	10.4	65° 900
25°	0° - 90°	1,437	100%	3	97	92	89	96	91	88	93	90	86	14.0	10.0	12.1	75° 490
35°	90° - 180°	1	0%	4	91	86	82	90	85	81	88	84	80				85° 0
45°	0° - 180°	1,437	100%	5	86	80	76	85	79	75	83	78	75				
55°				6	81	75	71	80	74	70	78	74	70				
65°				7	76	70	66	75	70	66	74	69	66				
75°				8	72	66	62	71	66	62	70	65	62				
85°				9	68	62	59	68	62	58	67	62	58				
90°				10	65	59	55	64	59	55	63	58	55				

ICO4 35/15 AR LSS 65D Input Watts: 15.1, Delivered Lumens: 1382, LPW: 91.5, S/MH: 0.98, Test No: ISF 192663P563



CP Summary	Zonal Lumen Summary			Coefficients of Utilization										Cone of Light			Luminance (cd/sq.m)
				pf	80%	20%		50%	Mounting Height	Initial FC Center Beam	Beam Diameter	Average Luminance					
						50%	30%						10%	50%	30%	10%	
0°	Zone	Lumens	% Fixture	pw	50%	30%	10%	50%	30%	10%	50%	30%	10%	6.0	35.6	7.5	0° 161,080
0°	0° - 30°	913	66%	0	119	119	119	116	116	111	111	111	111	8.0	20.0	10.0	45° 20,269
5°	0° - 40°	1,238	90%	1	110	108	106	108	106	104	104	102	101	10.0	12.8	12.5	55° 2,654
15°	0° - 60°	1,376	100%	2	102	98	95	101	97	94	97	94	92	12.0	8.9	15.0	65° 900
25°	0° - 90°	1,382	100%	3	95	90	86	94	89	85	91	87	84	14.0	6.5	17.5	75° 490
35°	90° - 180°	1	0%	4	88	83	78	87	82	78	85	81	77				85° 0
45°	0° - 180°	1,382	100%	5	82	76	72	82	76	72	80	75	71				
55°				6	77	71	66	76	70	66	75	70	66				
65°				7	72	66	61	71	66	61	70	65	61				
75°				8	68	61	57	67	61	57	66	61	57				
85°				9	64	57	53	63	57	53	62	57	53				
90°				10	60	54	50	59	54	50	59	53	50				



4" High Center Beam Round Downlight

nLIGHT AIR

nLight® AIR is the ideal solution for retrofit or new construction spaces where adding communication wiring is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each EVO Luminaire ordered with the NLTAIR option. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.

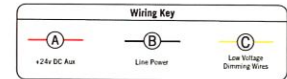
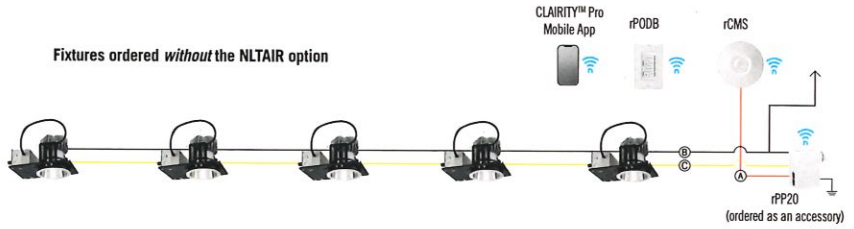
nLight® AIR Control Accessories
Order as separate catalog number. Visit [nLight AIR](#).

Wall Switches	Model Number
On/Off single pole	rPODB (color) G2
On/Off two pole	rPODB 2P (color) G2
On/Off & raise/lower single pole	rPODB DX (color) G2
On/Off & raise/lower two pole	rPODB 2P DX (color) G2

nLight® AIR Control Accessories (cont.)

Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	rCMS 9 / rCMS PDT 9
Large motion 360°, ceiling	rCMS 10 / rCMS PDT 10

Possibilities for nLight® AIR



nLIGHT

nLight® Wired The nLight® solution is a digital networked lighting control system that provides both energy savings and increased user configurability by cost effectively integrating time-based, daylight-based, sensor-based and manual lighting control schemes.

nLight® Wired Control Accessories
Order as separate catalog number. Visit [nLight](#).

Wall Switches	Model Number
On/Off single pole	nPODM (XX)
On/Off two pole	nPODM 2P (XX)
On/Off & raise/lower single pole	nPOD DX (XX)
On/Off & raise/lower two pole	nPODM 2P DX (XX)
Graphic touchscreen	nPOD GFX (XX)

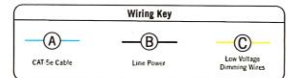
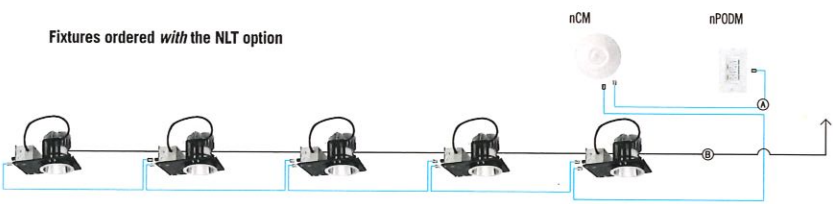
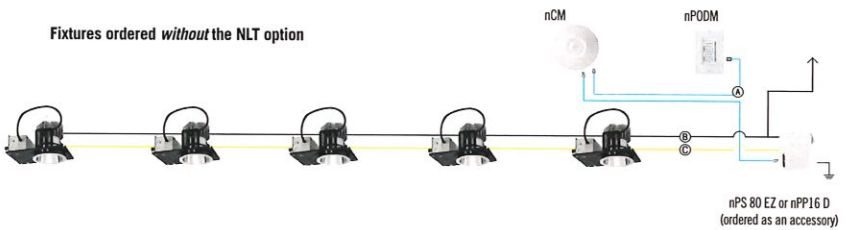
Photocell Controls	Model Number
Dimming	nCM ADCX

nLight® Wired Control Accessories (cont.)

Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	nCM 9 / nCM PDT 9
Large motion 360°, ceiling	nCM 10 / nCM PDT 10
Wide View	nWV 16 / nWV PDT 16
Wall switch with raise/lower	nWSX LV DX / nWSX PDT LV DX

Cat-5 Cables (plenum rated)	Model Number
10', CAT5	CAT5 10FT J1
15', CAT5	CAT5 15FT J1

Possibilities for nLight® wired

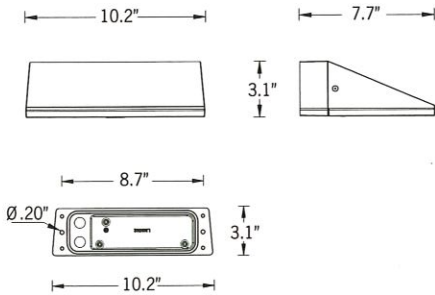


UVK-30001

Vekter 1 Medium Surface



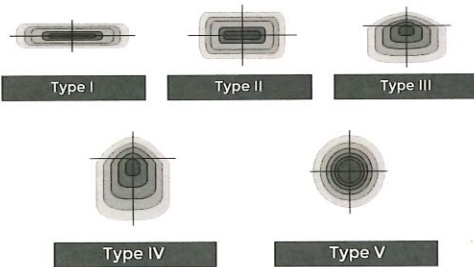
21w LED 2446 Lumens
 IP65 • Suitable For Wet Locations
 IK08 • Impact Resistant (Vandal Resistant)
 Weight 7 lbs



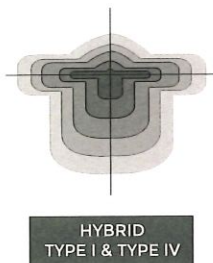
Mounting Detail



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B2 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Flexible wall-mounted floodlighting and area luminaires. Sleek, angular, technical and powerful professional lighting solutions.

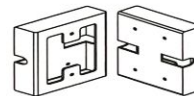
A wedge shaped range of small profile wall mounted luminaires, with no visible external hardware for use in uplight or downlight applications. This product is provided with a range of high powered LEDs with a selection of optics.

The Vekter is unique as it is available with Type II, III, IV & V light distribution options that facilitates wider spacing and even light distribution between the light fixtures. Wide spacings of up to 40' on center can be achieved using a type II optic with uniformity that complies to path of egress requirements. This provides higher energy saving and reduced installation costs. The Vekter can be manufactured using different type beam optics to achieve custom distribution, e.g using type II and type IV optics inside the same luminaire.

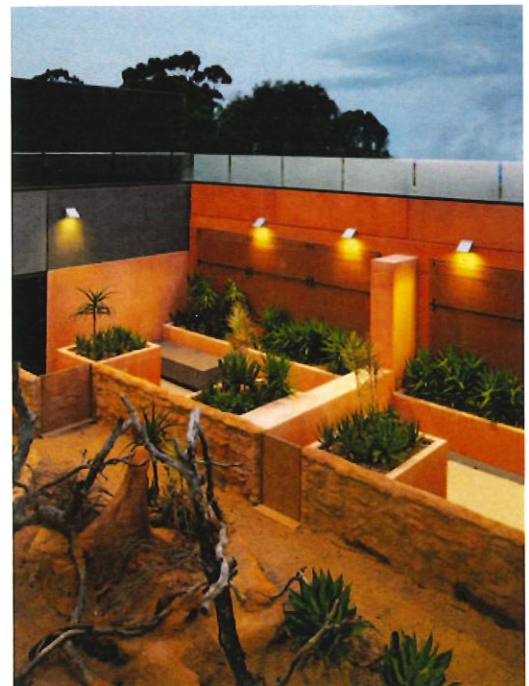
Integral electronic control gear is housed in a special waterproof box that can be detached from the optical chamber for easy installation. Mounting plate for 3" and 4" junction box is provided with the fixture. Matching surface mount conduit boxes are available as an option.

The Vekter is suitable for lighting footpaths, building facades, building entrances and parking areas around buildings.

Additional Options (Consult Factory For Pricing)



SCE
 Surface Conduit Decorative Trim



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UVK-30001

Vekter 1 Medium Surface



PROJECT	<input type="text"/>	DATE	<input type="text"/>
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QUANTITY	<input type="text"/>	TYPE	<input type="text"/>	NOTE	<input type="text"/>
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ORDERING EXAMPLE || UVK - 30001 - 21w - T2 - W30 - 02 - 120/277v - Options

UVK-30001	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	21w LED 2446 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution M - Medium 31" W - Wide 53" VW - Very Wide 66" EW - Extra Wide 110"	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

<input type="text"/>	<input type="text"/>	<input type="text"/>
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ADDITIONAL OPTIONS

- NAT - Natatorium Rated
- DIM - 0-10v Dimming
- SCE - Surface Conduit Decorative Trim
- F - Frosted Lens
- EMR - Remote Emergency Pack
- AMB - Turtle Friendly Amber LED

Vekter Product Family



7144 NE Progress Court
Hillsboro, Oregon 97124
T: 503.645.0500 | F: 503.645.800

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



DELTA STAR LED

IP66 RATED

DATE: _____ PROJECT: _____ TYPE: _____

CATALOG NUMBER LOGIC:



**Designed for use with LED transformer. Requires magnetic low voltage dimmer.*

***Please see Adjust-e-Lume photometry to determine desired intensity.*

****The 360SL cost is already included in the price of UPM, UPM dual, and Power Canopy.*

CATALOG NUMBER LOGIC

Example: B - DS - LED - e64 - SP - A7 - BZP - 12 - 11 - A - 360SL

MATERIAL

(Blank) - Aluminum B - Brass S - Stainless Steel

SERIES

DS - Delta Star

SOURCE

LED - with Integral Dimming Driver (25W min. load when dimmed)*

LED TYPE

e64 - 7W LED/2700K e66 - 7W LED/4000K
e65 - 7W LED/3000K e74 - 7W LED/Amber

OPTICS

NSP - Narrow Spot (13°) MFL - Medium Flood (23°)
SP - Spot (16°) WFL - Wide Flood (31°)

ADJUST-E-LUME® OUTPUT INTENSITY**

A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1

FINISH (See page 2 for full-color swatches)

Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)

Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)

Also available in RAL Finishes

Brass Finishes (MAC, POL, MIT)

Stainless Steel Finishes (MAC, POL)

LENS TYPE

12 - Soft Focus 13 - Rectilinear

SHIELDING

11 - Honeycomb Baffle

CAP STYLE

A - 45°
B - 90°
C - Flush Lens
D - 45° Less Weephole (Interior use only)
E - 90° Less Weephole (Interior use only)
F - 90° with Flush Lens

OPTIONS

360SL - Knuckle Mounting System***

B-K LIGHTING

MADE IN THE USA

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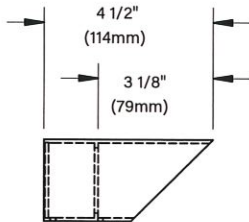
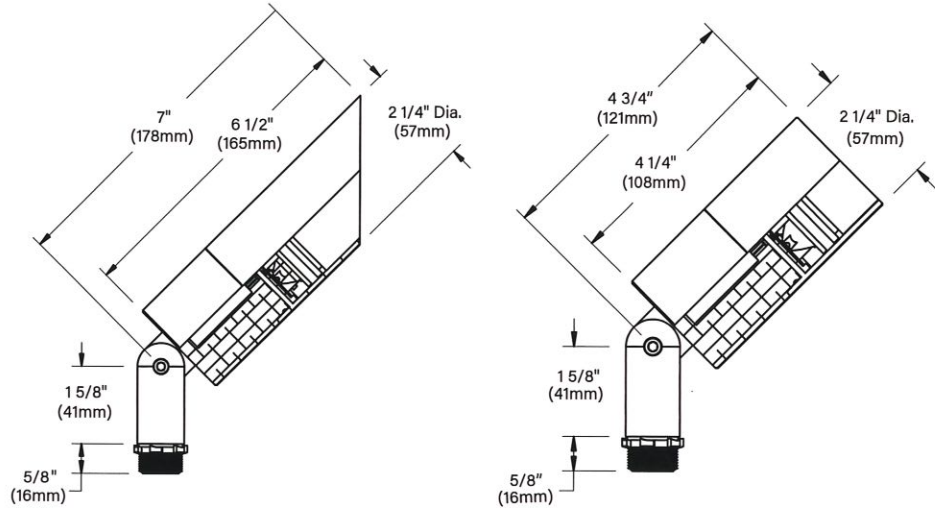
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01/15/2020 SKU-739
SUB000930

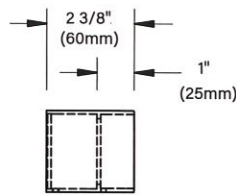
DELTA STAR LED

IP66 RATED

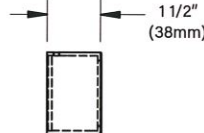
DATE: _____ PROJECT: _____ TYPE: _____



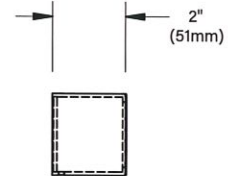
A/D CAP



B/E CAP



C CAP



F CAP

STANDARD FINISHES



[Click Here](#) to view larger, full-color swatches of all available finishes on our website.

PREMIUM FINISHES



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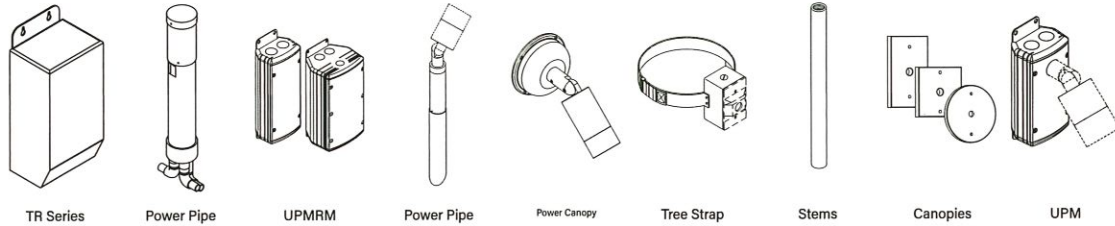
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DELTA STAR LED

IP66 RATED

DATE: _____ PROJECT: _____ TYPE: _____

Accessories (Configure separately)



SPECIFICATIONS

<p>ELECTRICAL</p>	<p>WATTAGE WIRING REMOTE TRANSFORMER</p>	<p>7W LED XLPE, 18GA,150C, 600V, rated and certified to UL3321. For use with 12VAC remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturers' transformers.</p>
<p>PHYSICAL</p>	<p>MATERIALS BODY KNUCKLE CAP LENS LED DIMMING ADJUST-E-LUME OPTICS HARDWARE FINISH WARRANTY CERTIFICATION & LISTING</p>	<p>Furnished in copper-free aluminum (6061-T6), brass (360) or stainless steel (304). Unibody design with enclosed, water-proof wireway and integral heat sink is fully machined from solid billet. LOCK Knuckle is integral to the body and features an interior taper machined from solid billet and a second, reverse angle taper allowing full 180° vertical adjustment without the use of aim-limiting serrated teeth. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lbs. static load prior to movement for optical alignment with a ½" pipe thread for mounting. Optional 360SL provides biaxial source control with 360° horizontal rotation in addition to vertical adjustment. Fully machined and accommodates two (2) lens or louver media. Shock-resistant, tempered glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Integrated solid state system and modular design with electrical disconnects allow for easy field upgrade and maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements and exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components. Integral, constant current driver. 12VAC/VDC input. 50/60Hz. Proprietary input control scheme achieves power factor correction and eliminates inrush current (limited to <250mA non-dimming). Output, overvoltage, open-circuit, and short circuit protected. Conforms to Safety Std. C22.2 No. 250.13-12. Line voltage dimmable via magnetic low voltage dimmer with dedicated neutral conductor. Remote magnetic transformer with LED loads should be loaded to 25% of the transformer VA (watts) rated value. Integral electronics allow for dynamic lumen response at the individual fixture. Indexed (100% to 25% nom.) lumen output. Maintains output at desired level or may be changed. Specify factory preset output intensity. Interchangeable OPTIKIT modules permit optical field changes. Color-code: Narrow Spot (NSP) = red; Spot (SP) = green; Medium Flood (MFL) = yellow; Wide Flood (WFL) = blue. Tamper-resistant, stainless steel hardware. LOCK aiming screw is black oxide treated for additional corrosion resistance. StarGuard, our 15-stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating and is RoHS compliant. Powder coat or metal finish options available for brass material and metal finish option only for stainless steel material. 5-year limited warranty. ITL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant. Suitable for indoor or outdoor use, in wet locations, and for installation within 4' of the ground. IP66 Rated. Made in the USA with sustainable processes.</p>



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LAMP & DRIVER DATA (e64, e65, e66, e74)

DATE: _____ PROJECT: _____ TYPE: _____

CATALOG NUMBER LOGIC: _____

DRIVER DATA	Input Volts	InRush Current	Operating	Dimmable	Operation Ambient Temperature
	12VAC/DC 50/60Hz	<250mA (non-dimmed)	700mA	Magnetic Low Voltage Dimmer	-22°F-194°F (-30°C - 90°C)

LM79 DATA				L70 DATA	OPTICAL DATA			
BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)	Minimum Rated Life (hrs.) 70% of initial lumens (L ₇₀)	Angle	CBCP	Delivered Lumens	Multiplier
e64	2700K	80	7	50,000	13°	5993	456	0.87
	2700K	80	7	50,000	16°	4546	445	0.87
	2700K	80	7	50,000	23°	1726	397	0.87
	2700K	80	7	50,000	31°	1131	399	0.87
e65	3000K	80	7	50,000	13°	6131	466	0.89
	3000K	80	7	50,000	16°	4650	455	0.89
	3000K	80	7	50,000	23°	1766	406	0.89
	3000K	80	7	50,000	31°	1157	409	0.89
e66	4000K	80	7	50,000	13°	6889	524	
	4000K	80	7	50,000	16°	5225	511	
	4000K	80	7	50,000	23°	1984	456	
	4000K	80	7	50,000	31°	1300	459	
e74	Amber	80	7	50,000	13°	3,927	299	0.57
	Amber	80	7	50,000	16°	2,978	291	0.57
	Amber	80	7	50,000	23°	1,131	260	0.57
	Amber	80	7	50,000	31°	741	262	0.57

OPTICS	
Optic	Angle
NSP - Narrow Spot	13°
SP - Spot	16°
MFL - Medium Flood	23°
WFL - Wide Flood	31°

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Thank you



www.seallp.com

Virginia Garcia Newberg Clinic Type II Design Review Narrative

DESIGN REVIEW

15.220.050 Criteria for design review

- A. Not Applicable
- B. Type II. The following criteria are required to be met in order to approve a Type II design review request:
 1. Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.
Response: See pages 5 - 9
 2. Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.
Response: See section responses
 3. Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.
Response: See section responses.
 4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.
Response: See section responses.
 5. Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.
Response: See section responses.
 6. Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.
Response: Not applicable
 7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.
Response: Medical Office is permitted use in C-2 per Zoning Use Table
 8. Not applicable
 9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be

accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.

Response: See traffic flow diagram

10. Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director.

Response: Not required, see traffic letter

15.220.070 Additional requirements for development in the C-2 zoning district

The purpose of this section is to ensure that development in the C-2 zoning district is designed to promote pedestrian and bicycle uses and improve aesthetics and compatibility. An applicant for a new development or redevelopment within the C-2 zoning district, which is subject to the site design review process, must demonstrate that the following site and building design elements have been incorporated into the design of the project. Exceptions to these additional development requirements may be granted if the requirements would result in construction that is out of character with surrounding development. Applicants for redevelopment of a designated landmark will not be subject to these additional requirements, except for requirements regarding parking and service drives.

- A. Building Entrances. Each building on a lot shall have a primary pedestrian entrance oriented to the primary street. **“Oriented to a street”** means that the building entrance faces the street or is connected to the street by a direct and convenient pathway not exceeding 60 feet in length. **“Primary street”** means the street which has the highest estimated volume of pedestrian traffic. This requirement does not apply to buildings that are located behind other buildings on the lot such that 50 percent or more of their building frontage is blocked by the front building, as measured by sight lines that are perpendicular to the street right-of-way. Such rear buildings shall have a primary entrance oriented to an internal sidewalk or pedestrian pathway system which is internally connected and provides a connection to the primary street.

Response: Front door is oriented to the street. See overall site plan and first floor plan

- B. Parking and Service Drives. No off-street parking or service drives shall be placed within the required front yard setback. No off-street parking shall be placed between the front property line of the primary street, as defined in subsection (A) of this section, and the building. This requirement does not apply to buildings that are located behind other buildings on the lot such that 50 percent or more of their building frontage is blocked by the front building, as measured by sight lines that are perpendicular to the street right-of-way.

Response: No off-street parking or service drives are placed in the front yard setback.

- C. Not applicable.

- D. Building Mass. Where building elevations are oriented to the street in conformance with subsection (A) of this section, architectural features such as windows, pedestrian entrances, building offsets, projections, detailing, change in materials or similar features, shall be used to break up and articulate large building surfaces and volumes.

Response: See page 10

- E. Not applicable

- E. Pedestrian-Scale Building Entrances. Recessed entries, canopies, and/or similar features shall be used at the entries to buildings in order to create a pedestrian scale.

Response: See page 9

G. Windows.

1. On commercial building facades facing a public street, windows shall comprise a minimum of 40 percent of the ground floor facade. For large-scale buildings and developments meeting the standards under subsection (H) of this section, windows shall comprise a minimum of 20 percent of the ground floor facade.

Response: See page 4 and 10

2. Not applicable

H. Not applicable

LOT REQUIREMENTS

15.405.010 Minimum and maximum lot areas

- A. In the following districts, each lot or development site shall have an area as shown below except as otherwise permitted by this code:

1. Not applicable
2. In the AI, C-1, C-2, and C-3 districts, each lot or development site shall have a minimum area of 5,000 square feet or as may be established by a subdistrict.

Response: See page 3 for site sizes. Both sites above 5,000sf

3. Not applicable
4. Not applicable
5. Not applicable

B. Not applicable

C. Definitions – not response required.

D. Not applicable.

15.405.020 Not applicable

15.405.030 Lot dimension and frontage

- A. Definitions – not response required.

- B. Depth to Width Ratio. Each lot and parcel shall have an average depth between the front and rear lines of not more than two and one-half times the average width between the side lines. Depths of lots shall conform to the standards of this code. Development of lots under 15,000 square feet are exempt from the lot depth to width ratio requirement.

Response: Both lot lines are not more than two and one-half times the average width between the side lines

- C. Definitions – not response required.

D. Frontage.

1. No lot or development site shall have less than the following lot frontage standards:
 - a. Each lot or development site shall have either frontage on a public street for a distance of at least 25 feet or have access to a public street through an easement that is at least 25 feet wide. No new private streets, as defined in NMC 15.05.030, shall be created to provide frontage or access except as allowed by NMC 15.240.020(L)(2).

Response: Main site existing frontage is more than 25 feet wide

- b. Not applicable
- c. Not applicable
- d. Not applicable
- 2. Not applicable

15.405.040 Lot coverage and parking coverage requirements

A. Definitions – not response required.

B. Not applicable

C. All other districts and uses not listed in subsection (B) of this section shall not be limited as to lot coverage and parking coverage except as otherwise required by this code.

Response: no limit on lot coverage and parking coverage on sites

YARD SETBACK REQUIREMENTS

15.410.010 General yard regulations

A. Definitions – not response required.

B. Definitions – not response required.

C. Definitions – not response required.

D. Definitions – not response required.

E. Not applicable

F. Not applicable

G. Not applicable

15.410.020 Front yard setback

A. Not applicable

B. Commercial.

1. Not applicable

2. All lots or development sites in the C-2 district shall have a front yard of not less than 10 feet...

Response: see page 4, we are maintaining a front yard setback of 10' or more

3. Not applicable

4. Not applicable

C. Not applicable

D. Not applicable

E. Not applicable

15.410.030 Interior yard setback

A. Not applicable

B. Commercial.

1. All lots or development sites in the C-1 and C-2 districts have no interior yards required where said lots or development sites abut property lines of commercially or industrially zoned property. When interior lot lines of said districts are common with property zoned residentially, interior yards of not less than 10 feet shall be required opposite the residential districts.

Response: see page 4, no side yard setbacks required

2. Not applicable
3. Not applicable

C. Not applicable

D. Not applicable

15.410.040 Not applicable

15.410.050 Not applicable

15.410.060 Vision clearance setback

The following vision clearance standards shall apply in all zones (see Appendix A, Figure 9).

- A. At the intersection of two streets, including private streets, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 50 feet in length.
- B. At the intersection of a private drive and a street, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 25 feet in length.
- C. Vision clearance triangles shall be kept free of all visual obstructions from two and one-half feet to nine feet above the curb line. Where curbs are absent, the edge of the asphalt or future curb location shall be used as a guide, whichever provides the greatest amount of vision clearance.

D. Not applicable

Response: See diagram on C2.0

15.410.070 Definitions – not response required.

BUILDING AND SITE DESIGN STANDARDS

15.415.010 Definitions – not response required.

15.415.020 Building height limitation

B. Commercial, Industrial and Mixed Employment.

2. In the AI, C-2, C-3, M-E, M-1, M-2, and M-3 districts there is no building height limitation, except, where said districts abut upon a residential district, the maximum permitted building height shall not exceed the maximum building height permitted in the abutting residential district for a distance of 50 feet from the abutting boundary.

Response: See page 4, no building height limitation

15.415.030 Definitions – not response required.

15.415.040 Definitions – not response required.

15.415.050 Not Applicable

15.415.060 Not Applicable

LANDSCAPING AND OUTDOOR AREAS

15.420.010 Required minimum landscape standards

Response: See landscape drawings for conformance to section

- A. Not applicable
- B. Required Landscaped Area. The following landscape requirements are established for all developments except single-family detached dwellings, duplex dwellings, triplex dwellings, quadplex dwellings, townhouse dwellings and cottage cluster projects:
 - 1. A minimum of 15 percent of the lot area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subsection (B)(3) of this section....
 - 2. All areas subject to the final design review plan and not otherwise improved shall be landscaped.
 - 3. The following landscape requirements shall apply to the parking and loading areas:
 - a. A parking or loading area providing 10 or more spaces shall be improved with defined landscaped areas totaling no less than 25 square feet per parking space.
 - b. A parking, loading area, or drive aisle which runs adjacent to a property line shall be separate from any lot line adjacent to a street by a landscaped strip at least 10 feet in interior width or the width of the required yard, whichever is greater, and any other lot line by a landscaped strip of at least five feet in interior width. See subsections (B)(3)(c) and (d) of this section for material to plant within landscape strips.
 - c. A landscaped strip separating a parking area, loading area, or drive aisle from a street shall contain street trees spaced as appropriate to the species, not to exceed 50 feet apart on average, and a combination of shrubs and ground cover, or lawn. This landscaping shall provide partial screening of these areas from the street.
 - d. A landscaped strip separating a parking area, loading area, or drive aisle from an interior lot line shall contain any combination of trees, shrubs, ground cover or lawn. Plant material shall be selected from at least two different plant material groups (example: trees and shrubs, or lawn and shrubs, or lawn and trees and shrubs).
 - e. Landscaping in a parking or loading area shall be located in defined landscaped areas which are uniformly distributed throughout the parking or loading area.
 - f. Landscaping areas in a parking lot, service drive or loading area shall have an interior width of not less than five feet.
 - g. All multifamily, institutional, commercial, or industrial parking areas, service drives, or loading zones which abut a residential district shall be enclosed with a 75 percent opaque, site-obscuring fence, wall or evergreen hedge along and immediately adjacent to any interior property line which abuts the residential district. Landscape plantings must be large enough to provide the required minimum screening requirement within 12 months after initial installation. Adequate provisions shall be maintained to protect walls, fences or plant materials from being damaged by vehicles using said parking areas.
 - h. An island of landscaped area shall be located to separate blocks of parking spaces. At a minimum, one deciduous shade tree per seven parking spaces shall be planted to create a partial tree canopy over and around the parking area. No more than seven parking spaces may be grouped together without an island separation unless otherwise approved by the director based on the following alternative standards:
 - i. Provision of a continuous landscaped strip, with a five-foot minimum width, which runs perpendicular to the row of parking spaces (see Appendix A, Figure 13).
 - ii. Provision of tree planting landscape islands, each of which is at least 16 square feet in size, and spaced no more than 50 feet apart on average, within areas proposed for back-to-back parking (see Appendix A, Figure 14).

4. Trees, Shrubs and Ground Covers. The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.

- a. Arterial and minor arterial street trees shall have spacing of approximately 50 feet on center. These trees shall have a minimum two-inch caliper tree trunk or stalk at a measurement of two feet up from the base and shall be balled and burlapped or boxed.
- b. Collector and local street trees shall be spaced approximately 35 to 40 feet on center. These trees shall have a minimum of a one and one-half or one and three-fourths inch tree trunk or stalk and shall be balled and burlapped or boxed.
- c. Accent Trees. Accent trees are trees such as flowering cherry, flowering plum, crab-apple, Hawthorne and the like. These trees shall have a minimum one and one-half inch caliper tree trunk or stalk and shall be at least eight to 10 feet in height. These trees may be planted bare root or balled and burlapped. The spacing of these trees should be approximately 25 to 30 feet on center.
- d. All broad-leafed evergreen shrubs and deciduous shrubs shall have a minimum height of 12 to 15 inches and shall be balled and burlapped or come from a two-gallon can. Gallon-can size shrubs will not be allowed except in ground covers. Larger sizes of shrubs may be required in special areas and locations as specified by the design review board. Spacing of these shrubs shall be typical for the variety, three to eight feet, and shall be identified on the landscape planting plan.
- e. Ground Cover Plant Material. Ground cover plant material such as greening juniper, cotoneaster, minor Bowles, English ivy, hypericum and the like shall be one of the following sizes in specified spacing for that size:

Gallon cans	3 feet on center
4" containers	2 feet on center
2-1/4" containers	18" on center
Rooted cuttings	12" on center

- 5. Automatic, underground irrigation systems shall be provided for all areas required to be planted by this section. The director shall retain the flexibility to allow a combination of irrigated and nonirrigated areas. Landscaping material used within nonirrigated areas must consist of drought- resistant varieties. Provision must be made for alternative irrigation during the first year after initial installation to provide sufficient moisture for plant establishment.
 - 6. Required landscaping shall be continuously maintained.
 - 7. Maximum height of tree species shall be considered when planting under overhead utility lines.
 - 8. Landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) will apply to development proposals unless the institution has addressed the requirements and standards by an approved site development master plan. With an approved site development master plan, the landscape requirements will be reviewed through an administrative Type I review process.
 - 9. In the M-4 zone, landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) do not apply unless within 50 feet of a residential district.
- C. Installation of Landscaping. All landscaping required by these provisions shall be installed prior to the issuance of occupancy permits, unless security equal to 110 percent of the cost of the landscaping as determined by the director is filed with the city, insuring such installation within six months of occupancy. A security – cash, certified check, time certificates of deposit, assignment of a savings account, bond or such other assurance of completion as shall meet with the approval of the city attorney – shall satisfy the security requirements. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the director, the security may be used by the city to complete the installation. Upon completion of

the installation, any portion of the remaining security deposited with the city shall be returned to the applicant.

SIGNS

15.435.10 Definitions – not response required.

15.435.020 Definitions – not response required.

15.435.030 Definitions – not response required.

15.435.040 Definitions – not response required.

15.435.050 Major freestanding signs

Response: See A7.6 for conformance with section

- A. Number.
 - 1. Not applicable
 - 2. Other Zones. Not more than one major freestanding sign shall be located on any one street frontage.
- B. Size.
 - 1. Not applicable
 - 2. Not applicable
 - 3. Other Zones. No major freestanding sign shall be larger than one square foot per foot of street frontage, up to a maximum of 100 square feet. At least 40 square feet of signage will be allowed. For any lot at least 10 acres in size with at least 200 feet of frontage on a street, the one sign on that street may be up to 200 square feet total size.
- C. Height and Setbacks. Freestanding signs regulated by this section are not subject to the setback requirements of NMC 15.410.010 through 15.410.070 or the projecting building features requirements of said sections. Height and setbacks of freestanding signs shall conform to the following requirements:
 - 1. Not applicable
 - 2. Other Zones.
 - a. A sign up to three feet in height is not required to be set back from any property line.
 - b. A sign taller than three feet and up to six feet shall be set back at least five feet from any property line.
 - c. A sign taller than six feet and up to eight feet shall be set back at least 10 feet from any front property line and five feet from any interior property line.
 - d. A sign taller than eight feet and up to 15 feet shall be set back at least 15 feet from any front property line and five feet from any interior property line.
 - e. A sign taller than 15 feet and up to 20 feet shall be set back at least 20 feet from the front property line and five feet from any interior property line.
 - f. A sign on a lot that is at least 10 acres in size in a zone other than residential, C-1, or I and that has at least 200 feet of frontage on a street may be up to 30 feet high, provided it is set back at least 20 feet from the front property line and at least 10 feet from any interior property line.

15.435.060 Minor freestanding signs

Response: See A7.6 for conformance with section

- A. Number. Not more than two minor freestanding signs shall be located in the front yard on any one street frontage, plus one for each full 100 feet of street frontage. This number limit shall not apply to minor freestanding signs located outside a required front yard and more than 10 feet from the public right-of-way.
- B. Size.
 - 1. Not applicable
 - 2. Other Zones. No minor freestanding sign shall exceed six square feet in area.
- C. Height. No minor freestanding sign shall exceed three feet in height.

15.435.070 Major attached

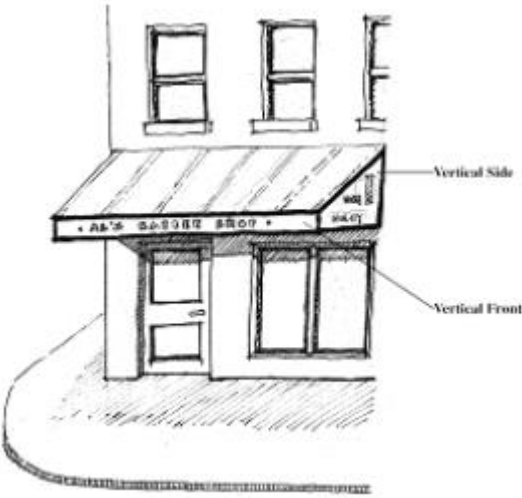
Response: See A7.6 for conformance with section

- A. Number.
 - 1. Not applicable
 - 2. All Zones. The number of major attached signs on any building face shall not exceed one per 25 feet of building frontage of that face.
- B. Size.
 - 1. Not applicable
 - 2. Not applicable
 - 3. Other Zones. The total of all major attached signs on any building frontage shall not exceed one square foot for each foot of building frontage. At least 40 square feet of signage will be allowed.
- C. Height.
 - 1. Not applicable
 - 2. Other Zones. Major attached signs shall not extend above the roof line of the building they are attached to by more than eight feet, and shall not exceed the maximum height of the zone in which they are located.
- D. Projections. Major attached signs may project into the required front yard no more than five feet and into the required interior yards not more than two feet; provided, that such projections are no closer than three feet to any interior lot line....

15.435.080 Minor attached

Response: See A7.6 for conformance with section

- A. Minor Attached Signs.
 - 1. Spacing. No two minor attached signs on one building that are both visible from any one point shall be closer than 25 feet.
 - 2. Size.
 - a. Not applicable
 - b. Other Zones. Minor attached signs shall not exceed six square feet in area.
 - 3. Height. Minor attached signs shall not extend above the roof line of the building they are attached to.
 - 4. Projections.
 - a. Not applicable
 - b. Other Zones. The same projection is allowed as for major attached signs, NMC 15.435.070.
- B. Not applicable



C. Not applicable

- 15.435.085 Not applicable
- 15.435.090 Not applicable
- 15.435.100 Not applicable
- 15.435.105 Not applicable
- 15.435.110 Not applicable
- 15.435.120 Not applicable

15.435.130 Original art murals

Response: see page 10 for conformance with this section

- A. Purpose. The purpose of this section and the policy of the City of Newberg is to permit and encourage original art murals on a content-neutral basis on certain terms and conditions. Original art murals comprise a unique medium of expression which serves the public interest. Original art murals have purposes distinct from other types of signs and confer different benefits. Such purposes and benefits include: improved aesthetics; avenues for original artistic expression; public access to original works of art; community participation in the creation of original works of art; community building through the presence of and identification with original works of art; and a reduction in the incidence of graffiti and other crime. Murals can increase community identity and foster a sense of place and enclosure if they are located at heights and scales visible to pedestrians, are retained for longer periods of time and include a neighborhood process for discussion.
- B. Allowed and Prohibited Original Art Murals.
 - 1. Allowed Original Art Murals. Original art murals that meet all of the following criteria and which are not prohibited will be allowed upon satisfaction of the applicable permit requirements:
 - a. The mural shall remain in place, without alterations, for a period of three years, except in limited circumstances to be specified in this code. The applicant shall certify in the permit application that the applicant agrees to maintain the mural in place for a period of three years without alteration. The applicant can remove the mural at any time, but may be prevented by

- the terms of this code from replacing the mural until the three-year period after the date of the mural permit approval is completed.
- b. The mural shall not extend more than six inches from the plane of the wall upon which it is tiled or painted or to which it is affixed. Murals with projecting features may also require a building permit and structural review; murals which consist only of paint on a wall will not require a building permit.
 - c. Location of mural on the building:
 - i. Not applicable
 - ii. Not applicable
 - iii. In all other areas murals are permitted on any wall of a building.
 - d. Qualifying wall surfaces for murals:
 - i. Murals are permitted only on the flat planes of walls.
 - ii. Murals are permitted only on walls that have not had a specific material, color or texture reviewed and approved through design review, unless a new design review has allowed the mural to change the originally approved color, texture or material.
 - iii. Mural areas will not be painted on or obscure architectural features such as windows, doors, pilasters, cornices or other building recessed or projecting features.
 - iv. The building on which the mural will be painted must have either a certificate of occupancy or be legally occupied, and the floor area of the building must exceed the square footage of the mural.
 - e. Number of mural permits per building wall: Only one mural permit may be obtained per wall.
 - f. Original art murals are allowed in commercial, industrial and institutional zones. In residential zones, original art murals are allowed only on assembly, school uses and public buildings.
2. Prohibited Murals. The following are prohibited:
- a. Murals for which compensation is given or received for the display of the mural or for the right to place the mural on another's property. The applicant shall certify in the permit application that no compensation will be given or received for the display of the mural or the right to place the mural on the property.
 - b. Murals which would result in a property becoming out of compliance with the provisions of the development code, or land use conditions of approval for the development on which the mural is to be located.
- C. Relationship of Permitted Original Art Mural to Other Regulations. The exemption from other sign code restrictions applies only to original art murals for which a permit has been obtained under this section and any adopted administrative processes. Issuance of an original art mural permit does not exempt the permittee from complying with any other applicable requirements of the Newberg Municipal Code, including but not limited to NMC Titles 14 and 15.
- D. Exceptions to this Section. Variances or adjustments to the regulations of this section are prohibited.
- E. Alterations to or Removal of a Permitted Mural.
1. Permitted murals may only be altered within the first three years of the date of completion under the following circumstances:
 - a. The building on which the mural is located has an ownership change; or
 - b. The building or property is substantially remodeled, altered, or damaged in a way that precludes continuance of the mural.
 - i. Alterations are allowed per above but must be approved by obtaining a new permit.
 - ii. Alterations for reasons other than the circumstances described above are not permitted and are considered a violation of the mural permit approval. The mural would be required to be removed and this would preclude approval of a new mural permit at the site for a three-year period after the date of the original mural permit completion.

2. Permitted murals may be removed at any time. Removal of the permitted mural for reasons other than the circumstances described in subsection (E)(1) of this section, however, precludes approval of a new mural permit at the site for a three-year period after the date of the original mural permit completion.
 3. Permitted murals may be altered after the first three years of the date of completion through approval of a new mural permit.
 4. Permitted murals may be removed for any reason after the first three years of the date of completion. Replacing the mural would require a new mural permit.
 5. Permitted murals must be kept in good state of repair and in good condition.
- F. Establishment of a Neighborhood Involvement Process and Community Arts Review for Permits.
1. Purpose. The purpose of the neighborhood involvement process and community arts review is to encourage community discussion and participation in the creation of original works of art that will be highly visible in the community. It is intended to enhance the final art product by providing information on the physical, social, and historical context within which the mural will be placed, and to provide creative suggestions on how the mural can contribute to the overall beauty and attractiveness of the community.
 2. Neighborhood Involvement Process. The applicant for an original art mural permit is required to provide notice of and to hold a neighborhood meeting on the mural proposal at which interested members of the public may review and comment upon the proposed mural. A notice sign must be posted at the site of the proposed mural at least 14 days before the neighborhood meeting. A notice of the meeting must be mailed to all property owners within 500 feet of the site at least 14 days before the neighborhood meeting, in the same manner as a Type II process. After the meeting, the applicant shall submit a letter to the city summarizing the public comments and stating how they have addressed the recommendations from the public.
 3. Community Arts Organization Review. The director shall establish a community arts review process requiring an applicant for an original arts mural permit to submit the application to a designated community arts organization for review. The community arts organization shall be designated by the director, and shall be: (a) a nonprofit; (b) not associated with the mural artist, property owner or tenant; and (c) must have at least three members. The community arts organization shall review the application, consider the artistic merit of the proposed mural, and provide a formal written recommendation to the applicant and the director regarding the proposed mural within 14 days of receiving the application. The applicant shall submit a letter to the city stating how they have addressed the recommendations from the community arts organization.
 4. No original art mural permit shall be issued until the applicant certifies that he or she has completed the required neighborhood involvement process and community arts organization review. The applicant should carefully consider the recommendations from the public and the community arts organization, but they are not obligated to change the design based on these recommendations. This is a process requirement only and in no event will an original art mural permit be granted or denied based upon the content of the mural.
- G. Administrative Process. The director is authorized to create an application form and other administrative procedures necessary to administer this code section. A permit fee will be set by council resolution.
- H. Violations and Enforcement.
1. Violations. It is unlawful to violate any provision of this section, any administrative rules adopted by the director pursuant to this section, or any representations made or conditions or criteria agreed to in an original art mural permit application. This applies to any applicant for an original art mural permit, to the proprietor of a use or development on which a permitted original art mural is located, or to the owner of the land on which the permitted original art

mural is located. For the ease of reference in this section, all of these persons are referred to by the term “operator.”

- 2. Notice of Violations. The director must give written notice of any violation to the operator. Failure of the operator to receive the notice of the violation does not invalidate any enforcement actions taken by the city.
- 3. Penalty. Violation of any provision of this code is a city Class 2 civil infraction and shall be processed in accordance with the uniform civil infraction procedure ordinance, Chapter 2.30 NMC. Each day of a continuing violation constitutes a separate violation.

OFF-STREET PARKING, BICYCLE PARKING AND PRIVATE WALKWAYS

15.440.010 Required off-street parking

- A. Not applicable
- B. Off-street parking is required pursuant to NMC 15.440.030 in the C-2 district.
 - 1. In cases where the applicant is proposing off-street parking, refer to subsection (F) of this section for the maximum number of parking spaces.

Response: 15.440.030 defines how many spaces we need. Refer to that subsection below.

- C. Not applicable
- D. Not applicable
- E. All commercial, office, or industrial developments that have more than 20 off-street parking spaces and that have designated employee parking must provide at least one preferential carpool/vanpool parking space. The preferential carpool/vanpool parking space(s) must be located close to a building entrance.

Response: There will not be any designated employee parking spaces.

- F. Maximum Number of Off-Street Automobile Parking Spaces. The maximum number of off-street automobile parking spaces allowed per site equals the minimum number of required spaces, pursuant to NMC 15.440.030, multiplied by a factor of:
 - 1. One and one-fifth spaces for uses fronting a street with adjacent on-street parking spaces; or
 - 2. One and one-half spaces for uses fronting no street with adjacent on-street parking; or
 - 3. A factor determined according to a parking analysis.

Response: See page 4

15.440.030 Parking spaces required

Medical/dental offices and laboratories	3.5 spaces for each 1,000 gross sq. ft.
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Response: See page 4



VIRGINIA GARCIA MEMORIAL HEALTH CENTER
NEWBERG WELLNESS CENTER
DESIGN REVIEW APPLICATION

SEPTEMBER 6, 2022
REVISED SEPTEMBER 18, 2022

TABLE OF CONTENTS

- 1 | SITE AND ZONING INFORMATION
- 2 | PROJECT DESCRIPTION
- 3 | DESIGN DRAWINGS
- 4 | APPENDIX



1| SITE AND ZONING INFORMATION

MAIN PROJECT SITE

Address: 2251 E Hancock St, Newberg, OR 97132

Tax Lot: MAP 3 2 20AB #00500

Property Owner: Virginia Garcia Memorial Health Center

Zoning: C-2 Community Commercial

Existing Use: Medical Office

Proposed Use: Medical Office

Total Site Size: 41,223 sf **15.405.010(A)(2)**

Existing Building Size: 13,107 sf

NORTH PARKING LOT

Tax Lot: MAP 3 2 20AB 00702

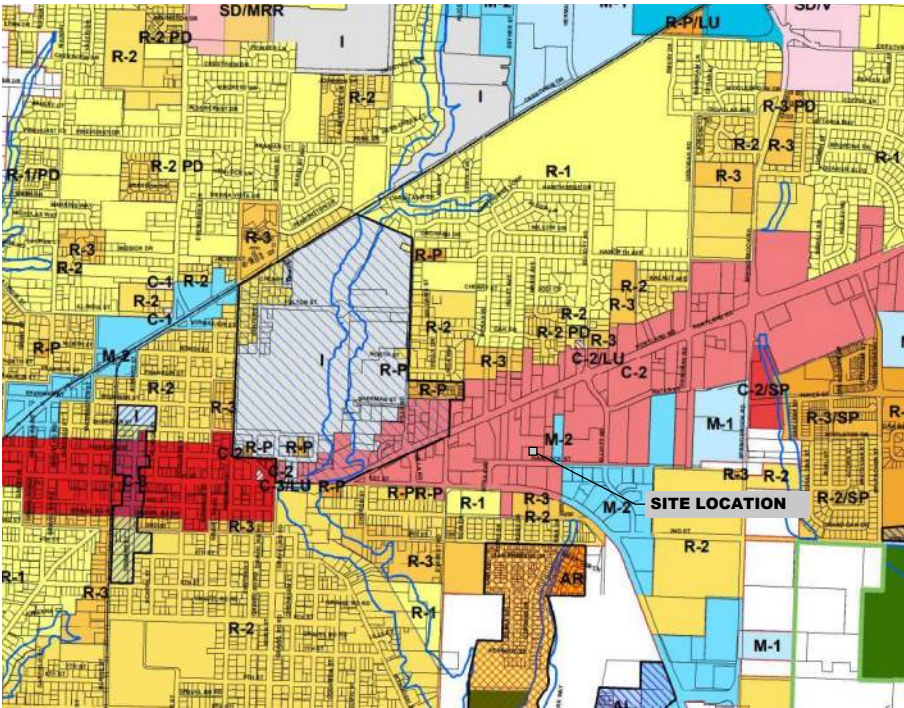
Property Owner: Goodwill Industries of the Columbia Willamette

Zoning: C-2 Community Commercial

Existing Use: Parking

Proposed Use: Parking

Total Site Size: 43,563 sf **15.405.010(A)(2)**



ZONING

- Zoning: Both project sites are C-2 Community Commercial
- Adjacent Site Zoning: Both project sites are surrounded by C-2 Community Commercial
- Setbacks:
 - Front yard setback - 10' min. **15.410.020**
 - Side yard setback - none **15.410.030**
- Landscape Coverage:
 - Required: 15% **15.420.010 (B) (1)**
 - Provided: 25% North Lot Provided: 17% Main Lot
- Height Limitation: No building height limitation because neither abut residential **15.415.020**
- Expected Land Use Review: Type II, major building addition
- Off- Street Parking:
 - Medical/dental office 3.5 spaces per 1,000 gsf **15.440.010(B) and (F)**
 - Required: 77 min; 92 max Provided: 86

Note: Building parking is split between the main project site and the north parking lot site. The north parking will be a long-term shared access agreement between land owners. Agreement between owners and the City of Newberg are ongoing at the time of the submittal. We are requesting for Design Review to commence prior to agreement finalization. Agreement by all three parties will need to be finalized prior to Design Review approval.

No designated employee parking is provided.

- Bicycle Parking:
 - 1 space for every 10,000 gsf
 - Required: 3 Provided: 4 Short Term
- Mailed Notice: Mailed notice required for Type II at least 14 days prior to decision rendered.
- Loading Berths:
 - Required: 2 Provided: 1
 - Note: See appendix for loading berth variance request.
- Glazing Requirements:
 - 40% on the ground floor facade facing public street; 36% provided **15.220.070(G)**
 - Note: See appendix for glazing requirement variance.
 - 20% on other ground floor facades not facing public street:
 - Provided: North elevation 25%, East elevation 28%; West elevation 25%

2| PROJECT DESCRIPTION

EXISTING SITE - MAIN PROJECT SITE

The site was purchased by long term tenant Virginia Garcia Memorial Health Center in 2021 in hopes to expand the health, dental and wellness services they provide to the community.

The main building site has a long rectangular multi-tenant building, parking to the south, drive aisle on the east and west side and parking to the north. There are existing trees on the north, east and west side of the site. Trash enclosure is located on the west side of the site.

It is unknown when the existing building was built but presumably in the early 90s. The building has a colorful band of green mansard roofs and concrete pilasters that differentiate it from other buildings of the type.



Currently, the building has four tenants, moving west to east:

- VGMHC Medical Office
- County Mental Health Office
- VGMHC Dental Office
- Newberg WIC
- 2nd Floor - VGMHC Offices



EXISTING SITE - NORTH PARKING LOT

The north parking is owned by Goodwill Industries and Virginia Garcia Memorial Health Center will be leasing under a long-term lease. The site is fairly flat and is currently paved.

The site has a small lean-to structure that would be demolished as part of the new project plans.



THE NEIGHBORS

The surrounding neighbors consist of commercial and retail uses. All buildings are set back off the main street frontage. Hancock Street, the frontage along the southern boundary of the site, is not a major transit street and has low pedestrian traffic with intermittent pedestrian walkways.



NEWBERG WELLNESS CENTER - DESIGN INSPIRATION

The direction given to the design team was to deliver a design that would connect to the Latinx community, the primary demographic of people served at this facility. To make this visual and design connection we have taken inspiration from the mid-century Mexican modernist designs of Luis Barragan and Ricardo Legorreta which pairs simple modern forms in saturated color with traditional materials like stone, stucco and heavy timber.

The work of Barragan is recognizable for its typical composition of low block forms, the use of bold colors, the connection of interior spaces to exterior landscape, the use of natural daylight, and the use of grids.

The work of Legorreta is typified by solid geometric shapes, the dramatic use of light and shadow, super saturated color, and perforated walls with gridded openings.

LEGORRETA

- Interplay of Light and Shadow
- Solid Geometric Shapes
- Striking Color Combinations of Earth Tones

BARRAGAN

- Solid Forms
- Bold Color
- Heavy Timber
- Grids
- Natural Light
- A Composition of Low Box Forms
- Connection to the Exterior and Landscape



Barragan - Casa



Barragan - Chapel of Capuccinas



Barragan - Jardin Del Pedregal



Barragan - Casa



Barragan - Casa



Legorreta - Camino Real Hotel



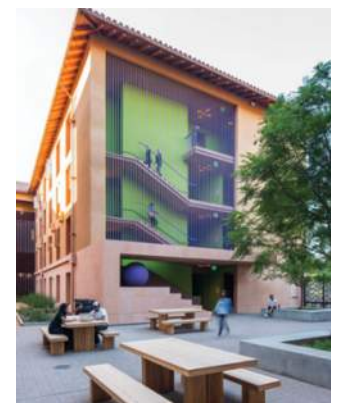
Legorreta - House Adrenaline



Legorreta - Centro Nacional De Las Artes



Legorreta - Stanford University



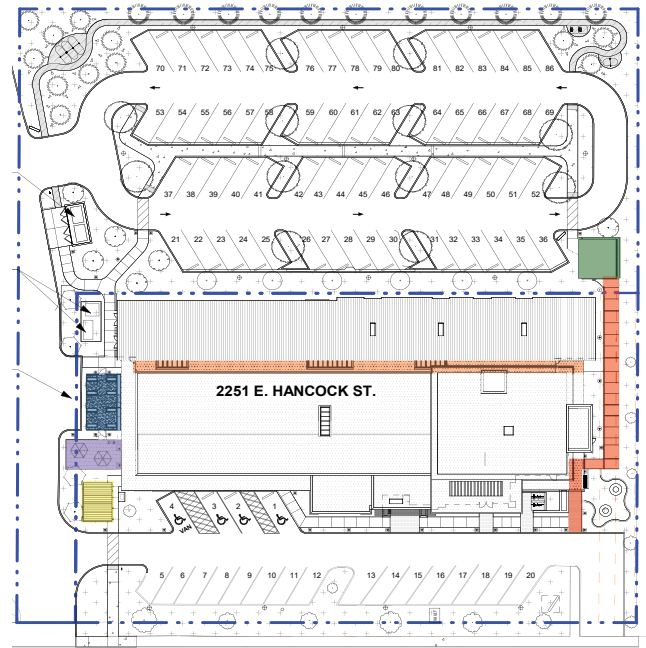
Legorreta - Stanford University

NEWBERG WELLNESS CENTER - EXTERIOR DESIGN

15.220.070 (F)

The main south elevation of the building design is composed of a collection of colored box forms ranging from tan color for the base building to a rich rust color for the pharmacy, wellness center and stair tower masses and a vibrant gold for the main entry. The collection of forms is connected to an arcade running around the west, south and east sides of the building. The arcades are punctuated by gridded screens that act as filters for the sun as well as provide colorful accents to the base building. This gives the design a bold and upbeat character while tying the design to the modernist inspiration and the vibrant Latinx culture. Above the main blocks is the mass of the wellness center punctuated by an outdoor terrace at the second floor that connects to the staff break area.

The west side of the lot strings together a series of outdoor programmed spaces along the arcade. On the north end is the west entry into "the Street" shown in orange, the main internal east/west circulation spine of the building. At the north end of the site outboard of the arcade is the community garden with raised beds for fresh food. To the south is an outdoor plaza with tables and seating for lunch breaks, stopping points for patients, or outdoor community outreach events like food drives. At the south end is a small pavilion for long term bike parking with a covered area for a bicycle repair tools for the community.



The east side of the building is dominated by the mass of the stair tower and arcade. Outboard of the building runs "the Boulevard", a wide heavily trafficked exterior walkway flanked by landscape. At the north end of the Boulevard is a trellised entry pavilion leading visitors from the north parking lot to the building entries on the south. This connects into a walking path to the north with future exercise equipment. At the south end of the Boulevard is a landscaped child play area with simple raised berms, a water feature and a bench.

The north elevation functions as a secondary front as it faces the north parking lot. The mass is a long bar punctuated with bands of windows and pops of color. The main goal is to pull the visitors around the building to the front entries using the Boulevard.



NEWBERG WELLNESS CENTER - SITE

BUILDING ENTRANCES AND MASSING

15.220.070(D)

The existing building is set back from Hancock street. With the new addition, the building will still be set back from the primary street but will be more prominent. There will be three major entries oriented to the primary street - the main clinic entry into the waiting room for VGMHC, a secondary exit for entry into the wellness center for VGMHC and the main clinic entry into the waiting room for Newberg WIC.

The building massing has multiple levels of height. The west side of the south facade is 1 story while the east side of the south facade is 2 story. Between the story change and the articulation of the building entries the massing is broken down to be pedestrian friendly.

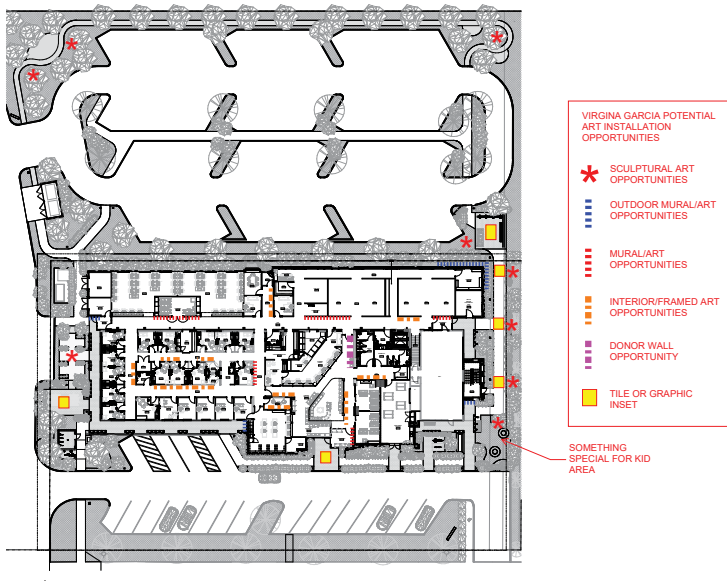
ART AND MURALS

15.435.130

This project will emphasize culturally appropriate art that enhances the built environment and creates community. We have delineated several areas for potential art installations. Although we will likely not be able to place art at each location, we will be looking at each of the locations closely as we continue design.

As for murals our priority location is in the upper northeast corner of the building. We have an extensive wayfinding challenge of getting building visitors to park in the north parking lot and having to traverse the east walkway to get to the south side front door. Using a culturally appropriate mural will help emphasize wayfinding and provide interest on the north elevation which is muted compared to the south elevation.

Murals will be permitted through City of Newberg.



WINDOWS ON THE GROUND FLOOR FACADE ON PRIMARY STREET - SOUTH ELEVATION

15.220.070 (G)

Moving from west to east, the first block of rooms is the medical clinic. We have maximized the glazing to meet the needs of the clinic and to maintain structural integrity of the existing south wall. We have provided natural light at the end of the hallway with a nice large window. We have also created large window openings at the procedure room and talk rooms. Between conflicts of wall mounted equipment and balancing the patient privacy we feel we have maximized the square footage in this area.

The next space to the east is the pharmacy space. Security of the space is the utmost importance since they will be storing narcotics. We have provided four punched openings high up in the wall to allow for natural light while maintaining security to the space.

The next space to the east is the waiting room. We have maximized the glazing with a full storefront glazed wall while maintaining the entry portal.

The next space to the east is the wellness center. We have a significant amount of glazing in the room but still want to provide patient privacy. In particular, we have a solid wall around the teaching kitchen so that people can learn basic cooking skills out of the view of the public.

The next space to the east is the Newberg WIC space. They are an existing tenant and we are proposing to leave the glazing as currently constructed.

The last space to the east is the new stair tower. We have provided punched openings at the stairs in line with the architectural language for the building.

Because of the use of the spaces along the south elevation, we feel we have maximized the glazing within programmatic reason but are falling short of the required 40%. Please see the variance paperwork in the appendix.

3| DESIGN DRAWINGS

- | Cover
- | C1.0 Main Site - Existing Conditions and Demolition Plan
- | C1.1 Main Site - Demolition Plan Notes
- | C2.0 Main Site - Civil Site, Grading, Utility Plan
- | C2.1 Main site - Construction notes
- | C1.0A North Lot - Existing Conditions and Demolition Plan
- | C1.1A North Lot - Demolition Plan Notes
- | C2.0A North Lot - Civil Site, Grading, Utility Plan
- | C2.1A North Lot - Construction Notes
- | A1.0 Overall Site Plan
- | A1.1 North Parking Lot Plan
- | A1.2 Main Site Plan
- | A2.1 First Floor Plan
- | A2.2 Second Floor Plan
- | A2.3 Roof Plan
- | A3.1 North and South Elevations
- | A3.2 East and West Elevations
- | A7.1 Site Structures
- | A7.2 Site Structures
- | A7.3 Site Structures
- | A7.4 Site Structures
- | A7.5 Site Structures
- | A7.6 Signage Details
- | L1.01 Materials Plan - South
- | L1.02 Materials Plan - North
- | L2.01 Preliminary Grading Plan - South
- | L2.02 Preliminary Grading Plan - North
- | L3.00 Planting Schedule & Notes
- | L3.02 Planting Plan - South
- | L3.03 Planting Plan - North
- | E1.0 Site Plan - Lighting - North
- | E1.1 Site Plan - Lighting - South
- | E1.2 Site Plan - Lighting - North - Photometrics
- | E1.3 Site Plan - Lighting - South - Photometrics



HANCOCK ST

1201
1.07 AC

1200
1.11 AC

1204
1.22 AC

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.



1433 SW 6th Avenue
(503)646-4444

OWNERSHIP AND ENCUMBRANCES REPORT WITH GENERAL INDEX LIENS
Informational Report of Ownership and Monetary and Non-Monetary Encumbrances

To ("Customer"): Virginia Garcia Medical Health Center
PO Box 6149
Aloha, OR 97007

Customer Ref.: _____
Order No.: 471822122338
Effective Date: November 18, 2022 at 08:00 AM
Charge: \$400.00

The information contained in this report is furnished by Ticor Title Company of Oregon (the "Company") as a real property information service based on the records and indices maintained by the Company for the county identified below. THIS IS NOT TITLE INSURANCE OR A PRELIMINARY TITLE REPORT FOR, OR COMMITMENT FOR, TITLE INSURANCE. No examination has been made of the title to the herein described property, other than as specifically set forth herein. Liability for any loss arising from errors and/or omissions is limited to the lesser of the charge or the actual loss, and the Company will have no greater liability by reason of this report. THIS REPORT IS SUBJECT TO THE LIMITATIONS OF LIABILITY STATED BELOW, WHICH LIMITATIONS OF LIABILITY ARE A PART OF THIS REPORT.

THIS REPORT INCLUDES MONETARY AND NON-MONETARY ENCUMBRANCES.

Part One - Ownership and Property Description

Owner. [The apparent vested owner](#) of property ("the Property") as of the Effective Date is:

Goodwill Industries of the Columbia Willamette, an Oregon non-profit corporation

Premises. The Property is:

(a) Street Address:

0 E Portland Road, Newberg, OR 97132

(b) Legal Description:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Part Two - Encumbrances

Encumbrances. As of the Effective Date, the Property appears subject to the following monetary and non-monetary encumbrances of record, not necessarily listed in order of priority, including liens specific to the subject property and general index liens (liens that are not property specific but affect any real property of the named person in the same county):

EXCEPTIONS

1. The subject property is under public, charitable, fraternal, or religious organization ownership and is exempt from ad valorem taxation. Any change in ownership prior to delivery of the assessment roll may result in tax liability.

[Tax Account No.: 429012](#)
Map No.: R3220AB 00702
2. City Liens, if any, in favor of the City of Newberg.
3. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Owners of adjoining property
Purpose: Utilities
Recording Date: January 21, 2000
[Recording No: 200000869](#)
Affects: Easterly 10 feet
4. Declaration of Access Easement, including the terms and provisions thereof,

Recording Date: February 1, 2013
[Recording No.: 201301634](#)
5. Existing leases and tenancies, if any, and any interests that may appear upon examination of such leases.
6. Please be advised that our search did not disclose any open Deeds of Trust of record.

End of Reported Information

There will be additional charges for additional information or copies. For questions or additional requests, contact:

Deborah Clark
5035353743
deborah.clark@titlegroup.fntg.com

Ticor Title Company of Oregon
1433 SW 6th Avenue
Portland, OR 97201

EXHIBIT "A"
[Legal Description](#)

For APN/Parcel ID(s): 429012
For Tax Map ID(s): R3220AB00702

A tract of land in Section 20, Township 3 South, Range 2 West of the Willamette Meridian, in Yamhill County, Oregon, and being part of that tract of land described in deed from Siamak Eghlidi to Powell Built Homes, Inc., and recorded in Instrument No. 199707832, Yamhill County Deed Records, and being more particularly described as follows:

Beginning at the Northeast corner of said Powell Built Homes, Inc., tract, which is on record as being West 11.00 chains (726.00 feet) and North 4.91 chains (324.06 feet) from the Southeast corner of the Northwest one-quarter of the Richard Everest Donation Land Claim; thence South 00°14'14" West 137.09 feet, along the East line of said tract, to an iron rod; thence West 259.29 feet to an iron rod; thence South 00°15'54" West 159.13 feet to an iron rod on the North margin of Hancock Street; thence West, along said margin, to the West line of said Powell tract; thence North 00°15'54" East 296.35 feet to the Northwest corner of said tract; thence South 89°58'29" East 286.29 feet to the point of beginning.

LIMITATIONS OF LIABILITY

"CUSTOMER" REFERS TO THE RECIPIENT OF THIS REPORT.

CUSTOMER EXPRESSLY AGREES AND ACKNOWLEDGES THAT IT IS EXTREMELY DIFFICULT, IF NOT IMPOSSIBLE, TO DETERMINE THE EXTENT OF LOSS WHICH COULD ARISE FROM ERRORS OR OMISSIONS IN, OR THE COMPANY'S NEGLIGENCE IN PRODUCING, THE REQUESTED REPORT, HEREIN "THE REPORT." CUSTOMER RECOGNIZES THAT THE FEE CHARGED IS NOMINAL IN RELATION TO THE POTENTIAL LIABILITY WHICH COULD ARISE FROM SUCH ERRORS OR OMISSIONS OR NEGLIGENCE. THEREFORE, CUSTOMER UNDERSTANDS THAT THE COMPANY IS NOT WILLING TO PROCEED IN THE PREPARATION AND ISSUANCE OF THE REPORT UNLESS THE COMPANY'S LIABILITY IS STRICTLY LIMITED. CUSTOMER AGREES WITH THE PROPRIETY OF SUCH LIMITATION AND AGREES TO BE BOUND BY ITS TERMS

THE LIMITATIONS ARE AS FOLLOWS AND THE LIMITATIONS WILL SURVIVE THE CONTRACT:

ONLY MATTERS IDENTIFIED IN THIS REPORT AS THE SUBJECT OF THE REPORT ARE WITHIN ITS SCOPE. ALL OTHER MATTERS ARE OUTSIDE THE SCOPE OF THE REPORT.

CUSTOMER AGREES, AS PART OF THE CONSIDERATION FOR THE ISSUANCE OF THE REPORT AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO LIMIT THE LIABILITY OF THE COMPANY, ITS LICENSORS, AGENTS, SUPPLIERS, RESELLERS, SERVICE PROVIDERS, CONTENT PROVIDERS AND ALL OTHER SUBSCRIBERS OR SUPPLIERS, SUBSIDIARIES, AFFILIATES, EMPLOYEES, AND SUBCONTRACTORS FOR ANY AND ALL CLAIMS, LIABILITIES, CAUSES OF ACTION, LOSSES, COSTS, DAMAGES AND EXPENSES OF ANY NATURE WHATSOEVER, INCLUDING ATTORNEY'S FEES, HOWEVER ALLEGED OR ARISING, INCLUDING BUT NOT LIMITED TO THOSE ARISING FROM BREACH OF CONTRACT, NEGLIGENCE, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF WARRANTY, EQUITY, THE COMMON LAW, STATUTE OR ANY OTHER THEORY OF RECOVERY, OR FROM ANY PERSON'S USE, MISUSE, OR INABILITY TO USE THE REPORT OR ANY OF THE MATERIALS CONTAINED THEREIN OR PRODUCED, **SO THAT THE TOTAL AGGREGATE LIABILITY OF THE COMPANY AND ITS AGENTS, SUBSIDIARIES, AFFILIATES, EMPLOYEES, AND SUBCONTRACTORS SHALL NOT IN ANY EVENT EXCEED THE COMPANY'S TOTAL FEE FOR THE REPORT.**

CUSTOMER AGREES THAT THE FOREGOING LIMITATION ON LIABILITY IS A TERM MATERIAL TO THE PRICE THE CUSTOMER IS PAYING, WHICH PRICE IS LOWER THAN WOULD OTHERWISE BE OFFERED TO THE CUSTOMER WITHOUT SAID TERM. CUSTOMER RECOGNIZES THAT THE COMPANY WOULD NOT ISSUE THE REPORT BUT FOR THIS CUSTOMER AGREEMENT, AS PART OF THE CONSIDERATION GIVEN FOR THE REPORT, TO THE FOREGOING LIMITATION OF LIABILITY AND THAT ANY SUCH LIABILITY IS CONDITIONED AND PREDICATED UPON THE FULL AND TIMELY PAYMENT OF THE COMPANY'S INVOICE FOR THE REPORT.

THE REPORT IS LIMITED IN SCOPE AND IS NOT AN ABSTRACT OF TITLE, TITLE OPINION, PRELIMINARY TITLE REPORT, TITLE REPORT, COMMITMENT TO ISSUE TITLE INSURANCE, OR A TITLE POLICY, AND SHOULD NOT BE RELIED UPON AS SUCH. THE REPORT DOES NOT PROVIDE OR OFFER ANY TITLE INSURANCE, LIABILITY COVERAGE OR ERRORS AND OMISSIONS COVERAGE. THE REPORT IS NOT TO BE RELIED UPON AS A REPRESENTATION OF THE STATUS OF TITLE TO THE PROPERTY. THE COMPANY MAKES NO REPRESENTATIONS AS TO THE REPORT'S ACCURACY, DISCLAIMS ANY WARRANTY AS TO THE REPORT, ASSUMES NO DUTIES TO CUSTOMER, DOES NOT INTEND FOR CUSTOMER TO RELY ON THE REPORT, AND ASSUMES NO LIABILITY FOR ANY LOSS OCCURRING BY REASON OF RELIANCE ON THE REPORT OR OTHERWISE.

IF CUSTOMER (A) HAS OR WILL HAVE AN INSURABLE INTEREST IN THE SUBJECT REAL PROPERTY, (B) DOES NOT WISH TO LIMIT LIABILITY AS STATED HEREIN AND (C) DESIRES THAT ADDITIONAL LIABILITY BE ASSUMED BY THE COMPANY, THEN CUSTOMER MAY REQUEST AND PURCHASE A POLICY OF TITLE INSURANCE, A BINDER, OR A COMMITMENT TO ISSUE A POLICY OF TITLE INSURANCE. NO ASSURANCE IS GIVEN AS TO THE INSURABILITY OF THE TITLE OR STATUS OF TITLE. CUSTOMER EXPRESSLY AGREES AND ACKNOWLEDGES IT HAS AN INDEPENDENT DUTY TO ENSURE AND/OR RESEARCH THE ACCURACY OF ANY INFORMATION OBTAINED FROM THE COMPANY OR ANY PRODUCT OR SERVICE PURCHASED.

NO THIRD PARTY IS PERMITTED TO USE OR RELY UPON THE INFORMATION SET FORTH IN THE REPORT, AND NO LIABILITY TO ANY THIRD PARTY IS UNDERTAKEN BY THE COMPANY.

CUSTOMER AGREES THAT, TO THE FULLEST EXTENT PERMITTED BY LAW, IN NO EVENT WILL THE COMPANY, ITS LICENSORS, AGENTS, SUPPLIERS, RESELLERS, SERVICE PROVIDERS, CONTENT PROVIDERS, AND ALL OTHER SUBSCRIBERS OR SUPPLIERS, SUBSIDIARIES, AFFILIATES, EMPLOYEES AND SUBCONTRACTORS BE LIABLE FOR CONSEQUENTIAL, INCIDENTAL, INDIRECT, PUNITIVE, EXEMPLARY, OR SPECIAL DAMAGES, OR LOSS OF PROFITS, REVENUE, INCOME, SAVINGS, DATA, BUSINESS, OPPORTUNITY, OR GOODWILL, PAIN AND SUFFERING, EMOTIONAL DISTRESS, NON-OPERATION OR INCREASED EXPENSE OF OPERATION, BUSINESS INTERRUPTION OR DELAY, COST OF CAPITAL, OR COST OF REPLACEMENT PRODUCTS OR SERVICES, REGARDLESS OF WHETHER SUCH LIABILITY IS BASED ON BREACH OF CONTRACT, TORT, NEGLIGENCE, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE, STRICT LIABILITY, BREACH OF WARRANTIES, FAILURE OF ESSENTIAL PURPOSE, OR OTHERWISE AND WHETHER CAUSED BY NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF CONTRACT, BREACH OF WARRANTY, THE COMPANY'S OWN FAULT AND/OR NEGLIGENCE OR ANY OTHER CAUSE WHATSOEVER, AND EVEN IF THE COMPANY HAS BEEN ADVISED OF THE LIKELIHOOD OF SUCH DAMAGES OR KNEW OR SHOULD HAVE KNOWN OF THE POSSIBILITY FOR SUCH DAMAGES.

END OF THE LIMITATIONS OF LIABILITY

NOT FOR CONSTRUCTION

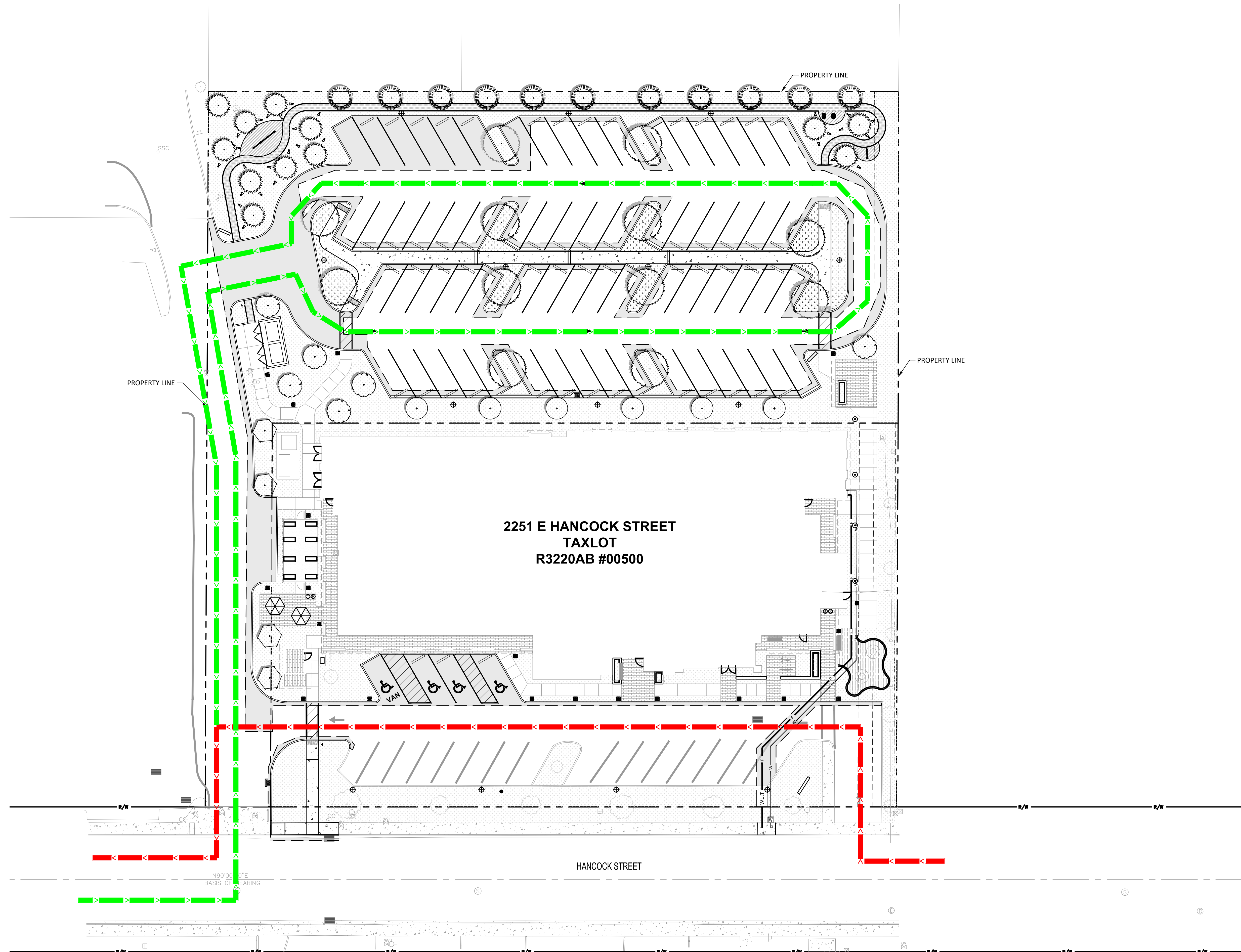
VIRGINIA GARCIA CLINIC
 Job Number: 21162
 2251 E. HANCOCK ST,
 NEWBERG, OR 97132



Virginia Garcia Memorial HEALTH CENTER


Harper Houf Peterson Righellis Inc.
ENGINEERS • PLANNERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 205 SE Spokane Street, Suite 200, Portland, OR 97202
 phone: 503.221.1131 www.hhpri.com fax: 503.221.1171

FILE PATH: C:\Revit_Locall\21162 VG Newberg Clinic_R22 JohnsonEWUSG.rvt



PLAN VIEW
SCALE: 1" = 20'

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

DESIGN DEVELOPMENT 09/30/2022
ISSUE DATE

Drawing:
TRAFFIC FLOW DIAGRAM

Sheet No:
EX-1

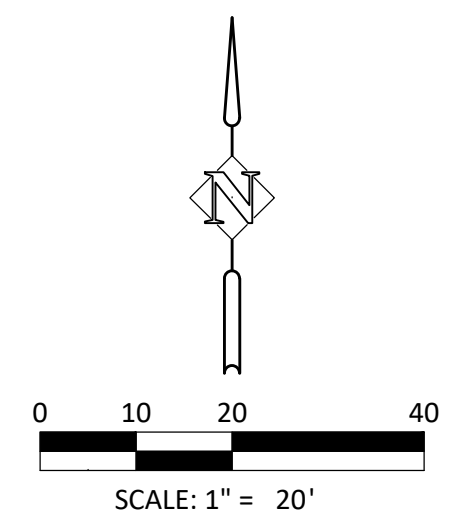


Exhibit "A"

A tract of land in Section 20, Township 3 South, Range 2 West of the Willamette Meridian in Yamhill County, Oregon, and being part of that tract of land described in deed from Siamak Eghlidi to Powell Built Homes, Inc., and recorded in Instrument No. 199707832, Yamhill County Deed Records, and being more particularly described as follows:

Beginning at the Northeast corner of said Powell Built Homes, Inc. tract, which is on record as being West 11.00 chains (726.00 feet) and North 4.91 chains (324.06 feet) from the Southeast corner of the Northwest one-quarter of the Richard Everest Donation Land Claim; thence South 00° 14' 14" West 137.09 feet along the East line of said tract to an iron rod; thence West 259.29 feet to an iron rod; thence South 00° 15' 54" West 159.13 feet to an iron rod on the North margin of Hancock Street; thence West 27.06 feet along said margin to the West line of said Powell tract; thence North 00° 15' 54" East 296.35 feet to the Northwest corner of said tract; thence South 89° 58' 29" East 286.29 feet to the point of beginning.

Tax Parcel Number: R3220AB-702 (Part of)



Harper
Houf Peterson
Righellis Inc.

Virginia Garcia - Newberg

SEA-142

Preliminary Stormwater Management Report

November 21, 2022

Prepared For:

Scott Edwards Architecture
2525 E Burnside St.
Portland, OR 97214

SEA-142

Prepared By:

Harper Houf Peterson Righellis Inc.
205 SE Spokane Street, Suite 200
Portland, OR 97202
P: 503-221-1131 F: 503-221-1171

Alex Simpson, PE



ENGINEERS ♦ PLANNERS
LANDSCAPE ARCHITECTS ♦ SURVEYORS

Stormwater Management Report Virginia Garcia Newberg

Prepared by: Harper Houf Peterson Righellis, Inc.
Date: November 21, 2022

Project Overview and Description:

The Virginia Garcia - Newberg project is located at 2251 E Hancock St. in Newberg, OR. The total project encompasses two separate lots. Tax lot 500 (map 3220AB) is 0.95 acres, and Tax lot 702 is 1 acre. The site is bordered to the south by E Hancock St., west, east, and north by private property. The proposed project will consist of renovations and expansion of the existing building on TL 500, and reconstruction of the north lot TL 702 to be used for parking. Stormwater management for the project will conform to the 2015 City of Newberg Engineering Design and Construction Standards.

Existing Site Conditions & Facilities

The existing south site is developed with a building, parking and landscaping. The north lot is developed with asphalt pavement and a shed structure. The site generally slopes from the north toward the south. There are existing storm sewers throughout the site that connect to the public storm system in E Hancock St.

Proposed Site Conditions

The proposed improvements will consist of construction of a new addition to the existing building on the south lot. The north lot will be reconfigured and redeveloped to provide additional parking area. Both sites will have improvements to landscaping and hardscaping. The project will result in a net decrease in impervious area on both sites for a total decrease of -9,390 SF of impervious area. The site's stormwater system will be reconstructed and connect to the existing public storm system in E Hancock St.

Methodology & Analysis:

The project will result in a net decrease in impervious area on both sites for a total decrease of -9,390 SF of impervious area. Per Chapter 4.6 and Figure 4.4 of the Newberg Design and Construction Standards, since the project results in a net decrease in impervious area, formal stormwater management is not required. A downstream analysis has not been completed, and no downstream deficiencies are known.

	Existing Impervious Area	Proposed Impervious Area	Net Change in Impervious Area
Main (south) Lot	34,530 SF	32,780 SF	-1,750 SF
North Lot	37,680 SF	30,040 SF	-7,640 SF
TOTAL	72,210 SF	62,820 SF	-9,390 SF



Conveyance

The proposed storm pipe system is designed to have the capacity to convey the runoff from a 10-year return frequency storm event without ponding. The site storm system was designed to convey all of the impervious area and contributing pervious areas for the entire site.

The intent is to maintain a minimum free flow velocity of 3.0 fps in all pipes. See the Appendix for pipe sizing calculations (minimum pipe slopes & sizes required to meet these conditions).

Engineering Conclusions:

The proposed development has appropriate stormwater facilities and a system that fulfills the required conveyance, water quality and water quantity based on City of Newberg requirements and standards.



BASIN MAP





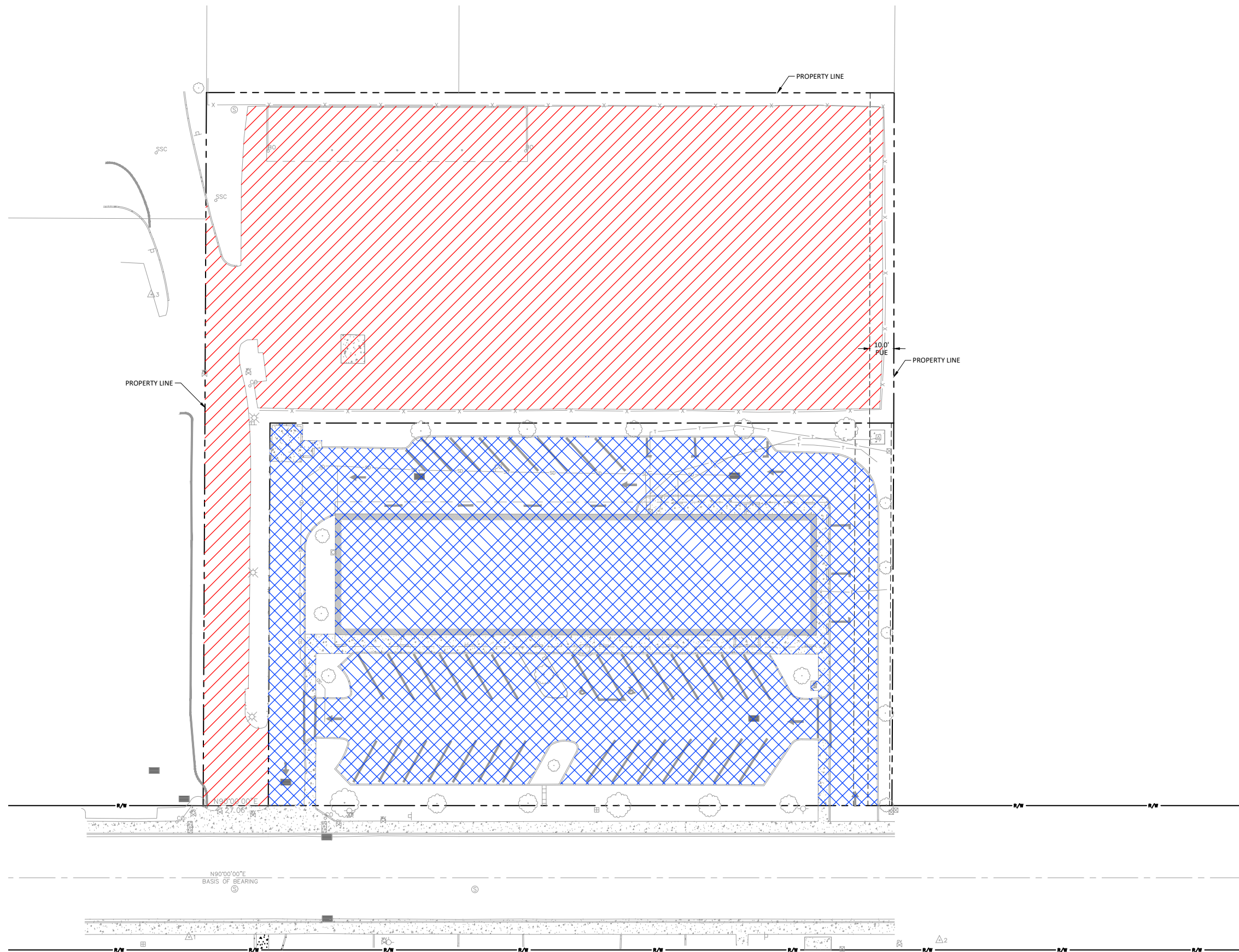
MAIN SITE (VIRGINIA GARCIA OWNED PARCEL):

EXISTING IMPERVIOUS AREA: 34,530 SF

NORTH SITE (GOODWILL OWNED):

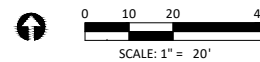
EXISTING IMPERVIOUS AREA: 37,680 SF

LEGEND	
	NORTH IMPERVIOUS AREA
	SOUTH IMPERVIOUS AREA



PLAN VIEW
SCALE: 1" = 20'

PRE-DEVELOPED IMPERVIOUS AREA



VIRGINIA GARCIA CLINIC
2251 E. HANCOCK, NEWBERG, OR 97132
21162 05/10/22



MAIN SITE (VIRGINIA GARCIA OWNED PARCEL):

PROPOSED IMPERVIOUS AREA: 32,780 SF

NET IMPERVIOUS AREA (POST-DEVELOPED - PRE-DEVELOPED): 32,780 SF - 34,530 SF = -1,750 SF

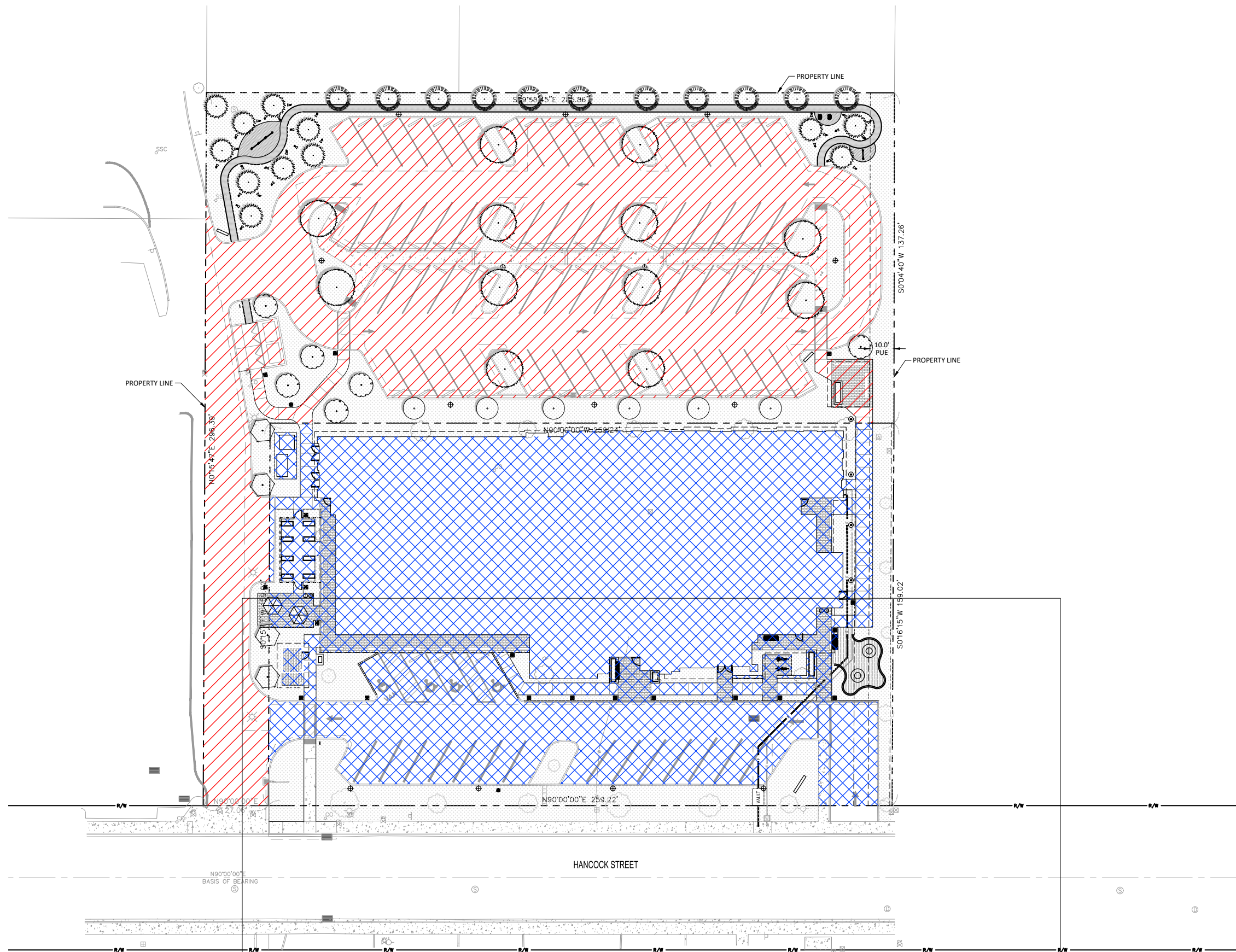
NORTH SITE (GOODWILL OWNED):

PROPOSED IMPERVIOUS AREA: 30,040 SF

NET IMPERVIOUS AREA (POST-DEVELOPED - PRE-DEVELOPED): 30,040 SF - 37,680 SF = -7,640 SF

OVERALL PROJECT:

NET IMPERVIOUS AREA: -9,390 SF

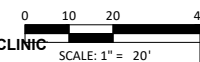


LEGEND	
	NORTH IMPERVIOUS AREA
	SOUTH IMPERVIOUS AREA

PLAN VIEW
SCALE: 1" = 20'

POST-DEVELOPED IMPERVIOUS AREA

VIRGINIA GARCIA NEWBERG CLINIC
21162 07/22/22



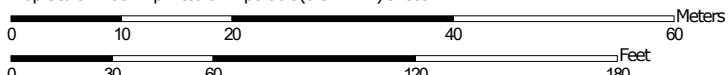
WEB SOIL SURVEY



Soil Map—Yamhill County, Oregon



Map Scale: 1:684 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)




















Soils





 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Yamhill County, Oregon
 Survey Area Data: Version 11, Sep 14, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 19, 2015—Sep 13, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2300A	Aloha silt loam, 0 to 3 percent slopes	2.0	100.0%
Totals for Area of Interest		2.0	100.0%

Yamhill County, Oregon

2300A—Aloha silt loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 1j8b0

Elevation: 100 to 350 feet

Mean annual precipitation: 40 to 50 inches

Mean annual air temperature: 50 to 54 degrees F

Frost-free period: 165 to 210 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Aloha and similar soils: 96 percent

Minor components: 4 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Aloha

Setting

Landform: Terraces

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Across-slope shape: Convex

Parent material: Loamy glaciolacustrine deposits

Typical profile

Ap - 0 to 8 inches: silt loam

BA - 8 to 15 inches: silt loam

Bt - 15 to 22 inches: silt loam

Bw1 - 22 to 31 inches: silt loam

Bw2 - 31 to 46 inches: silt loam

Bw3 - 46 to 60 inches: silt loam

C - 60 to 65 inches: very fine sandy loam

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high (0.20 to 0.57 in/hr)

Depth to water table: About 8 to 15 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Very high (about 12.0 inches)

Interpretive groups

Land capability classification (irrigated): 2w

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: C/D

Ecological site: R002XC007OR - Valley Swale Group
Forage suitability group: Somewhat Poorly Drained
(G002XY005OR)
Other vegetative classification: Somewhat Poorly Drained
(G002XY005OR)
Hydric soil rating: No

Minor Components

Dayton

Percent of map unit: 3 percent
Landform: Terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: Yes

Willamette

Percent of map unit: 1 percent
Landform: Terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Convex
Other vegetative classification: Well drained < 15% Slopes
(G002XY002OR)
Hydric soil rating: No

Data Source Information

Soil Survey Area: Yamhill County, Oregon
Survey Area Data: Version 11, Sep 14, 2022

GEOTECHNICAL REPORT





10240 SW Nimbus Avenue
Suite L6
Portland, Oregon 97223
503.616.9419
www.centralgeotech.com

July 21, 2022

Virginia Garcia Memorial Health Center
PO Box 6149
Aloha, Oregon 97007

Attention: Jarrod Sherwood (jsherwood@vgmhc.org)
Brian Jackson (brian@bcjarchitect.com)

**Re: Geotechnical Investigation
Proposed Building Addition
Virginia Garcia Memorial Health Center – Newberg Clinic
2251 E Hancock St #103
Newberg, Oregon 97132**

CGS Project No. 22-025

Dear Mr. Sherwood,

Central Geotechnical Services, LLC is pleased to submit this Geotechnical Investigation Report for a proposed addition to the existing Virginia Garcia Memorial Health Center – Newberg Clinic located at 2251 E Hancock Street in Newberg, Oregon. The report was prepared for conformance with Yamhill County requirements and in accordance with our Professional Services Agreement, dated February 7, 2022.

This report provides:

- An overview of the project site including information related to the regional geology of the area.
- Geotechnical information, based on findings during surface reconnaissance and subsurface explorations.
- General construction recommendations.
- Recommendations for additional work as needed.

A set of appendices can be found at the end of this document.

Thank you very much for the opportunity to work with you. If you feel obliged, we welcome referrals from our previous clients and would enjoy the opportunity to work with others in your professional and personal networks. Please feel free to call our office with questions about this report.

Respectfully,

Central Geotechnical Services, LLC

Jose Serrano, P.E.
Associate Engineer

Table of Contents

1.0 INTRODUCTION AND PURPOSE OF REPORT2

 1.1 Project Description2

2.0 INVESTIGATION SUMMARY3

 2.1 Site Location and Surface Conditions3

 2.2 Site Geology4

 2.3 Tectonic and Seismic Setting5

 2.4 Liquefaction Hazard5

 2.5 Subsurface Exploration5

 2.6 Subsurface Conditions6

 2.6.1 Fill6

 2.6.2 Missoula Flood Deposit7

 2.7 Groundwater Conditions7

3.0 CONCLUSIONS AND RECOMMENDATIONS8

 3.1 Site Preparation and Removal of Existing Fill8

 3.2 Temporary Excavations9

 3.3 Utility Trenches9

 3.4 Engineered Structural Fill9

 3.5 Foundations10

 3.5.1 Lateral Resistance for Spread Footings11

 3.6 Slab on Grade Floors11

 3.7 Retaining Walls12

 3.8 Pavement Profiles14

 3.9 Drainage Considerations15

 3.10 Seismic Design Considerations15

 3.11 Additional Geotechnical Services17

4.0 LIMITATIONS OF REPORT17

5.0 SIGNATURES18

APPENDIX A:19

APPENDIX B:25

APPENDIX C:28



1.0 INTRODUCTION AND PURPOSE OF REPORT

The purpose of this Geotechnical Investigation Report is to engage with the owner/developer and provide technical insight and analysis for the project, based on various public data, local findings onsite, and experience.

After receiving direction from Jarrod Sherwood of Virginia Garcia Memorial Health Center, Central Geotechnical Services (Central Geotech) was requested to provide a Geotechnical Investigation, along with general recommendations for the design and construction of the proposed addition to the existing building. The construction recommendations cover topics such as investigative soils data, allowable soil bearing pressure, lateral pressures, compaction requirements, foundation placement, pavement, and seismic considerations.

This report intends to facilitate the preliminary focus of future development and initiate the requirements for the design and permitting of the proposed building addition.

1.1 Project Description

Based on phone discussions and review of documentation sent by you, we understand that the project involves the expansion of the existing building to accommodate additional medical and dental offices. The project will include an approximate 9,000 square foot, one-story building addition primarily to the north of the existing building, underground utilities, paved parking, and other associated features.

Structural plans have not been provided to our office at the time of this report. We presume the building addition will be supported on shallow, spread footings with a concrete slab-on-grade floor. The concrete slab may include thickened edge slab footings for interior walls and columns. Structural loading information is not available at this time; however, we expect that column loads will be less than 35 kips and wall loads less than 3 kips per lineal foot. Expected loads on the concrete slab-on-grade floor will be relatively moderate, with some forklifts and limited heavy equipment operated on the slab surface.

The pavement areas will include driveways and parking for passenger vehicles, light trucks, fire department apparatus access, and new parking stalls. The parking lot improvements may extend to the adjacent property on the north.

We were provided with the following documents:

1. Due Diligence Report prepared for the Virginia Garcia Memorial Health Center Newberg Clinic, prepared by Edwards Architecture LLP, dated January 28, 2022.
2. Topographical Survey showing existing conditions, prepared by Terracalc Land Surveying Inc., dated May 2, 2022. The area for borings and proposed addition was outlined in the plan by Brian C. Jackson Architect LLC.
3. Schematic Design showing the proposed addition, prepared by Scott Edwards Architecture, dated June 2, 2022.



2.0 INVESTIGATION SUMMARY

2.1 Site Location and Surface Conditions

The project site is located at 2251 E Hancock St. #130 in Newberg, Yamhill County, Oregon. The 0.94-acre lot is identified as Yamhill County Map Tax Lot R3220AB 00500 and is zoned as C2 (Community Commercial). The property is bordered by paved parking lots owned by Goodwill Industries to the north and west, E Hancock Street to the west, and a small field to the east. A vicinity map of the site is shown in Figure 2-1, below.



Figure 2-1: Area map of project site (Source: USGS National Map)

The site is located on a broad alluvial plain with gentle topography at an approximate elevation of 194 feet above sea level.

The site is developed with an existing building located at the center of the property, trash enclosure, paved parking lot and landscaping areas. The existing building is approximately 9,878 square feet on the first floor and 2,856 square feet on the second floor.

To understand how the site conditions may have changed over time, we reviewed historical aerial photographs from 1994, and 2000 through 2020 available on Google Earth Pro¹. Based on a review of these photographs, the existing building was constructed between 1994 and 2000.

¹ Google Earth Pro, last updated in 2021.



The general topography in the site vicinity is shown in Figure 2-2, below.



Figure 2-2: Topography in site vicinity. Contour interval is 10 feet.
(Source: USGS National Map)

2.2 Site Geology

The site is located on the western margin of the Willamette Basin, a structural basin filled with a thick sequence of sedimentary strata. Basin sediment near the ground surface was deposited during repeated glacial outburst flooding of the Columbia River and its tributaries, known as the Missoula Floods. The Missoula Flood Deposit in the Willamette Basin is primarily clay, silt and fine sand deposited in short-lived floodwater lakes and as drifts of windblown silt known as loess². The last flooding event occurred at the end of the last glacial period about 9,000 to 10,000 years ago³. Regional geologic mapping shows

² Madin, I.P., 1990, Earthquake Hazard Geology Maps of the Portland Metropolitan Area, Oregon; Oregon Department of Geology and Mineral Industries, Open File Report O-90-02, map scale 1:24,000.

³ Waitt, R. B. Jr., 1985, Case for Periodic Colossal Jökulhlaups from Pleistocene Lake Missoula; Geological Society of America Bulletin, v. 96, no. 10, p. 1271-1286.

the Missoula Flood Deposit in the site vicinity to be about 80 feet thick⁴. Underlying the Missoula Flood Deposit is a sequence of Holocene age marine sedimentary strata.

2.3 Tectonic and Seismic Setting

The Willamette Basin is subject to seismic events stemming from three possible sources: the Cascadia Subduction Zone (CSZ) at the interface between the Juan de Fuca Plate and the North American Plate, intraslab faults within the Juan de Fuca Plate, and crustal faults in the North American Plate.

The CSZ is seismically active. Intraslab events with inland epicenters, such as the 6.8 M_w Nisqually earthquake in 2001, have occurred on a frequent basis in the Puget Sound, contributing small to moderate magnitude ground motions in southern Washington. The maximum magnitude for a CSZ interface event is expected to be in the range of moment magnitude (M_w) 9.0 with an offshore epicenter located about 100 miles west of the project site.

Quaternary age (last 1.6 million years) crustal faults inventoried in the USGS National Fault and Fold Database that lie within 10 miles of the site are the Newberg Fault about 0.8 mile to the southwest, and Gales creek fault zone about 7.7 miles to the northwest.

The contribution of potential earthquake-induced ground motion from all known sources, including the faults described above, are provided by the seismic design parameters for the project site presented in the recommendations section of this report.

2.4 Liquefaction Hazard

Strong seismic shaking can result in ground failure due to the phenomenon known as liquefaction. Soil liquefaction occurs when saturated soil temporarily loses strength and behaves as a fluid in response to seismic shaking. Liquefaction is generally limited to loose, granular, cohesionless soil located below a shallow water table. Various types of ground deformation can occur including but not limited to slope movement, lateral spreading, sand boils, settlement, ground oscillation, and cracking.

A regional assessment of the susceptibility of the subsurface soils to earthquake-induced liquefaction was prepared by the Oregon Department of Geology and Mineral Industries (DOGAMI) in 1999⁵. The site is mapped as being located in an area with a low liquefaction hazard.

2.5 Subsurface Exploration

We completed a program of subsurface exploration at the site that included drilling of three geotechnical borings (B-1 through B-3) to a depth of about 26.5 feet below site grade on June 22, 2022. The borings

⁴Gannett, M.W. and Caldwell, R.R., 1998, Geologic Framework of the Willamette Lowland Aquifer System, Oregon and Washington; U.S. Geological Survey, Professional Paper 1424-A, map scale 1:250,000, 32 pages.

⁵ Madin, I. P., Wang, Z., 1999, Relative Earthquake Hazard Maps for Selected Urban Areas in Western Oregon Dallas, Hood River McMinnville-Dayton-Lafayette, Monmouth-Independence, Newberg-Dundee, Sandy, Sheridan-Willamina, St-Helens-Columbia City-Scappoose, Oregon Department of Geology and Mineral Industries, Interpretive Map Series IMS-7



encountered a thin layer of fill in all exploratory borings that extended to depth of about 2 feet bgs. In general, the fill consisted of soft, brown, SILT (ML), with trace gravel.

2.6.2 Missoula Flood Deposit

Beneath the fill, we encountered SILT (ML) and fat CLAY (CH) belonging to the Missoula Flood Deposit. The SILT (ML) deposit extended to depths of 17 to 18 feet bgs. Based on correlations between standard penetration resistance and soil strength, the SILT was generally soft to medium-stiff, with N-values ranging between 3 and 9. An Atterberg Limits test result from B-1 at a depth of about 10 feet indicate a soil classification of SILT (ML) with a Liquid Limit of 45, a Plastic Limit of 28 and a Plasticity Index of 17.

The underlying fat CLAY (CH) deposit extended to the maximum depth explored of 26.5 feet. Based on correlations between standard penetration resistance and soil strength, the fat CLAY was generally medium-stiff to stiff, with N-values ranging between 5 and 11. An Atterberg Limits test result from B-3 at a depth of about 20 feet indicate a soil classification of fat CLAY (CH) with a Liquid Limit of 69, a Plastic Limit 27 and a Plasticity Index 42.

The results of the laboratory testing are shown on the boring logs and in Appendix B.

2.7 Groundwater Conditions

We encountered groundwater in all three of our exploratory borings at depths of 6.4, 7.3, and 7.9 feet bgs on June 22, 2022.

The observed groundwater conditions are specific to the locations of our explorations as well as the time of our exploration. Groundwater levels typically fluctuate and are generally higher (at shallower depths) during the wet season (October through June).

We expect that temporary perched groundwater conditions occur near to the ground surface during the wet-weather season in response to heavy rainfall events, due to the presence of low permeability clayey soil.



3.0 CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our geotechnical investigation, we consider the proposed building addition to be geotechnically feasible with shallow foundations designed and constructed in accordance with our recommendations.

CGS should observe the foundation excavation subgrade prior to placing structural fill, forms, or reinforcing bar to evaluate subgrade support conditions are as expected and perform construction observation and testing to evaluate compaction of engineered structural fill.

The following sections present our conclusions and recommendations for project design and construction.

3.1 Site Preparation and Removal of Existing Fill

Existing undocumented fill should be removed from planned structural areas. Based on our explorations, we expect the depth of excavation to remove undocumented fill will be about 2 feet below the existing ground surface.

Subsurface structures, such as existing footings and abandoned utilities, should be removed and the excavations backfilled utilizing only an approved granular material, placed and compacted in accordance with *Section 3.4 Engineered Structural Fill*. Removal of undocumented backfill adjacent to demolished and excavated structures is recommended. Excavation should include benching of the side walls so that backfill can be properly placed.

In preparation for construction, the existing asphalt should be removed from future structural areas. In vegetated areas, mulch and the heavily rooted topsoil zone should be stripped and removed from the site in all proposed structural areas and for a minimum 2-foot margin around such areas. Based on our explorations, the minimum depth of stripping will be approximately 12 inches. Greater removal depths may necessary in isolated areas to remove tree stumps, root balls, excessively rooted zones, or undocumented fills. Stripped material should be transported off-site for disposal or stockpiled for use in landscaping areas.

After stripping and the required site cutting have been completed, we recommend the areas be observed by a member of our geotechnical staff who will evaluate the subgrade by probing or other applicable means. Existing compacted fill beneath the asphalt may remain provided that CGS evaluates it to verify adequate compaction. The evaluation should be performed by proof-rolling with a loaded dump truck or similar vehicle, and should be observed by CGS. If soft areas are identified, the material should be excavated and replaced with compacted engineered structural fill.

It is possible that unrecognized areas of undocumented fill may be encountered on the site during construction. It is recommended that all uncontrolled fill soils be removed completely in preparation for foundations or other construction and be replaced with engineered structural fill in accordance with *Section 3.4 Engineered Structural Fill*.



3.2 Temporary Excavations

The stability of temporary excavation slopes is a function of many factors, including soil type, soil density, slope inclination, slope height, the presence of groundwater, and the duration of exposure. Generally, the likelihood of slope failure increases as the cut is deepened and as the duration of exposure increases. For this reason, temporary slope safety should remain the responsibility of the contractor, who is continually present at the site and is able to monitor the performance of the excavation and modify construction practices to reflect varying conditions.

Regardless of inclination, temporary slopes should be protected from surface runoff of storm water. This can typically be accomplished using berms or swales located along the top of the slope, and by placing plastic tarpaulins over the slope.

We recommend that the excavation contractor maintain adequate slopes and setbacks in conformance with Occupational Safety and Health Administration (OSHA) Excavation Guidelines and all applicable regulations. Temporary cut slopes for the construction of basements or retaining walls should be limited to 1H:1V.

Excavations should not be made within the zone of influence of adjacent structures. Excavations within the influence zone of existing structures may require shoring, underpinning or other measures to provide temporary or permanent support.

3.3 Utility Trenches

Utility trench backfill in structural areas should consist of well-graded, granular fill limited to a maximum particle size of 1½ inches. Granular trench backfill should be compacted to at least 92% of the maximum dry density as determined by ASTM D1557. Excavator-mounted, vibratory-plate compactors are typically the most efficient for compaction of trench backfill. Lift thicknesses should be evaluated based on field density tests; however, care should be taken when operating vibratory compactors to prevent damage to pipes. An initial lift thickness over pipe may need to be up to 4 feet to protect the pipe from damage during compaction; however, thick lifts of loosely placed backfill should not be the standard practice for utility trench backfill. Native materials can be used for trench backfill in non-structural areas where a soft trench and future settlement of the backfill can be tolerated.

3.4 Engineered Structural Fill

Engineered structural fill is any fill material used for support of foundations, retaining walls, slab-on-grade floors, sidewalks, embankments, pavements, and similar features. The on-site soil is suitable for use as structural fill provided it can be separated from unsuitable material, be properly moisture conditioned, and compacted to the specified density as determined by standard testing in a soils lab. The on-site soil used as structural fill should be placed in lifts with a maximum uncompacted thickness of 8 inches.

Imported granular material should be used for engineered structural fill if the on-site material cannot be properly moisture conditioned. Imported granular fill should consist of crushed aggregate that is fairly



well-graded between coarse and fine material and have less than 5 percent by weight passing the U.S. Standard No. 200 Sieve. Use of alternative granular fill material such as pit-run or quarry-run rock or sand should be evaluated for suitability by CGS prior to its use. Granular fill should be placed in lifts with a maximum uncompacted thickness of 6 inches.

All engineered structural fill should be compacted to at least 92% of the maximum dry density determined by the Modified Proctor ASTM D1557 or equivalent. CGS should perform density testing of engineered structural fill to verify that adequate compaction is achieved. Proof-rolling with a loaded dump truck or water truck may be allowed in certain circumstances under the guidance of CGS onsite to evaluate fill compaction.

Regardless of material or location, structural fill should be placed over firm, unyielding subgrade prepared in accordance with *Section 3.1 Site Preparation and Removal of Existing Fill* of this report. The condition of the subgrade should be verified by a CGS representative before filling or construction begins. Fill compaction should be verified by in-place density tests taken during fill placement to confirm that compaction meets project specifications.

3.5 Foundations

The proposed building addition may be supported on shallow, spread footings bearing on a minimum 12-inch-thick granular fill pad placed over competent subgrade soil. Foundation design, construction, and setbacks requirements should conform to the Oregon Structural Specialty Code (OSSC) and other governing codes as applicable.

We recommend an allowable soil bearing pressure of 1,500 pounds per square foot (psf) be used for footing design. The recommended allowable bearing pressure applies to the total of dead plus long-term live loads. The allowable bearing pressure may be increased by a factor of 1.33 for short-term loads such as those resulting from wind or seismic forces.

Total static settlement of footings founded as recommended is expected to be less than 1 inch. Differential settlement is estimated to be less than $\frac{3}{4}$ inches over a horizontal span of 20 feet. Most of the settlement will occur during construction as the loads are applied. These estimates are based on maximum wall loads of 3,000 pounds per lineal foot and a maximum column load of 35 kips. For heavier loads, CGS should be consulted.

For protection against frost heave and maximizing bearing strength, perimeter footings should be embedded at least 18 inches below exterior finish grade. Interior footings should be embedded at least 12 inches below floor slabs. Minimum footing widths should be determined by the project architect/designer/structural engineer in accordance with applicable design codes. Excavations adjacent to footings should not extend beneath a 1H:1V plane projected downwards from the bottom edge of the footing or be backfilled with engineered structural fill.

Footing excavations should be trimmed neat and carefully prepared. Loose, wet or otherwise softened subgrade should be removed from footing areas prior to placing crushed rock backfill, forms and reinforcing steel. In wet weather conditions, we recommend that a several-inch-thick layer of granular



material (typically 3/4"-0 crushed aggregate) be placed at the base of footing excavations. The granular material reduces water softening of subgrade soils, reduces subgrade disturbance during placement of forms and reinforcement, and provides a clean environment for reinforcing steel. To be effective, the granular material should be placed on firm, well-drained subgrade and lightly compacted until well-keyed using a small vibratory plate compactor.

We recommended that CGS observe the foundation excavation subgrade prior to placing structural fill, formwork, or reinforcing steel to evaluate subgrade support conditions are within recommended specifications.

3.5.1 Lateral Resistance for Spread Footings

Lateral loads on the proposed structures imposed by wind or seismic forces can be resisted by a combination of sliding resistance on the base of footings and passive earth pressure on the sides of footings. We recommend an ultimate coefficient of friction of 0.35 for footings bearing on undisturbed, native soil, and 0.5 for footings bearing on granular engineered structural fill.

Passive earth pressures on the sides of buried spread footings may be calculated using an allowable equivalent fluid pressure of 300 pcf per foot of embedment. For this value, backfill against the footing should be compacted to at least 92% of the maximum dry density as obtained from ASTM D1557. The upper foot of embedment should be neglected unless protected by pavement or concrete slabs on grade.

3.6 Slab on Grade Floors

Satisfactory subgrade support for lightly-loaded building floor slabs can be obtained on undisturbed native soil or on newly placed structural fill. The modulus of subgrade reaction for design of floor slabs may be taken as 100 pounds per cubic inch.

A minimum 8-inch-thick layer of imported granular material should be placed and compacted over the prepared subgrade to assist as a capillary break and blanket drain. Imported granular material should consist of clean crushed rock or sand that is fairly well-graded between coarse and fine, contains no deleterious materials, has a maximum particle size of 1½ inches, and less than 5 percent by weight passing the U.S. Standard No. 200 Sieve. The imported granular material may be placed in one lift and should be compacted until well-keyed, about 85 percent of the maximum dry density as determined by ASTM D 1557. An underslab drainage pipe system is recommended for human occupancy areas with concrete slab floors.

A vapor retarder manufactured for use beneath floor slabs should be installed above the base rock and according to the manufacturer's recommendations. Careful attention should be made during construction to prevent perforating the retarder, and to seal edges and utility penetrations. We recommend following ACI 302.1, Chapter 3 with regard to installing a vapor retarder.



3.7 Retaining Walls

The preliminary plans do not show any retaining walls for the project. Because the project is in the preliminary design phase, it is unclear whether structural retaining walls will be included. Lateral pressures presented in this report are to be considered as general guidelines, should retaining walls be included. CGS should be consulted for feature-specific recommendations.

The design engineer for the retaining wall must take into consideration the state at which the soil retention walls will be placed, whether under active, passive, or at-rest pressures. The possibility of additional non-seismic surcharge loading should also be considered.

Our recommended lateral earth pressures for design of retaining walls presented as equivalent fluid pressures are summarized in Table 3-1, below. Active and at-rest pressures should be modelled as a static triangular pressure profile with the resultant total force acting at one-third height of the exposed wall face. The recommended values are based on imported, free-draining granular backfill, a wet density of 135 pounds per cubic foot and a friction angle of 35 degrees for the retained soils. The tabulated design parameters are to be used for well-drained backfill conditions with no hydrostatic pressures behind the walls. Walls that may deflect by at least 0.01 times their height may be designed with active earth pressures. Walls that may not deflect should be designed with at-rest pressures.

Table 3-1 - Equivalent Fluid Pressure Acting on Retaining Walls

Wall Type	Backfill Slope	Backfill Equivalent Fluid Pressure (pcf)
Active (Yielding wall)	Level	35
	2H:1V	50
At-Rest (Non-yielding wall)	Level	50
	2H:1V	70

Passive earth pressures on retaining walls may be calculated using an allowable equivalent fluid pressure of 300 pcf per foot of embedment. For this value, backfill against the wall footing should be compacted to at least 92% of the maximum dry density of obtained from ASTM D1557. The upper foot of embedment should be neglected unless protected by pavement or concrete slabs on grade.

If the wall will be subjected to the influence of surcharge loading, the wall should be designed for an additional horizontal pressure. For uniform surcharge pressures, a uniformly distributed lateral pressure of 0.3 times the vertical surcharge pressure should be added. The influence zone of an applied vertical load is generally considered to be a 45-degree plane projected downward from the bottom edge of the footing. Traffic surcharges may be estimated using an additional vertical load of 250 psf (2 feet of additional fill), in accordance with local practice, or as determined by the type of traffic expected to apply the surcharge loads.



It is difficult to accurately predict the additional lateral forces that will be generated on a retaining wall during an earthquake. Some factors affecting the magnitude of earthquake forces on the wall are the size and duration of the earthquake, the distance from the earthquake epicenter of the site, and the mass of soil retained by the wall. Retaining walls that are designed only for active earth pressures may fail when additional forces are generated by the earthquake.

A simple approach based on the work of Seed and Whitman (1970), is to include in the design analysis an additional horizontal force (P_E) to account for the additional loads imposed on the retaining wall by the earthquake (dynamic load)⁶. In this case, the static force is calculated and then an additional dynamic force (as shown below) is added to the wall for failure analysis.

$$P_E = \frac{3}{8}(0.5 * PGA_M)\gamma_t H^2$$

Where PGA_M = Peak Ground Acceleration (see Table 3-3)
 γ_t = total unit weight of soil
H = height of retaining wall

The resultant of this equation is an ultimate value given in pounds per linear foot of wall. An adjustment factor selected by the structural engineer is typically applied to the ultimate value for structural design purposes. The location of this earthquake-induced force can be assumed to act at a distance of 0.6H up from the base of the wall.

Because P_E is a short-term loading that may never occur during the life of the retaining wall, it is common to allow a one third increase in the bearing pressure and passive resistance for the earthquake analysis. Also, for the analysis of sliding and overturning of the retaining wall, it is common to accept a lower factor of safety (1.1 to 1.2) under the combined static and earthquake loads.⁷

A layer of compacted aggregate that is a minimum of 1-foot-wide should be placed behind all retaining walls to allow for proper drainage and placed utilizing the compaction recommendations described in this report. All structural retaining walls should be backfilled with an imported, free-draining granular material such as ¾"-0 crushed rock with no more than 5% passing the No. 200 sieve. Only light-weight compaction equipment should be used immediately behind retaining walls, so that compactive effort does not damage the wall.

At the base of the retaining walls and continuous with the wall backfill aggregate, a wall subdrain should be installed to divert water from the retaining structures. The wall subdrain should consist of a 3- or 4-inch-diameter, perforated, gravity drainpipe (ADS Highway Grade or better) enveloped in at least 4 cubic feet per lineal foot of clean, drain rock. The drain rock should be wrapped within geotextile filter fabric with a minimum 1-foot overlap at joints to prevent fines from washing into the drain rock. A diagram of a typical wall subdrain can be found in Appendix C as a recommended guideline for construction.

⁶ Seed, H.B. and Whitman, R.V., 1970, Design of Earth Retaining Structures for Dynamic Loads: ASCE Specialty Conference, Lateral Stresses in the Ground and Design of Earth Retaining Structures, Cornell University, Ithaca, New York, p. 103-147.

⁷ Day, Robert W. "Geotechnical Engineer's Portable Handbook". Second Edition, 2012. Pg. 16.18, Table 16.5, Topic (1).



Retaining walls in living areas or other moisture sensitive areas should include water proofing and wall panel drains as specified by the wall designer.

3.8 Pavement Profiles

We do not have specific information on the frequency and type of vehicles that will use the development on a daily basis. For design purposes, we assumed that post-construction traffic will be primarily light duty passenger vehicles averaging no more than five heavy trucks per day. Our pavement recommendations are based on a typical subgrade density for silt using a California Bearing Ratio value of 3.

We recommend the minimum pavement section profiles presented in Table 3-2, below, to support the anticipated traffic loads over a design life of 20 years. For areas where service trucks back and turn, a Portland Cement Concrete (PCC) pavement section should be used, or the AC pavement thickness increased to 5 inches. The recommended minimum PCC section is 6 inches of PCC over 8 inches of 1½"-0 crushed rock compacted to at least 95% of ASTM D1557.

Table 3-2 - Recommended Minimum Dry-Weather Pavement Section

Material	Drive Aisles (inches)	Parking (inches)	Compaction Standard
Asphaltic Concrete (AC)	3	2.5	92% of Rice Density AASHTO T-209
Crushed Aggregate Base ¾"-0 (leveling course)	2	2	95% of Modified Proctor
Crushed Aggregate Base 1½ "-0	8	6	95% of Modified Proctor
Subgrade Soil	12	12	95% of Modified Proctor

These thicknesses are intended to be the minimum acceptable for construction completed during an extended period of dry weather. If pavement areas are constructed during wet weather, CGS should review the subgrade and proposed construction methods immediately prior to the placement of base course so that specific recommendations can be provided. Wet-weather pavement construction may require cement amendment or an additional 6 inches of crushed aggregate base.

AC pavement should conform to Section 00744 of the Standard Specification for Highway Construction, Oregon Highway Specifications, and Yamhill County requirements. We recommend graded half-inch or three-quarter inch, Dense Hot Mix Asphalt Concrete for Design Level 2 using Performance Grade



Asphalt PG-64-22 which is appropriate for low to moderate volume pavements in Western Oregon. The aggregate base should conform to Section 02630 of the 2021 ODOT Oregon Standard Specifications for Construction with the addition that no more than 5 percent of the material by dry weight passes the U.S. Standard No. 200 Sieve. Aggregate base contaminated with soil during construction should be removed and replaced before paving.

As a matter of good construction practice, we recommend placing a woven separation fabric between the soil subgrade and the aggregate such as Contech C200 or US200. The fabric should conform to the minimum property values presented in Table 02320-4 – Subgrade Geotextile (Separation), in Section 02320 of the 2021 ODOT Oregon Standard Specifications for Construction.

We recommend that CGS conduct density testing and a proof roll performance test of the pavement subgrade prior to placement. Subgrade and base rock should be compacted to at least 95% of the maximum dry density obtained from ASTM D1557. Subgrade strength should be evaluated visually by proof-rolling directly on the subgrade with a loaded dump truck during dry weather and on top of base course in wet weather. Soft areas which rut, pump, or weave by more than 1/4 inch should be stabilized prior to paving.

3.9 Drainage Considerations

Site drainage should include foundation drainage, surface runoff collection, and conveyance to a properly designed and permitted storm water drainage facility. As a matter of good construction practice, we recommend that perimeter footing subdrains be installed for all buildings. Perimeter subdrains should consist of perforated drainpipe enveloped in a zone of drain rock that is wrapped in a non-woven geotextile filter fabric. The subdrain should be connected to a non-perforated drainpipe conveyance to storm drain facilities. A diagram of typical footing subdrain is presented in Appendix C as a recommended guideline for construction.

Water should not be allowed to pond beneath floor slabs or within crawl spaces. Floor slab and crawl space subgrade should be sloped to drain to a suitable low point drain outlet or sump. The drain location and routing should be carefully considered to ensure drainage occurs as intended. It might be necessary to install underslab drainage and provide for sump pumps, depending on the below grade depth of floor slabs.

We recommend that all roof drains and subdrains be connected to a non-perforated drainpipe leading to storm drain outlet facilities. Pavement surfaces and open space areas should be sloped such that surface water runoff is collected and routed to suitable discharge points. Ground surfaces adjacent to buildings should be sloped to drain away from the buildings.

3.10 Seismic Design Considerations

At this time, we presume that the building will be designed to resist earthquake loading in accordance with the 2017 ASCE 7-16 standard methodology and as prescribed by the 2019 OSSC. Based on the



results of drilling exploration, SPT soil strength tests and laboratory tests, we designate the building site to be Seismic Site Class D.

Site coefficients and spectral response acceleration parameters determined for the site using the ASCE Hazard Tool in accordance with the standard ASCE 7-16 methodology are presented in Table 3-3, below. These values are based on risk-targeted maximum considered earthquake (MCE_r) ground motions for the 0.2 and 1 second spectral response accelerations provided in the 2019 OSSC. The values are the lesser of deterministic and probabilistic estimates (2% chance of exceedance in 50 years at 5% critical dampening) of ground motion based on USGS hazard map data available in 2008 and updated in 2014.

Table 3-2 - Seismic Design Parameters (ASCE 7-16)

Parameter	Value
Location (Lat., Lon. in degrees)	45.3015, -122.9567
Mapped Maximum Considered Earthquake Spectral Response Acceleration (USGS Mapping Standardized to Site Class B)	
Short Period, S_s	0.852 g
1 Second Period, S_1	0.412 g
Design Site Coefficients (Site Class D)	
F_a	1.159
F_v	N/A
Design Spectral Response Acceleration Parameter (Site Class D)	
S_{DS} ($2/3 \times F_a \times S_s$)	0.658 g
S_{D1} ($2/3 \times F_v \times S_1$)	N/A*
Seismic Design Category	N/A*
Peak Ground Acceleration (PGA_M)	0.474 g

*Values not available - Section 11.4.8 of ASCE 7-16 requires site-specific ground motion procedures for structures on Site Class D with S_1 greater than or equal to 0.2g. Please consult Central Geotech regarding details or to have a site-specific analysis completed.

For the alternative simplified design procedure prescribed in Section 12.14 of ASCE 7-16, the value of S_{DS} used to determine seismic base shear is provided in Table 3-3. The values in Table 3-3 assume that a fundamental period (T) of 0.5 seconds or less, and a damping ratio of 5% are appropriate to characterize the structure.



3.11 Additional Geotechnical Services

Because the future performance and integrity of the structural elements will depend largely on proper site preparation, drainage, fill placement, and construction procedures, construction monitoring and testing (geotechnical special inspection) by experienced geotechnical personnel should be considered an integral part of the design and construction process. Consequently, we recommend that CGS be retained to provide the following post-investigation services:

- Review construction plans and specifications to verify that our design criteria presented in this report have been properly integrated into the design.
- Attend pre-construction meetings and conferences with the design team and contractor to discuss geotechnical related construction issues.
- Observe fill areas and footing subgrade both before fill material or base rock is placed and before footings are constructed in order to verify the soil conditions.
- Prepare a post-construction letter-of-compliance summarizing our field observations, inspections, and test results.

4.0 LIMITATIONS OF REPORT

We have prepared this report for the exclusive use of Jarrod Sherwood, Virginia Garcia Medical Clinic, and members of the design team, for this specific project only. The report should be provided in its entirety to prospective contractors for bidding and estimating purposes; however, the conclusions and interpretations presented should not be construed as a warranty of the subsurface conditions. Experience has shown that soil and groundwater conditions can vary significantly over small distances. Inconsistent conditions can occur between explorations that may not be detected by a geotechnical study. If, during future site operations, subsurface conditions are encountered which vary appreciably from those described herein, Central Geotech should be notified for review of the recommendations of this report, and revision of such if necessary.

We recommend that Central Geotech be retained to review the plans and specifications and verify that our recommendations have been interpreted and implemented as intended. Sufficient geotechnical monitoring, testing and consultation should be provided during construction to confirm that the conditions encountered are consistent with those indicated by explorations. Recommendations for design changes will be provided should conditions revealed during construction differ from those anticipated. Should Central Geotech not be retained for Design or Construction related services further into the development process, this report and its recommendations should be considered void, as we cannot take on responsibility for construction operations that were unobserved by our office.

Within the limitations of scope, schedule and budget, the analysis, conclusions, and recommendations presented in this report were prepared in accordance with generally accepted professional principles and practices in the fields of geotechnical engineering and engineering geology in this area at the time the



report was prepared. No warranty, express or implied, is made. The scope of our work did not include environmental assessments or evaluations regarding the presence or absence of wetlands or hazardous or toxic substances in the soil, surface water, or groundwater at this site.

5.0 SIGNATURES

Thank you very much for the opportunity to work with you. If you feel obliged, we welcome referrals from our previous clients and would enjoy the opportunity to work with others in your professional and personal networks.

Central Geotechnical Services, LLC



EXPIRES: 06/30/24

Jose R. Serrano, P.E.
Associate Engineer



APPENDIX A:
FIELD EXPLORATION PROCEDURES
BORING LOGS
SOIL CLASSIFICATION DESCRIPTION AND GUIDELINES



FIELD EXPLORATION PROCEDURES

Exploratory Borings

Borings B-1 through B-3 were drilled to a depth of 26.5 feet bgs on June 22, 2022, with a trailer-mounted drill rig using hollow stem auger drilling techniques. The approximate locations of the borings are shown in Figure 2-4.

A member of Central Geotech's geotechnical staff directed the exploration, recorded observed soil and groundwater conditions, and obtained soil samples for laboratory testing. In-situ soil strength was evaluated with Standard Penetration Testing (SPT). SPT tests utilize a 2-inch-diameter split-spoon sampler driven with a 140-pound hammer over a 30-inch free fall. The number of blows to drive the sampler 6 inches is recorded in three successive trials. The sum of the number of blows required to advance the sampler the second and third intervals is the "standard penetration resistance" or "N-value".


Samples obtained from the borings were examined, sealed in plastic bags, and transported to our office for further evaluation. Selected samples were tested in our soil laboratory for moisture content. Summary logs of borings are presented in Appendix A.

Soil Classification and Description


Soil samples were classified in the field in general accordance with the Unified Soil Classification System and guidelines presented in ASTM D2488, *Standard Practice for Description and Identification of Soils (Visual-Manual Procedure)*. The physical characteristics of the samples noted in the field were modified based on laboratory test results, where appropriate, in accordance with ASTM terminology, though certain terminology that incorporates current local engineering practice may be used. The term which best described the major portion of the sample is used to describe the soil type. A one-page summary chart of Soil Classification Description and Guidelines is included in this Appendix.





BORING LOGS


		BORING LOG B-1							
Virginia Garcia Memorial Health Center			2251 East Hancock Street, Newberg, OR				CGS Project No. 22-025		
SUBSURFACE PROFILE			SAMPLE				BORING		Lab Analysis
Depth (ft)	Lithology	Lithologic Description	Sample Number	Recovery (in.)	Sample Type	SPT Count/ RQD	Moisture Content (%)	GW Observation	
0		3-inches of AC over 5-inches of 3/4-0" crushed Aggregate Base							
1		(ROAD BASE)							
2									
3		Soft SILT (ML), trace angular gravel, trace mixed organics, micaceous, brown, damp	1	17	Split Spoon	4	36		
4		(FILL)							
5									
6		Soft to medium-stiff, SILT (ML), trace fine roots, trace medium-grained sand, micaceous, light brown to brown, damp to moist	2	18	Split Spoon	2	36	GW	
7		(MISSOULA FLOOD DEPOSIT)							
8									
9		Moisture increases to wet below 7.5 feet bgs	3	18	Split Spoon	2	37		
10									
11			4	18	Split Spoon	3	39		Liquid Limit: 45 Plastic Limit: 28 Plasticity Index: 17
12									
13									
14									
15									
16			5	18	Split Spoon	3	39		
17									
18		Stiff, fat CLAY (CH), trace sand, dark gray with weak orange and gray mottling, moist to wet							
19		(MISSOULA FLOOD DEPOSIT)							
20									
21			6	18	Split Spoon	4	33		
22									
23									
24									
25									
26			7	18	Split Spoon	6	43		
27		Boring terminated at 26.5 feet bgs							
28		Groundwater measured at 6.4 feet bgs at termination							
29									
30									


LEGEND


 GW Level at End of Drilling

 Split Spoon Sample

 Core

 GW Seepage Zone

 Grab Sample

 Shelby Tube


Date Performed: June 22, 2022

Logged By: T. Howard & R. Pavlenko


Surface Elevation: ~ 193 Feet (MSL)


Method: 4 3/8" Solid Stem Auger





		BORING LOG B-2								
Virginia Garcia Memorial Health Center		2251 East Hancock Street Newberg, OR			CGS Project No. 22-025					
SUBSURFACE PROFILE			SAMPLE			BORING				
Depth (ft)	Lithology	Lithologic Description	Sample Number	Recovery (in.)	Sample Type	SPT Count/ RQD	Moisture Content (%)	GW Observation	St / Well Construction	Lab Analysis
0		7-inches of AC over 5-inches of 3/4"-#0 crushed Aggregate Base								
1		(ROAD BASE)								
2		Soft SILT (ML), trace angular gravel, trace mixed organics, micaceous, brown, damp	1	18	Split Spoon	4				
3		(FILL)								
4		Soft to medium-stiff, SILT (ML), trace fine roots, trace medium-grained sand, micaceous, light brown with weak orange and gray mottling, damp to moist	2	18	Split Spoon	10				
5		(MISSOULA FLOOD DEPOSIT)								
6		Color transitions to dark gray below 10.5 feet, and moisture increases to wet	3	18	Split Spoon	10				
7										
8			4	18	Split Spoon	10				
9										
10										
11										
12										
13										
14										
15										
16			5	18	Split Spoon	4				
17		Medium-stiff to stiff, fat CLAY, trace sand, dark gray weak orange and gray mottling, moist to wet								
18		(MISSOULA FLOOD DEPOSIT)								
19										
20			6	18	Split Spoon	2				
21										
22										
23										
24										
25										
26			7	18	Split Spoon	3				
27		Boring terminated at 26.5 feet bgs								
28		Groundwater measured at 7.9 feet bgs at termination								
29										
30										


LEGEND


 GW Level at End of Drilling

 Split Spoon Sample

 Core

 GW Seepage Zone

 Grab Sample

 Shelby Tube


Date Performed: June 22, 2022

Logged By: T. Howard & R. Pavlenko


Surface Elevation: ~ 194 Feet (MSL)


Method: 4 3/8" Solid Stem Auger





		BORING LOG B-3							
Virginia Garcia Memorial Health Center			2251 East Hancock Street, Newberg, OR			CGS Project No. 22-025			
SUBSURFACE PROFILE			SAMPLE				BORING		
Depth (ft)	Lithology	Lithologic Description	Sample Number	Recovery (in.)	Sample Type	SPT Count/ RQD	Moisture Content (%)	GW Observation	Lab Analysis
0		4-inches of AC over 9-inches of 3/4-0" crushed Aggregate Base							
1		(ROAD BASE)							
2		Soft SILT (ML), trace angular gravel, trace mixed organics, micaceous, brown, damp	1	12	Split Spoon	14	35		
3		(FILL)							
4		Soft to stiff, SILT (ML), trace fine roots, trace medium-dense sand, micaceous, light brown with weak orange and gray mottling, damp to moist	2	16	Split Spoon	12	36		
5		(MISSOULA FLOOD DEPOSIT)							
6		Moisture increases to wet at 10 feet bgs	3	17	Split Spoon	12	35		
7			4	18	Split Spoon	12	38		
8			5	24	Shelby Tube				
9			6	18	Split Spoon	12	37		
10									
11		Stiff, fat CLAY (CH), trace sand, dark gray with weak orange and gray mottling, moist to wet	7	18	Split Spoon	4 4 6	32		Liquid Limit: 69 Plastic Limit: 27 Plasticity Index: 42
12		(MISSOULA FLOOD DEPOSIT)							
13			8	14	Split Spoon	4 4 5	39		
14		Boring terminated at 26.5 feet bgs							
15		Groundwater measured at 7.3 feet bgs at termination							
16									
17									
18									
19									
20									
21									
22									
23									
24									
25									
26									
27									
28									
29									
30									


LEGEND


 GW Level at End of Drilling

 Split Spoon Sample

 Core

 GW Seepage Zone

 Grab Sample

 Shelby Tube

Date Performed: June 22, 2022

Logged By: T. Howard & R. Pavlenko

Surface Elevation: ~ 194 Feet (MSL)

Method: 4 3/8" Solid Stem Auger





SOIL CLASSIFICATION DESCRIPTION AND GUIDELINES

SOIL CLASSIFICATION				
Major Divisions		Symbol	Typical Descriptions	
Coarse Grained (More Than 50% Retained By No. 200 Sieve)	Gravel	Clean Gravels	GW	Well-Graded Gravels And Gravel/Sand Mixtures, Little Or No Fines
		Gravels With Fines	GP	Poorly-Graded Gravels, Gravel/Sand Mixtures, Little Or No Fines
			GM	Silty Gravels, Gravel/Sand/Silt Mixtures
	Sand	Clean Sands	SW	Well-Graded Sand And Gravelly Sands, Little Or No Fines
		Sands With Fines	SP	Poorly-Graded Sand And Gravelly Sands, Little Or No Fines
			SM	Silty Sands, Sand/Silt Mixtures
Fine Grained (More Than 50% Passing By No. 200 Sieve)	Sils And Clays	Liquid Limit Less Than 50	ML	Inorganic Silts, Silt With Slight Plasticity
			CL	Inorganic Clay, Clay With Low To Medium Plasticity
			OL	Organic Silts, Organic Silty Clays With Low Plasticity
		Liquid Limit More Than 50	MH	Inorganic Silts, Clayey Silts
			CH	Inorganic Clays Of High Plasticity, Fat Clays
			OH	Organic Clays Of Medium To High Plasticity
Highly Organic Soils			PT	Peat, Humus And Other High Organic Soils

SOIL CHARACTERISTICS				
Granular Soil		Cohesive Soil		
Relative Density	Standard Penetration Test	Consistency	Standard Penetration Test	Unconfined Strength (Tsf)
Very-Loose	0 - 4	Very-Soft	< 2	< 0.25
Loose	4 - 10	Soft	2 - 4	0.25 - 0.5
Medium-Dense	10 - 30	Medium-Stiff	4 - 8	0.5 - 1.0
Dense	30 - 50	Stiff	8 - 16	1.0 - 2.0
Very-Dense	> 50	Very-Stiff	16 - 32	2.0 - 4.0
Standard Penetration Tests Record The Number Of Blows Required To Drive A Split-Spoon Sampler 12 Inches (N-Value)		Hard	32 - 50	> 4.0
		Very-Hard	> 50	

ADDITIONAL SOIL CLASSIFICATION TERMS				
Moisture Content		Structure		
Dry	Absence Of Moisture, Dusty, Dry To The Touch	Stratified	Alternating Layers Of Material or Color > 6 mm	
Damp	Some Moisture But Leaves No Moisture On Hand	Laminated	Alternating Layers Of Material or Color < 6 mm	
Moist	Leaves Moisture On Hand	Fissured	Breaks Along Definite Fracture Planes	
Wet	Visible Free Water, Likely From Below Water Table	Slickensided	Striated, Polished Or Glossy Fracture Planes	
Groundwater Seepage		Blocky	Cohesive Soil That Can Be Broken Down Into Angular Lumps Which Resist Further Breakdown	
Slow	< 1.0 gpm			
Moderate	1.1 - 3.0 gpm		Lenses	Small Pockets Of Different Soils, Note Thickness
Rapid	> 3.0 gpm	Homogeneous	Uniform Color And Appearance Throughout	
Minor Constituents		Caving		
Trace (Clay, Silt, Sand, or Gravel)		< 15 percent	Minor	Isolated Spalling
Some (Clay, Silt, Sand, or Gravel)		16 to 30 percent	Moderate	Common Spalling
Clayey, Silty, Sandy, Gravelly		31 to 49 percent	Severe	Will not stand vertical
Plasticity		Dilatancy		
Nonplastic	Cannot Be Rolled At Any Water Content	None	No Visible Changes in the Specimen	
Low	3 mm Thread Can Barely Be Rolled But Not Under The Plastic Limit	Slow	Water Slowly Appears and Disappears	
Medium	Can Be Rolled To 3 mm Thread, Crumbles When Drier Than Plastic Limit.	Rapid	Water Quickly Appears and Disappears	
High	Can Easily Be Rolled To 3 mm Thread. Can Be Rerolled Several Times.			

ODOT ROCK HARDNESS CLASSIFICATION CHART		
Hardness Designation	Field Identification/Excavation Methods	Approx. Strength (Unconfined Compressive Strength)
Extremely-Soft (R0)	Can Be Indented With Thumbnail. May Be Moldable Or Friable With Finger Pressure.	< 100 Psi
Very-Soft (R1)	Crumbles Under Firm Blows With Geology Pick. Scratched With Finger Nail.	100 - 1,000 psi
Soft (R2)	Can Be Peeled By Knife Or Pick. Shallow Indentation Made By Firm Blow Of Geology Pick.	1,000 - 4,000 psi
Medium-Hard (R3)	Can Be Scratched By Knife Or Pick, Specimen Can Be Fractured With A Single Blow Of Hammer Or Geology Pick / Excavation Often Requires Medium To Large Equipment With Ripper Teeth.	4,000 - 8,000 psi
Hard (R4)	Can Be Scratched With Knife Or Pick Only With Difficulty. Several Hammer Blows Required To Fracture Specimen / Excavation Requires Large Equipment, Rock Chipper, Expansive Compound Fracturing Or Blasting.	8,000 - 16,000 psi
Very-Hard (R5)	Cannot Be Scratched By Knife Or Sharp Pick. Specimen Requires Many Blows Of Hammer To Fracture Or Chip. Hammer Rebounds After Impact / Expansive Compound Fracturing Or Blasting Required To Excavate.	> 16,000 psi

Chart Taken From Oregon Department Of Transportation Soil/Rock Classification Manual. Modified To Include Typical Excavation Methods.





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APPENDIX B:
LABORATORY TEST RESULTS




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 503.616.9419
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ATTERBERG LIMITS REPORT

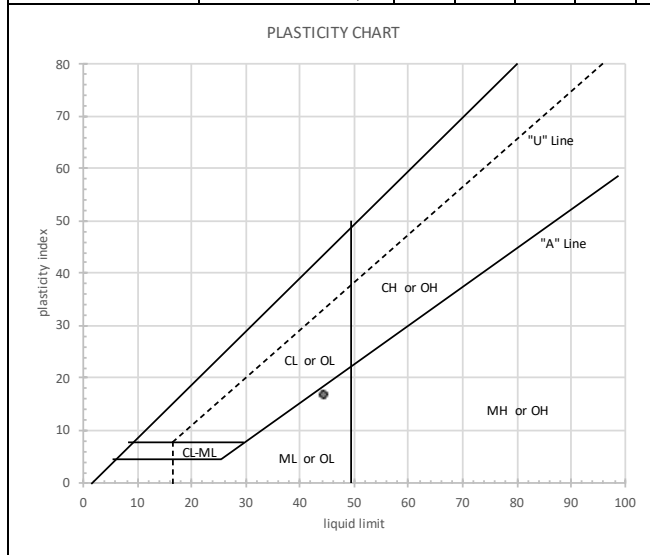
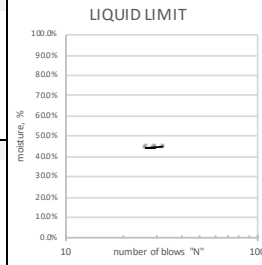
PROJECT VGMH	CLIENT VGMH	PROJECT NO. 22-025	LAB ID B-1 @ 10'
		REPORT DATE 6/30/22	FIELD ID B-1 @ 10'
		DATE SAMPLED 6/22/22	SAMPLED BY

MATERIAL DATA

MATERIAL SAMPLED	MATERIAL SOURCE Boring B-1 at 10 feet	USCS SOIL TYPE SILT (ML)
------------------	--	-----------------------------

LABORATORY TEST DATA

METHOD Wet preparation, Method A - Multipoint	TEST PROCEDURE ASTM D4318 & D2216																														
ATTERBERG LIMITS liquid limit = 45 plastic limit = 28 plasticity index = 17	LIQUID LIMIT DETERMINATION <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th></th> <th>1</th> <th>2</th> <th>3</th> <th>4</th> </tr> </thead> <tbody> <tr> <td>wet soil + pan mass, g =</td> <td>7.9</td> <td>7.9</td> <td>7.5</td> <td>7.8</td> </tr> <tr> <td>dry soil + pan mass, g =</td> <td>5.6</td> <td>5.6</td> <td>5.3</td> <td>5.5</td> </tr> <tr> <td>pan mass =</td> <td>0.4</td> <td>0.4</td> <td>0.4</td> <td>0.4</td> </tr> <tr> <td>N (blows) =</td> <td>29</td> <td>26</td> <td>32</td> <td>27</td> </tr> <tr> <td>moisture, % =</td> <td>44.2%</td> <td>44.2%</td> <td>44.9%</td> <td>45.1%</td> </tr> </tbody> </table>		1	2	3	4	wet soil + pan mass, g =	7.9	7.9	7.5	7.8	dry soil + pan mass, g =	5.6	5.6	5.3	5.5	pan mass =	0.4	0.4	0.4	0.4	N (blows) =	29	26	32	27	moisture, % =	44.2%	44.2%	44.9%	45.1%
	1	2	3	4																											
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dry soil + pan mass, g =	5.6	5.6	5.3	5.5																											
pan mass =	0.4	0.4	0.4	0.4																											
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moisture, % =	44.2%	44.2%	44.9%	45.1%																											
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pan mass, g =	0.4	0.4	0.4	0.4																											
moisture, % =	27.5%	28.6%	29.4%	26.9%																											



ADDITIONAL DATA

% gravel =
 % sand =
 % silt and clay =
 % silt =
 % clay =
 moisture content =

DATE TESTED	TESTED BY
6/30/22	LMB




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ATTERBERG LIMITS REPORT

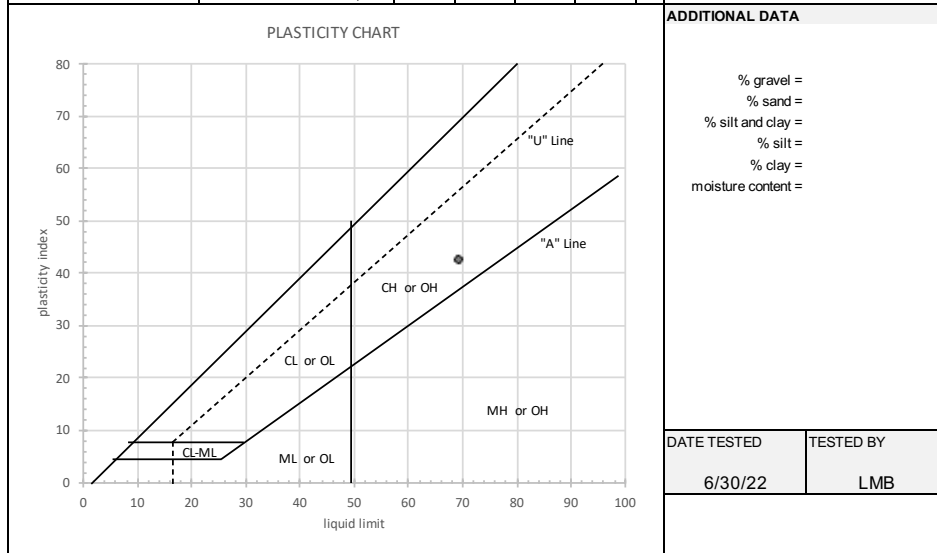
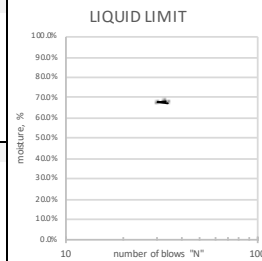
PROJECT VGMH	CLIENT VGMH	PROJECT NO. 22-025	LAB ID B-3 @ 20'
		REPORT DATE 6/30/22	FIELD ID B-3 @ 20'
		DATE SAMPLED 6/22/22	SAMPLED BY

MATERIAL DATA

MATERIAL SAMPLED	MATERIAL SOURCE Boring B-3 at 20 feet	USCS SOIL TYPE Fat CLAY (CH)
------------------	--	---------------------------------

LABORATORY TEST DATA

METHOD Wet preparation, Method A - Multipoint	TEST PROCEDURE ASTM D4318 & D2216																														
ATTERBERG LIMITS liquid limit = 69 plastic limit = 27 plasticity index = 42	LIQUID LIMIT DETERMINATION <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th></th> <th>1</th> <th>2</th> <th>3</th> <th>4</th> </tr> </thead> <tbody> <tr> <td>wet soil + pan mass, g =</td> <td>10.1</td> <td>11.3</td> <td>11.0</td> <td>12.1</td> </tr> <tr> <td>dry soil + pan mass, g =</td> <td>6.2</td> <td>6.9</td> <td>6.7</td> <td>7.3</td> </tr> <tr> <td>pan mass =</td> <td>0.4</td> <td>0.4</td> <td>0.4</td> <td>0.4</td> </tr> <tr> <td>N (blows) =</td> <td>34</td> <td>30</td> <td>33</td> <td>26</td> </tr> <tr> <td>moisture, % =</td> <td>67.2%</td> <td>67.7%</td> <td>68.3%</td> <td>69.6%</td> </tr> </tbody> </table>		1	2	3	4	wet soil + pan mass, g =	10.1	11.3	11.0	12.1	dry soil + pan mass, g =	6.2	6.9	6.7	7.3	pan mass =	0.4	0.4	0.4	0.4	N (blows) =	34	30	33	26	moisture, % =	67.2%	67.7%	68.3%	69.6%
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ADDITIONAL DATA

% gravel =
 % sand =
 % silt and clay =
 % silt =
 % clay =
 moisture content =

DATE TESTED	TESTED BY
6/30/22	LMB

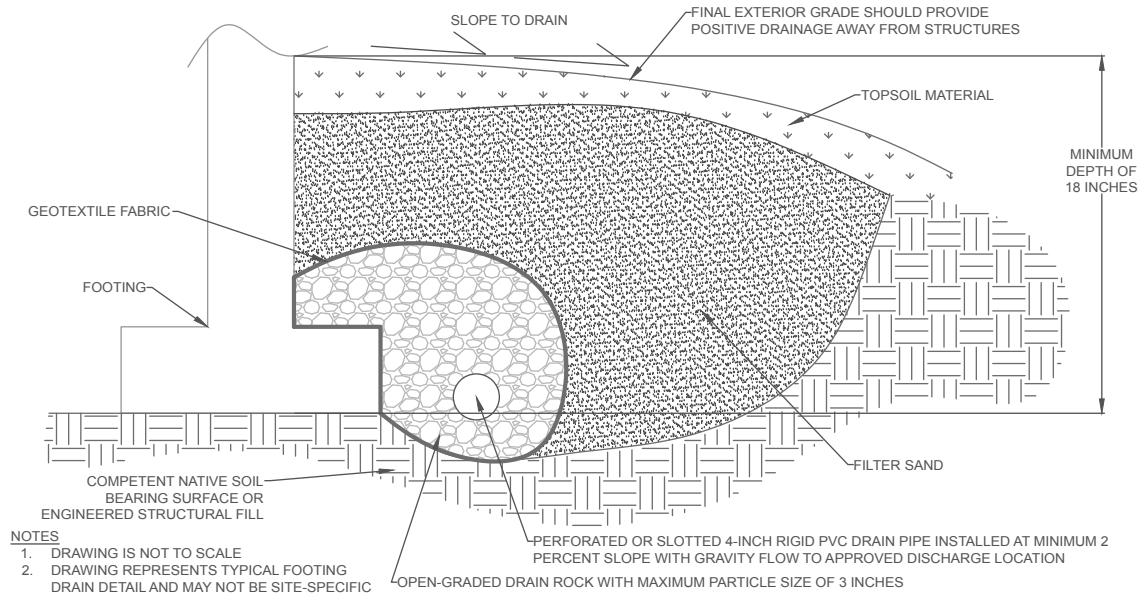




APPENDIX C:

TYPICAL PERIMETER FOOTING SUBDRAIN DETAIL

TYPICAL PERIMETER FOOTING DRAIN DETAIL



Guideline drawing for reference only





This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Tax info: No change

When recorded, return to: 

OFFICIAL YAMHILL COUNTY RECORDS
REBEKAH STERN DOLL, COUNTY CLERK

2012-03587

American Eagle Title Group, L.L.C.
410 N. Walnut, Suite 100
Oklahoma City, OK 73104
File # 21111-096557



\$66.00

03/21/2012 02:46:32 PM

DMR-DDMR Cnt=1 Stn=3 SUSIE
\$30.00 \$10.00 \$11.00 \$15.00

SPECIAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

THAT PROBUILD COMPANY LLC, a Delaware limited liability company, ("Grantor"), with an address of 7595 Technology Way, Suite 500, Denver, Colorado, 80237, in consideration of the amount of TWO MILLION SEVENTEEN THOUSAND TWO HUNDRED SIXTY-THREE AND 60/100 DOLLARS (\$2,017,263.60) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, does hereby grant, bargain, sell, and convey unto GOODWILL INDUSTRIES OF THE COLUMBIA WILLAMETTE, an Oregon nonprofit corporation ("Grantee"), with an address of 1943 SE Sixth Avenue, Portland, Oregon, 97214, the real property located in the City of Newberg, Yamhill County, Oregon and described on Exhibit "A" attached hereto, together with all improvements thereon and all rights and appurtenances thereunto belonging, LESS AND EXCEPT any interests in and to oil, gas, casinghead gas, distillate, coal, metallic ores, and other minerals therein, thereon, or thereunder previously reserved or conveyed and all rights, interests, and estates of any nature incident thereto or arising thereunder (the "Property"), and SUBJECT TO the matters described on Exhibit "B" attached hereto (the "Permitted Encumbrances"). Grantor, for itself, its successors and assigns, does covenant and agree that Grantor shall and will WARRANT AND FOREVER DEFEND the Property in the quiet and peaceable possession of Grantee, its successors and assigns, against all and every person or persons lawfully claiming or to claim the whole or any part thereof by, through or under Grantor, except for the Permitted Encumbrances and subject to the express reservations, restrictions, rights, covenants and agreements contained in this Deed.

TO HAVE AND TO HOLD the Property unto Grantee, Grantee's successors and assigns, forever.

u/w

[Signature Page Follows]

FIRST AMERICAN TITLE 1721286

Exhibit "A"

(Legal Description)

PARCEL 1:

A part of the Donation Land Claim of Richard Everest, Claim No. 52 in Township 3 South, Range 2 West of the Willamette Meridian in Yamhill County, Oregon, said part being more particularly described as follows, to-wit:

Beginning at a 3/4 inch iron pipe situated 1159.2 feet West and 19.8 feet North from the Southeast corner of the Northwest Quarter of said Richard Everest Donation Land Claim; running thence West 88.6 feet to an iron pipe; thence North 0° 17' East 550.4 feet to an iron pipe on the Southerly right of way line of the Oregon State Highway No. 99W; thence North 65° 19' East along said Highway right of way 97.7 feet to a 1/2 inch iron pipe; thence South 0° 17' West 591.3 feet to the place of beginning.

EXCEPTING THEREFROM that part conveyed to the City of Newberg.

ALSO EXCEPTING THEREFROM that portion conveyed to the State of Oregon, by and through its Department of Transportation, recorded January 19, 2000 as Instrument No. 200000793.

Tax Parcel Number: R3220AB-701

PARCEL 2:

A part of the Donation Land Claim of Richard Everest Claim No. 52 in Township 3 South, Range 2 West of the Willamette Meridian in Yamhill County, Oregon, described as follows:

Beginning at a point 1012.44 feet West and 19.8 feet North from the Southeast corner of the Northwest Quarter of said Claim; thence West 2.22 chains more or less to an iron pipe at the Southeast corner of tract conveyed to Harold A. Scharff and wife by Deed recorded May 13, 1954, Deed Records; thence North 0° 17' East along the East line of said Scharff tract 591.3 feet to an iron pipe on the Southerly right of way line of the Oregon State Highway No. 99W; thence North 65° 19' East along the said Highway right of way line 2.4375 chains more or less to the intersection of the Southerly right of way line of said State Highway and the Northwest corner of tract conveyed to William Carl Reamy and wife by Deed recorded March 7, 1949 in Book 152, Page 263, Deed Records; thence South along the West line of said Reamy tract and the most Easterly West line of tract conveyed to Eldon T. Everest and wife by Deed recorded August 20, 1943 in Book 122, Page 358, Deed Records 661 feet more or less to the place of beginning.

EXCEPTING THEREFROM beginning at the intersection of the Southerly right of way line of the Oregon State Highway No. 99W and the East line of the above described parcel; thence Southerly along the East line of the above described parcel 132 feet to a point; thence Southwesterly and parallel to the Southerly right of way line of the Oregon State Highway No. 99W 76 feet to a point; thence Northerly and parallel to the East line of the above described parcel to the Southerly right of way line of the Oregon State Highway No. 99W; and thence 76 feet, more or less, along the Southerly right of way line of the Oregon State Highway No. 99W to the point of beginning.

ALSO EXCEPTING THEREFROM that part conveyed to the City of Newberg.

FURTHER EXCEPTING THEREFROM that portion conveyed to the State of Oregon, by and through its Department of Transportation, recorded January 19, 2000 as Instrument No. 200000793.

Tax Parcel Number: R3220AB-702 (Part of)

PARCEL 3:

A part of the Donation Land Claim of Richard Everest, Claim: No. 52 in Township 3 South, Range 2 West of the Willamette Meridian in Yamhill County, Oregon, described as follows:

Beginning at a point 1012.44 feet West and 19.8 feet North from the Southeast corner of the Northwest Quarter of said Claim; thence West 2.22 chains more or less to an iron pipe at the Southeast corner of tract conveyed to Harold A. Scharff and wife by Deed recorded May 13, 1954, Deed Records; thence North 0° 17' East along the East line of said Scharff tract 591.3 feet to an iron pipe on the Southerly right of way line of the Oregon State Highway No. 99W; thence North 65° 19' East along the said Highway right of way line 2.4375 chains more or less to the intersection of the Southerly right of way line of said State Highway and the Northwest corner of tract conveyed to William Carl Reamy and wife by Deed recorded March 7, 1949 in Book 152, Page 263, Deed Records, and the true point of beginning; thence South along the West line of said Reamy tract 132 feet to a point; thence Southwesterly and parallel to the Southerly right of way line of the Oregon State Highway No. 99W 76 feet to a point; thence Northerly and parallel to the East line of the above described parcel to the Southerly right of way line of the Oregon State Highway No. 99W, and thence 76 feet, more or less, along the Southerly right of way line of the Oregon State Highway No. 99W to the point of beginning.

EXCEPTING THEREFROM that portion conveyed to the State of Oregon, by and through its Department of Transportation, recorded January 19, 2000 as Instrument No. 200000793.

Tax Parcel Number: R3229AB-700

Exhibit "B"

(Permitted Encumbrances)

1. Taxes for 2012 and subsequent years.
2. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.
3. Easement, including terms and conditions contained therein granted to State of Oregon, by and through its State Highway Commission for slope easement recorded August 5, 1962 and recorded in Book 24, Page 591, Deed Records.
4. Easement, including terms and conditions contained therein granted to DeYoung Enterprises, Inc. surviving corporation of the merger with DeY Ltd., to Commercial Construction for utility easement recorded October 16, 1981 and recorded in Film Volume 165, Page 85, Deed and Mortgage Records.
5. Easement Agreement and the terms and conditions thereof between Lumbermen's of Washing, Inc. and Dennis J. Lewis recorded May 29, 1992 in Film Volume 268, Page 993, Deed and Mortgage Records.
6. Limited access provisions contained Deed to the State of Oregon, by and through its Department of Transportation recorded January 19, 2000 as Instrument No. 200000793 Deed and Mortgage Records, which provides that no right of easement or right of access to, from or across the State Highway other than expressly therein provided for shall attach to the abutting property.
7. Easements, including terms and conditions contained therein to Lumbermen's of Washington, Inc. and Calkins Enterprises, Inc., their heirs, successors and assigns for utilities recorded January 21, 2000 as Instrument No. 200000866, Deed and Mortgage Records.
8. Easements, including terms and conditions contained therein to Lumbermen's of Washington, Inc. and Calkins Enterprises, Inc., their heirs, successors and assigns for utilities recorded January 21, 2000 as Instrument No. 200000867, Deed and Mortgage Records.
9. Easements, including terms and conditions contained therein to Lumbermen's of Washington, Inc. and Douglas A. Fry, his heirs, successors and assigns for utilities recorded January 21, 2000 as Instrument No. 200000868, Deed and Mortgage Records.
10. Easements, including terms and conditions contained therein to Douglas A. Fry and Calkins Enterprises, Inc., their heirs, successors and assigns for utilities recorded January 21, 2000 as Instrument No. 200000869, Deed and Mortgage Records.

11. Declaration of Deed Restriction for lot consolidation for planning and zoning purposes recorded March 21, 2012 as Instrument No. 201203586.

After recording return to:

Andrew Solomon
Perkins Coie LLP
1120 NW Couch St., 10th Fl.
Portland, Oregon 97209

This space reserved for recorder's use.

OFFICIAL YAMHILL COUNTY RECORDS
BRIAN VAN BERGEN, COUNTY CLERK

201301632



\$61.00

02/01/2013 1:27:56 PM

GRANTOR:

Goodwill Industries of the Columbia Willamette
1943 SE 6th Ave.
Portland, Oregon 97214

DMR-DDMR Cnt=1 Stn=2 ANITA
\$30.00 \$5.00 \$11.00 \$15.00

Until a change is requested, all tax statements shall
be sent to Grantee at the following address:

GRANTEE:

Goodwill Industries of the Columbia Willamette
1943 SE 6th Ave.
Portland, Oregon 97214

No Change

STATUTORY BARGAIN AND SALE DEED

Goodwill Industries of the Columbia Willamette, an Oregon non-profit corporation ("Grantor"), conveys to Goodwill Industries of the Columbia Willamette, an Oregon non-profit corporation ("Grantee"), (i) the parcel of real property in Yamhill County, Oregon, more particularly described on Exhibit A attached hereto and by this reference incorporated herein, and depicted on Exhibit B attached hereto and by this reference incorporated herein and (ii) the parcel of real property in Yamhill County, Oregon, more particularly described on Exhibit C attached hereto and by this reference incorporated herein, and depicted on Exhibit D attached hereto and by this reference incorporated herein (collectively, the "Parcels").

The true and actual consideration for this transfer in terms of dollars is \$0.00, but consists of other good and valuable consideration. The purpose of this deed is to place of record the new legal descriptions for the Parcels created pursuant to that certain Bargain and Sale Deed for Property Line Adjustment recorded in the official records of Yamhill County, Oregon on January __, 2013 with respect to the property described on Exhibits A and C.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

Dated January 28 2013

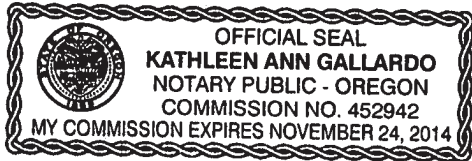
GRANTOR:

Goodwill Industries of the Columbia Willamette

By: Robert Barsocchini
Name: Robert BARSOCCHINI
Its: Gen. Counsel

STATE OF OREGON)
) ss.
COUNTY OF MULTNOMAH)

The foregoing instrument was acknowledged before me this 28 day of JANUARY, 2013 by ROBERT BARSOCCHINI as GENERAL COUNSEL of Goodwill Industries of the Columbia Willamette, an Oregon non-profit corporation, on behalf of said corporation.



Kathleen Gallardo
Notary Public for OREGON
My commission expires: NOV. 24, 2014

EXHIBIT A

Legal Description of North Parcel

LEGAL DESCRIPTION

Goodwill – Newberg (21196850)

Property line adjustment – North Resultant

December 17, 2012

Page 6 OF 9

A TRACT OF LAND LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN, CITY OF NEWBERG, YAMHILL COUNTY, OREGON BEING A PORTION OF PARCEL 1 OF DEED DOCUMENT NO. 2006-02168 AND DEED DOCUMENT NO. 2012-03586, YAMHILL COUNTY DEED RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "STUCKEY PLS 1447" LOCATED AT THE INTERSECTION OF ELLIOT STREET AND EAST HANCOCK STREET (60 FEET WIDE) MARKING THE CENTER OF DLC NO. 58; THENCE ALONG THE CENTERLINE OF SAID HANCOCK STREET, WEST, 1246.69 FEET; THENCE LEAVING SAID CENTERLINE, NORTH 00°14'30" EAST, 30.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SAID HANCOCK STREET, BEING THE SOUTHWEST CORNER OF SAID DEED DOC. NO. 2006-02168; THENCE ALONG THE WESTERLY LINE OF SAID DEED, NORTH 00°14'30" EAST, 244.91 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WESTERLY LINE, NORTH 00°14'30" EAST, 292.99 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 99 WEST (E. PORTLAND ROAD), PER ODOT MAP NO. 10B-11-3, (BEING 44.783 FEET SOUTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED PERPENDICULAR THERETO) AND A POINT OF NON-TANGENT CURVATURE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, ALONG THE ARC OF A 9469.54 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 01°29'01" (THE LONG CHORD OF WHICH BEARS NORTH 65°18'15" EAST, 245.19 FEET) AN ARC DISTANCE OF 245.20 FEET TO A POINT OF TANGENCY AT STATION 810+37.456 / 44.783 LEFT; THENCE NORTH 66°02'46" EAST, 14.25 FEET; THENCE LEAVING SAID SOUTHERLY RIGHT OF WAY LINE, ALONG THE EASTERLY LINE OF SAID DEED, SOUTH 00°14'30" WEST, 402.21 FEET; THENCE LEAVING SAID EASTERLY LINE NORTH 89°45'30" WEST, 235.33 FEET TO THE POINT OF BEGINNING.

CONTAINS 81,955 SQUARE FEET OR 1.881 ACRES MORE OR LESS.

EXHIBIT B

Depiction of North Parcel

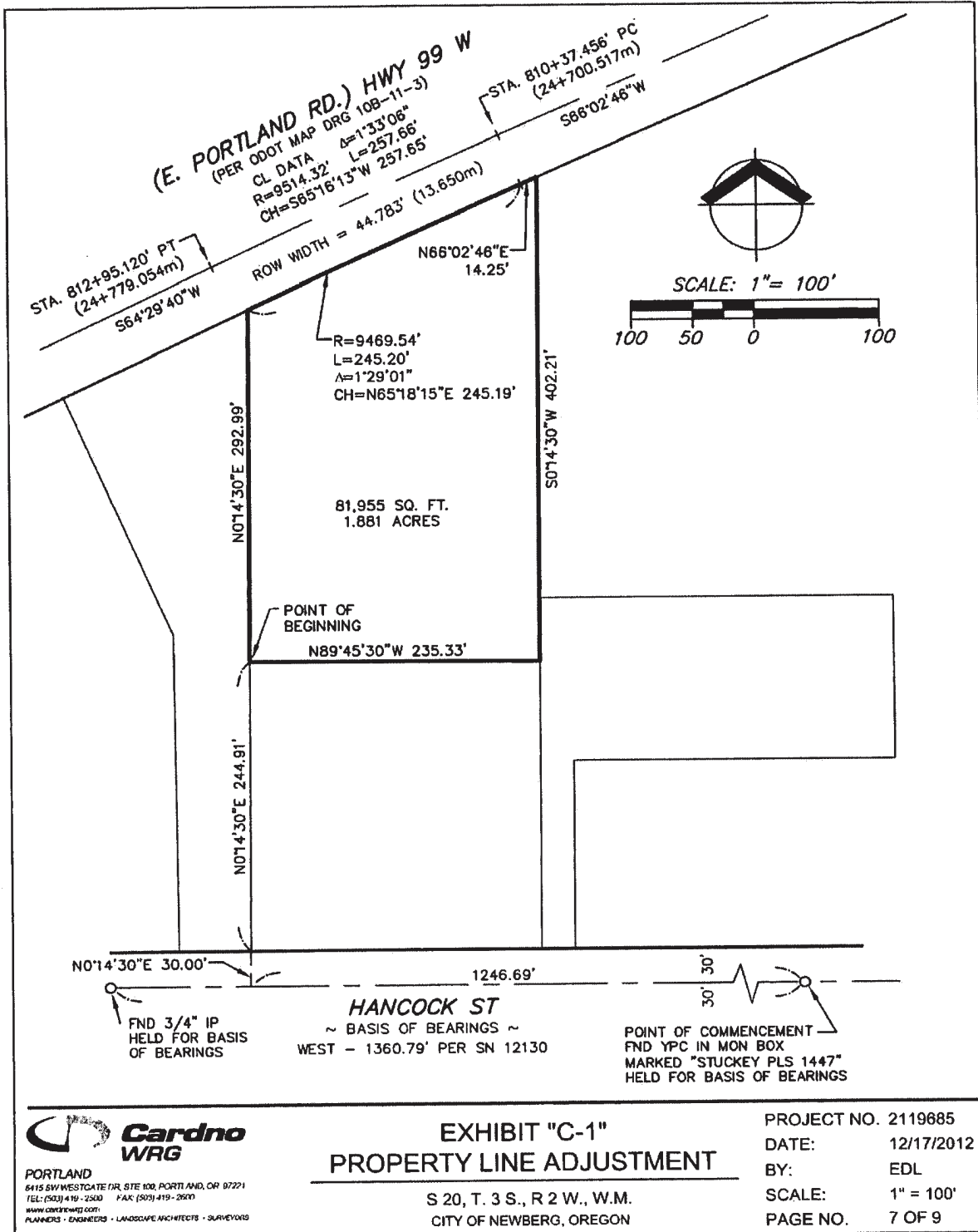


EXHIBIT C

Legal Description of South Parcel

LEGAL DESCRIPTION

Goodwill – Newberg (21196850)

Property line adjustment – South Resultant

December 17, 2012

Page 8 OF 9

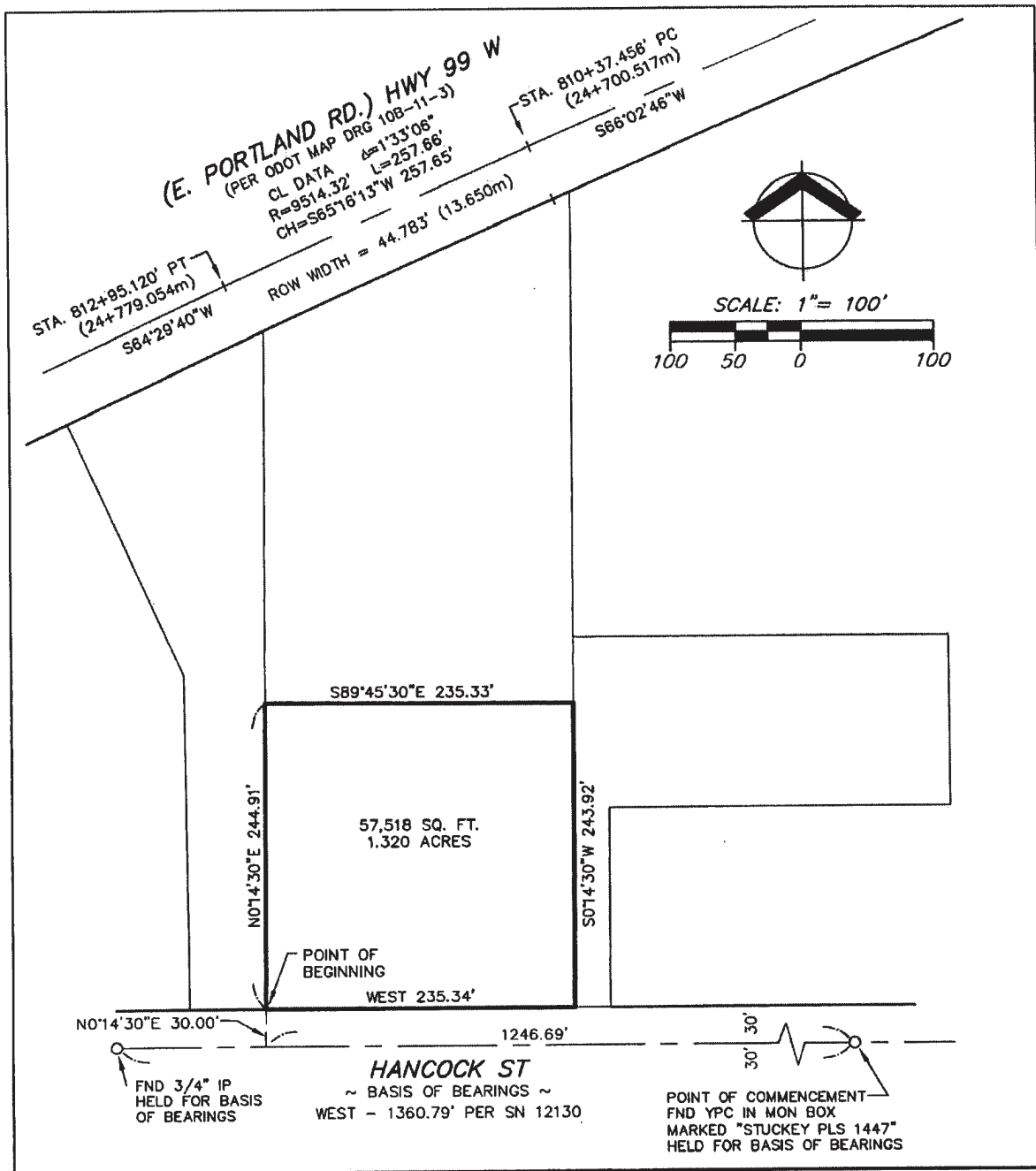
A TRACT OF LAND LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 20, TOWNSHIP 3 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN, CITY OF NEWBERG, YAMHILL COUNTY, OREGON BEING A PORTION OF PARCEL 1 OF DEED DOCUMENT NO. 2006-02168 AND DEED DOCUMENT NO. 2012-03586, YAMHILL COUNTY DEED RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "STUCKEY PLS 1447" LOCATED AT THE INTERSECTION OF ELLIOT STREET AND EAST HANCOCK STREET (60 FEET WIDE) MARKING THE CENTER OF DLC NO. 58; THENCE ALONG THE CENTERLINE OF SAID EAST HANCOCK STREET, WEST, 1246.69 FEET; THENCE LEAVING SAID CENTERLINE, NORTH 00°14'30" EAST, 30.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SAID HANCOCK STREET, BEING THE SOUTHWEST CORNER OF SAID DEED DOC. NO. 2006-02168 AND THE **POINT OF BEGINNING**; THENCE ALONG THE WESTERLY LINE OF SAID DEED, NORTH 00°14'30" EAST, 244.91 FEET; THENCE LEAVING SAID WESTERLY LINE, SOUTH 89°45'30" EAST, 235.33 FEET TO THE EASTERLY LINE OF SAID DEED; THENCE ALONG SAID EASTERLY LINE, SOUTH 00°14'30" WEST, 243.92 FEET TO SAID NORTHERLY RIGHT OF WAY LINE; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE, WEST, 235.34 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 57,518 SQUARE FEET OR 1.320 ACRES MORE OR LESS.

EXHIBIT D

Depiction of South Parcel



Cardno WRG
 PORTLAND
 6415 SW WESTGATE DR, STE 100, PORTLAND, OR 97221
 TEL: (503) 410-2500 FAX: (503) 410-2640
 WWW.CARDNOWRG.COM
 PLANNING • ENGINEERING • LANDSCAPE ARCHITECTURE • SURVEYING

EXHIBIT "D-1"
 PROPERTY LINE ADJUSTMENT

S 20, T. 3 S., R 2 W., W.M.
 CITY OF NEWBERG, OREGON

PROJECT NO. 2119685
 DATE: 12/17/2012
 BY: EDL
 SCALE: 1" = 100'
 PAGE NO. 9 OF 9

Preliminary Report

Fidelity National Title - Oregon
900 SW 5th Avenue, Portland, OR 97204

Escrow Officer: Paula Kingsley
Email: Paula.Kingsley@fnf.com
Phone: 503-222-2424
File No.: 45142214016

Property Address: 2251 E Hancock Street, Newberg, OR 97132

Introducing LiveLOOK

LiveLOOK title document delivery system is designed to provide 24/7 real-time access to all information related to a title insurance transaction.

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Fidelity National Title
Company of Oregon

PRELIMINARY REPORT

In response to the application for a policy of title insurance referenced herein Fidelity National Title Company of Oregon hereby reports that it is prepared to issue, or cause to be issued, as of the specified date, a policy or policies of title insurance describing the land and the estate or interest hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage of said policy or policies are set forth in Exhibit One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Fidelity National Title Insurance Company, a/an Florida corporation.

Please read the exceptions shown or referred to herein and the Exceptions and Exclusions set forth in Exhibit One of this report carefully. The Exceptions and Exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

This preliminary report is for the exclusive use of the parties to the contemplated transaction, and the Company does not have any liability to any third parties nor any liability until the full premium is paid and a policy is issued. Until all necessary documents are placed of record, the Company reserves the right to amend or supplement this preliminary report.

Countersigned

Karleen Huggins



Fidelity National Title

Company of Oregon

900 SW 5th Avenue, Portland, OR 97204
(503)222-2424 FAX (503)227-2274

PRELIMINARY REPORT

ESCROW OFFICER: Paula Kingsley
Paula.Kingsley@fnf.com
503-222-2424

ORDER NO.: 45142214016

TITLE OFFICER: Meg Clark Kilcoyne

TO: Fidelity National Title Company of Oregon
900 SW 5th Avenue
Portland, OR 97204

ESCROW LICENSE NO.: 901000243

OWNER/SELLER: Virginia Garcia Memorial Health Center, an Oregon nonprofit corporation

BUYER/BORROWER: TBD

PROPERTY ADDRESS: 2251 E Hancock Street, Newberg, OR 97132

EFFECTIVE DATE: December 15, 2022, 08:00 AM

1. THE POLICY AND ENDORSEMENTS TO BE ISSUED AND THE RELATED CHARGES ARE:

	<u>AMOUNT</u>	<u>PREMIUM</u>
ALTA Owner's Policy 2021 Owner's Standard	\$ TBD	\$ TBD
OTIRO Endorsement No. 110		\$ 0.00
Government Lien Search		\$ 25.00

2. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Goodwill Industries of the Columbia Willamette, an Oregon non-profit corporation

4. THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON, AND IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT "A"
Legal Description

A tract of land located in the Northeast one-quarter of Section 20, Township 3 South, Range 2 West, Willamette Meridian, City of Newberg, Yamhill County, Oregon, being a portion of Parcel 1 of Deed Document No. 2006-02168 and Deed Document No. 2012-03586, Yamhill County Deed Records, being more particularly described as follows:

Commencing at a 5/8 inch iron rod with a yellow plastic cap marked "Stuckey PLS 1447" located at the intersection of Elliot Street and East Hancock Street (60 feet wide) marking the center of Donation Land Claim No. 58; thence, along the centerline of said East Hancock Street, West 1246.69 feet; thence, leaving said centerline, North 00°14'30" East 30.00 feet to the Northerly right of way line of said Hancock Street, being the Southwest corner of said Deed Document No. 2006-02168 and the point of beginning; thence, along the Westerly line of said deed, North 00°14'30" East 244.91 feet; thence, leaving said Westerly line, South 89°45'30" East 235.33 feet to the Easterly line of said deed; thence, along said Easterly line, South 00°14'30" West 243.92 feet to said Northerly right of way line; thence, along said Northerly right of way line, West 235.34 feet to the point of beginning.

AS OF THE DATE OF THIS REPORT, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:

GENERAL EXCEPTIONS:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests or claims, which are not shown by the Public Records but which could be ascertained by an inspection of the Land or which may be asserted by persons in possession thereof.
3. Easements, or claims thereof, which are not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
5. Any lien, or right to a lien, for services, labor, material or equipment rental, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

SPECIFIC ITEMS AND EXCEPTIONS:

6. The subject property is under public, charitable, fraternal, or religious organization ownership and is exempt from ad valorem taxation. Any change in ownership prior to delivery of the assessment roll may result in tax liability.

Tax Account No.: [429003](#)

Map No.: R3220AB 00701

7. City Liens, if any, in favor of the City of Newberg.

A search of City of Newberg online lien records finds no record of the subjectr property. Please contact the City of Newberg to determine the status of any such liens.

8. Rights of the public to any portion of the Land lying within streets, roads and highways.
9. Utility Easement Agreement, including the terms and provisions thereof,

Recording Date: October 16, 1981

Recording No.: Film [Volume 165, Page 85](#)

10. Easement Agreement, including the terms and provisions thereof,

Recording Date: May 27, 1992

Recording No.: Film [Volume 269, Page 993](#)

11. Declaration of Access Easement, including the terms and provisions thereof,

Recording Date: February 1, 2013

[Recording No.: 201301634](#)

12. Existing leases and tenancies, if any, and any interests that may appear upon examination of such leases.

13. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Goodwill Industries of the Columbia Willamette

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

14. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.

ADDITIONAL REQUIREMENTS/NOTES:

- A. Note: No utility search has been made or will be made for water, sewer or storm drainage charges unless the City/Service District claims them as liens (i.e. foreclosable) and reflects them on its lien docket as of the date of closing. Buyers should check with the appropriate city bureau or water service district and obtain a billing cutoff. Such charges must be adjusted outside of escrow.
- B. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.
- C. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Virginia Garcia Memorial Health Center

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- D. Note: There are no matters against the party(ies) shown below which would appear as exceptions to coverage in a title insurance product:

Parties: Virginia Garcia Memorial Health Center, an Oregon non-profit corporation

- E. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, processing, manufacture, sale, dispensing or use of marijuana and psilocybin, the Company is not able to close or insure any transaction involving Land associated with these activities.

- F. Recording Charge (Per Document) is the following:

County	First Page	Each Additional Page
Yamhill	\$81.00	\$5.00

Note: When possible the company will record electronically. An additional charge of \$5.00 applies to each document which is recorded electronically.

Note: Please send any documents for recording to the following address:

Portland Title Group
Attn: Recorder
1433 SW 6th Ave.
Portland, OR. 97201

Please email your release to the following email address: or-ttc-yamhillrecording@ticortitle.com

- G. In addition to the standard policy exceptions, the exceptions enumerated above shall appear on the final ALTA Policy unless removed prior to issuance.
- H. THE FOLLOWING NOTICE IS REQUIRED BY STATE LAW: YOU WILL BE REVIEWING, APPROVING AND SIGNING IMPORTANT DOCUMENTS AT CLOSING. LEGAL CONSEQUENCES FOLLOW FROM THE SELECTION AND USE OF THESE DOCUMENTS. YOU MAY CONSULT AN ATTORNEY ABOUT THESE DOCUMENTS. YOU SHOULD CONSULT AN ATTORNEY IF YOU HAVE QUESTIONS OR CONCERNS ABOUT THE TRANSACTION OR ABOUT THE DOCUMENTS. IF YOU WISH TO REVIEW TRANSACTION DOCUMENTS THAT YOU HAVE NOT SEEN, PLEASE CONTACT THE ESCROW AGENT.
- I. Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

J. NOTE: IMPORTANT INFORMATION REGARDING PROPERTY TAX PAYMENTS

Fiscal Year:	July 1 st through June 30 th
Taxes become a lien on real property, but are not yet payable:	July 1 st
Taxes become certified and payable (approximately on this date):	October 15 th
First one third payment of taxes is due:	November 15 th
Second one third payment of taxes is due:	February 15 th
Final payment of taxes is due:	May 15 th

Discounts: If two thirds are paid by November 15th, a 2% discount will apply.
If the full amount of the taxes are paid by November 15th, a 3% discount will apply.

Interest: Interest accrues as of the 15th of each month based on any amount that is unpaid by the due date. No interest is charged if the minimum amount is paid according to the above mentioned payment schedule.

K. Note: If an Owner's Title Insurance Policy is requested, the State of Oregon requires every ALTA Owner's Policy (07-01-2021) to include the OTIRO 110 Endorsement as a supplement to the definition of Insured in said Owner's Policy's Conditions to confirm coverage is the same for an Oregon Registered Domestic Partner as it is for a Spouse.

EXHIBIT ONE
2021 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (07-01-2021)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
- b. any governmental forfeiture, police, regulatory, or national security power.
- c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant;
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or

- e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser or encumbrancer had been given for the Insured Mortgage at the Date of Policy.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business law.
5. Invalidity or unenforceability of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or Consumer Protection Law.
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction creating the lien of the Insured Mortgage is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the Insured Mortgage is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any reason not stated in the Covered Risk 13.b
7. Any claim of a PACA-PSA Trust. Exclusion 7 does not modify or limit the coverage provided under Covered Risk 8.
8. Any lien on the Title for real estate taxes or assessments imposed by a governmental authority and created or attaching between the Date of Policy and the date of recording of the Insured Mortgage in the Public Records. Exclusion 8 does not modify or limit the coverage provided under Covered Risk 2.b. or 11.b.
9. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
5. Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

2021 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (07-01-2021)
EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection;
- b. any governmental forfeiture, police, regulatory, or national security power
- c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
- Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.
2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed or agreed to by the Insured Claimant;
 - b. not known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;

- d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
- e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer, or
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 9.b.
5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
6. Any lien on the Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
5. Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

EXHIBIT ONE

2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;
 - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
 - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
 - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions or location of any improvement erected on the land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed or agreed to by the Insured Claimant;

- not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - a fraudulent conveyance or fraudulent transfer, or
 - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
 - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.



Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:

<http://www.fbi.gov>

Internet Crime Complaint Center:

<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective August 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888)714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice: Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information: Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 714-2710 or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

Attachment 2: Agency Comments



COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL

Brooks Bateman

The enclosed material has been referred to you for your information and comment. Any comments you wish to make should be returned to the Community Development Department prior to: Jan 5, 2023
Please refer questions and comments to: Ashley Smith

NOTE: Full size plans are available at the Community Development Department Office.

APPLICANT: Scott Edwards Architecture for Virginia Garcia Memorial Health Center
REQUEST: 9,024 square foot building expansion
SITE ADDRESS: 2251 E Hancock Street
LOCATION: N/A
TAX LOT: R3220AB 00500 and R3220AB 00702
FILE NO: DR222-0010/VAR22-0003
ZONE: C2 (Community Commercial)
HEARING DATE: N/A



Review Project Information here:

<https://www.newbergoregon.gov/planning/page/dr222-0010-var22-0003-virginia-garcia-memorial-health-center-office-expansion>

- Reviewed, no conflict.
- Reviewed; recommend denial for the following reasons:
- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)

[Signature]
Reviewed By:

12-22-22
Date:

BUILDING
Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

Doug Rux

The enclosed material has been referred to you for your information and comment. Any comments you wish to make should be returned to the Community Development Department prior to: Jan 5, 2023
Please refer questions and comments to: Ashley Smith

NOTE: Full size plans are available at the Community Development Department Office.

APPLICANT: Scott Edwards Architecture for Virginia Garcia Memorial Health Center
REQUEST: 9,024 square foot building expansion
SITE ADDRESS: 2251 E Hancock Street
LOCATION: N/A
TAX LOT: R3220AB 00500 and R3220AB 00702
FILE NO: DR222-0010/VAR22-0003
ZONE: C2 (Community Commercial)
HEARING DATE: N/A

1. Does the plaza have encroachment approval?
2. Need parking agreement approved by City Attorney
3. Need access easement over TL 3220AB-0071
4. Storage w.o. need separate permits
5. Appears areas where height exceeds .5 Foot candle at property line

Review Project Information here:

<https://www.newbergoregon.gov/planning/page/dr222-0010-var22-0003-virginia-garcia-memorial-health-center-office-expansion>

- Reviewed, no conflict.
- Reviewed; recommend denial for the following reasons:
- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)



Doug Rux
Reviewed By:

12/26/22
Date:

City of Newberg
Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

The enclosed material has been referred to you for your information and comment. Any comments you wish to make should be returned to the Community Development Department prior to: Jan 5, 2023
Please refer questions and comments to: Ashley Smith

NOTE: Full size plans are available at the Community Development Department Office.

APPLICANT: Scott Edwards Architecture for Virginia Garcia Memorial Health Center
REQUEST: 9,024 square foot building expansion
SITE ADDRESS: 2251 E Hancock Street
LOCATION: N/A
TAX LOT: R3220AB 00500 and R3220AB 00702
FILE NO: DR222-0010/VAR22-0003
ZONE: C2 (Community Commercial)
HEARING DATE: N/A

Review Project Information here:

<https://www.newbergoregon.gov/planning/page/dr222-0010-var22-0003-virginia-garcia-memorial-health-center-office-expansion>

Reviewed, no conflict.

Reviewed; recommend denial for the following reasons:

Require additional information to review. (Please list information required)

Meeting requested.

Comments. (Attach additional pages as needed)

Reviewed By:

Date:

Organization:

COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL



The enclosed material has been referred to you for your information and comment. Any comments you wish to make should be returned to the Community Development Department prior to: Jan 5, 2023
Please refer questions and comments to: Ashley Smith

NOTE: Full size plans are available at the Community Development Department Office.

APPLICANT: Scott Edwards Architecture for Virginia Garcia Memorial Health Center
REQUEST: 9,024 square foot building expansion
SITE ADDRESS: 2251 E Hancock Street
LOCATION: N/A
TAX LOT: R3220AB 00500 and R3220AB 00702 - *not listed*
FILE NO: DR222-0010/VAR22-0003
ZONE: C2 (Community Commercial)
HEARING DATE: N/A



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- Comments. (Attach additional pages as needed)

[Signature]
Reviewed By:

12/28/22
Date:

Finance
Organization:



COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL

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- Meeting requested.
- Comments. (Attach additional pages as needed)

J. Smith
Reviewed By:

12/30/2022
Date:

Newberg-Dundee Police Dept.
Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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12/22/22

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_____ Meeting requested.

_____ Comments. (Attach additional pages as needed)

*Amalgam separator is required for Dental offices per 40 CFR, Part 441, ORS 679.525, and NMC 13.10.090 E & F. Will need to install a new or re-install current amalgam separator in the dental offices.

Reviewed By:

Date:

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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12/22/22

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_____ Reviewed; recommend denial for the following reasons:

_____ Require additional information to review. (Please list information required)

_____ Meeting requested.

_____ Comments. (Attach additional pages as needed)

Public Utilities relocations and connections along with fees and costs to be approved by Public Works Engineering prior to construction

Reviewed By:

Date:

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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12/22/22

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Meeting requested.

Comments. (Attach additional pages as needed)

Reviewed By:

Date:

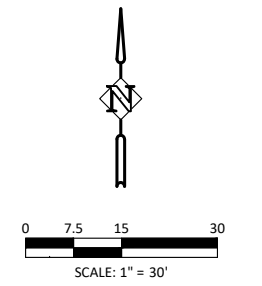
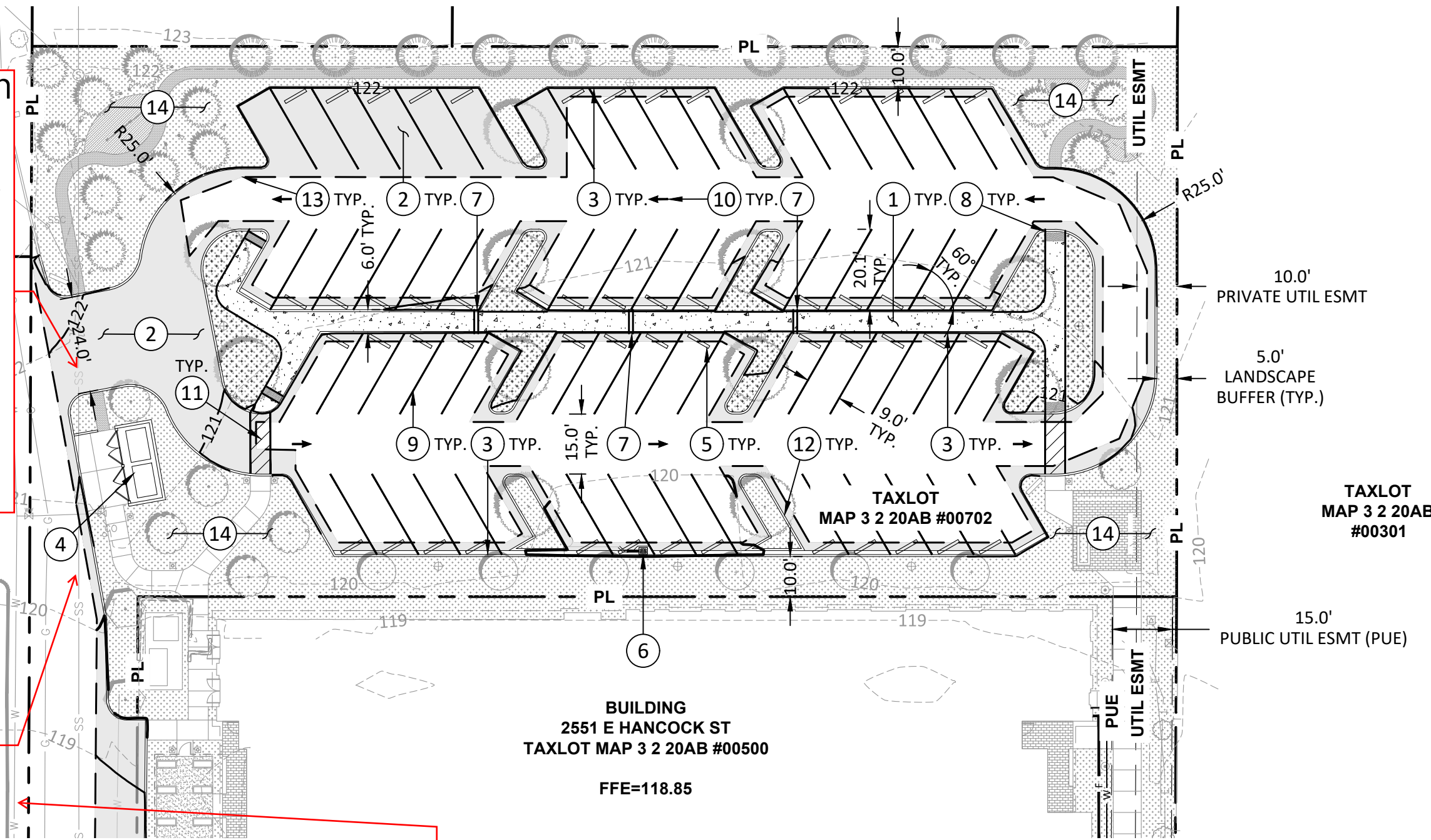
Organization:

Waster water main must be relocated in the drive lanes or Property owner takes owners and maintenance responsibilities of the Mainline from the Manhole to the north to the manhole in Hancock

This should be considered a large party lateral and be considered private however as of now we believe this line is the city's responsibility and there appears to be no easement

We must have an easement over the water main.

If Storm line needs to be made private



HBPR Harper Houf Peterson Righellis Inc.
ENGINEERS/PLANNERS
LANDSCAPE ARCHITECTS/SURVEYORS
205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hbpr.com fax: 503.221.1171



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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ZONE: C2 (Community Commercial)
HEARING DATE: N/A



12/22/2

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<https://www.newbergoregon.gov/planning/page/dr222-0010-var22-0003-virginia-garcia-memorial-health-center-office-expansion>

_____ Reviewed, no conflict.

_____ Reviewed; recommend denial for the following reasons:

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_____ Meeting requested.

_____ Comments. (Attach additional pages as needed)

Daniel L Wilson

Reviewed By:

Date:

Organization:

**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Kathy Johnson, Scott Edwards Architecture

Address: 2525 E. Burnside St., Portland, OR 97214

Phone: 503.896.5332

Email: kjohnson@seallp.com

Site Address: 2251 E. Hancock St., Newberg, OR 97132

City: Newberg, OR

Map & Tax Lot #: R32200AB 00702

Business Name: Virginia Garcia Memorial Health Center

Land Use/Building Jurisdiction: City of Newberg

Land Use/ Building Permit # DR222-0010/VAR22-0003

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description
Renovation of and 9,125 SF addition to existing medical and dental clinic.

Permit/Review Type (check one):

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
 - * Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2023-0011

Permit Type: SPP Newberg

Submittal Date: 1-20-23

Assigned To: DFM Arn

Due Date: NA

Fees Due: Ø

Fees Paid: Ø

Approval/Inspection Conditions
(For Fire Marshal's Office Use Only)

This section is for application approval only

[Signature] _____ Date _____
Fire Marshal or Designee

Conditions: See approved FS plans.

See Attached Conditions: Yes No

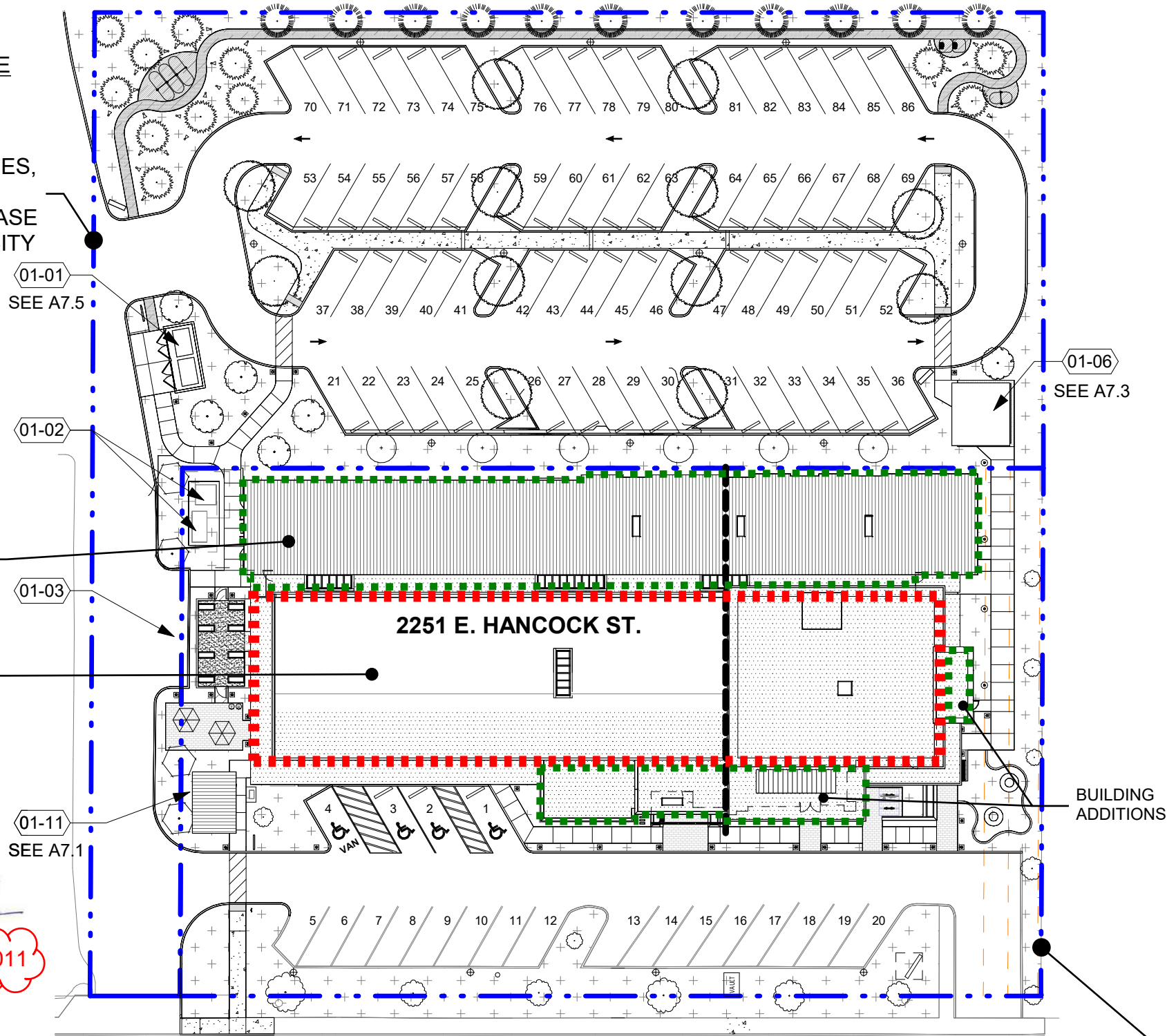
Site Inspection Required: Yes No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID _____ Date _____

NORTH PARKING SITE AND SHARED DRIVEWAY:
 LOT OWNED BY GOODWILL INDUSTRIES, LEASED TO VIRGINIA GARCIA. 30-YEAR LEASE UNDER REVIEW BY CITY OF NEWBERG



PARKING CALCULATION

3.5 PARKING SPACES PER 1,000 SF REQUIRED

TOTAL BUILDING AREA = 22,131 SF

22 X 3.5 = 77
 77 TOTAL SPACES REQUIRED

MAX PARKING SPACES ALLOWED = 1 1/5 x MINIMUM REQUIRED

77 X 1.2 = 92.4
 92 MAXIMUM SPACES ALLOWED

20 (E) + 66 = 86 PROVIDED

KEYNOTES 07-02

- 01-01 TRASH ENCLOSURE WITH ACCESS FROM SERVICE DRIVE
- 01-02 TRANSFORMER AND GENERATOR
- 01-03 LOADING BERTH
- 01-04 MONUMENT SIGN
- 01-05 DIRECTIONAL SIGNAGE
- 01-06 SITE ENTRY PAVILION
- 01-07 NEW CURB AND LANDSCAPING
- 01-08 COMMUNITY GARDEN BEDS
- 01-09 OUTDOOR SEATING AREA
- 01-10 MAILBOXES
- 01-11 LONG-TERM BIKE PARKING - 4 SPACES
- 01-12 ACCESSIBLE ROUTE
- 01-13 NEW PARKING AND STRIPING - SEE CIVIL
- 01-14 MAIN BUILDING ENTRY
- 01-16 KIDS' PLAY AREA
- 01-17 WATER FEATURE
- 01-19 SHORT-TERM BIKE PARKING - 4 SPACES
- 01-20 EXISTING PARKING TO REMAIN
- 01-21 EXISTING FIRE HYDRANT

BUILDING ADDITION

EXISTING BUILDING

BUILDING ADDITIONS



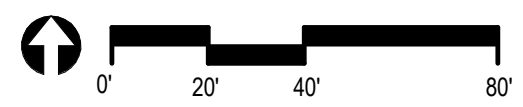
APPROVED PLANS
 APPROVAL OF PLANS IS NOT AN APPROVAL OF OMISSIONS OR OVERSIGHTS.

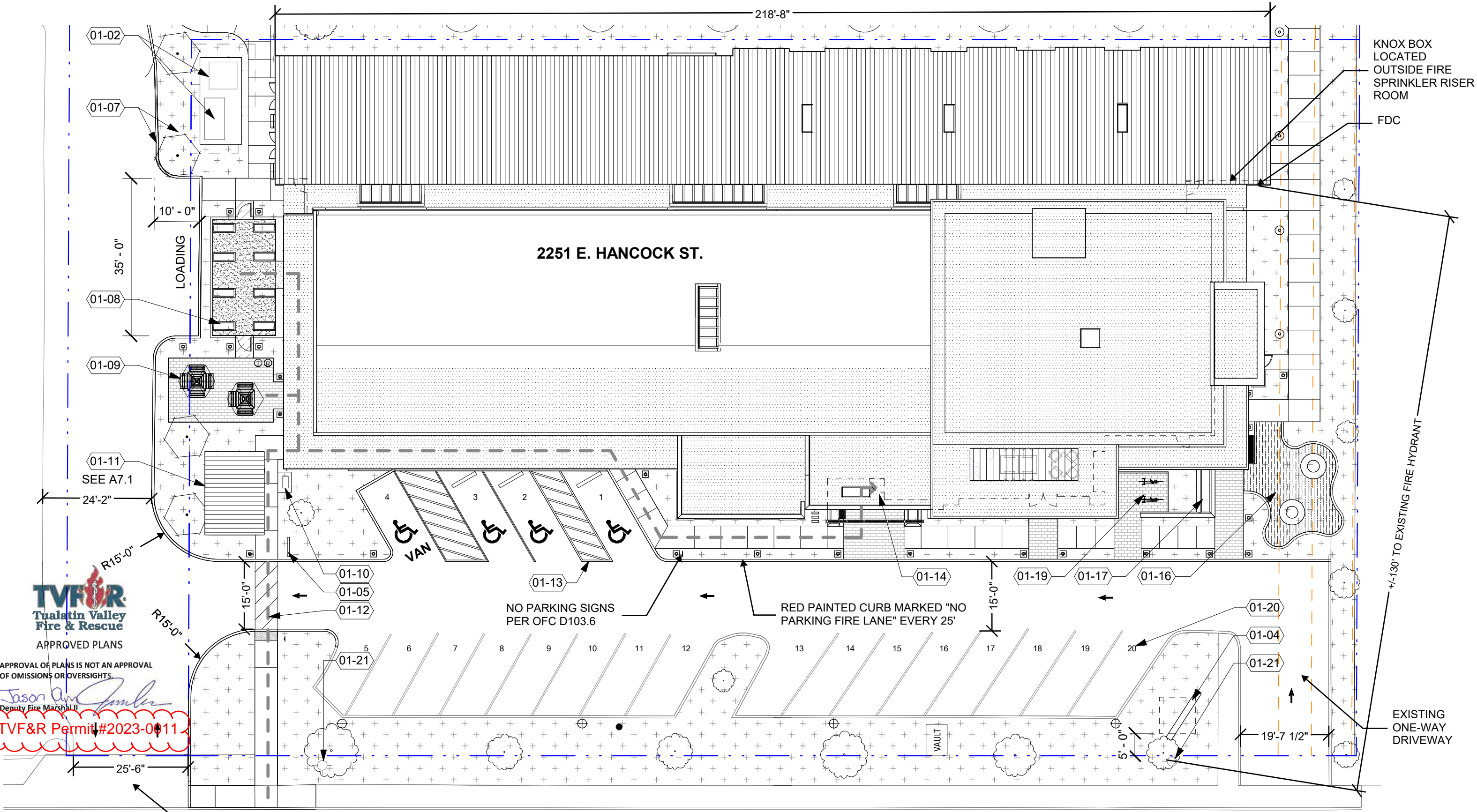
Jason Ann
 Deputy Fire Marshal II

TVF&R Permit #2023-0011

MAIN PROJECT SITE:
 LOT OWNED BY VIRGINIA GARCIA MEMORIAL HEALTH CENTER

E. HANCOCK ST.





APPROVED PLANS

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Jason A. [Signature]
Deputy Fire Marshal II

TVF&R Permit #2023-0011

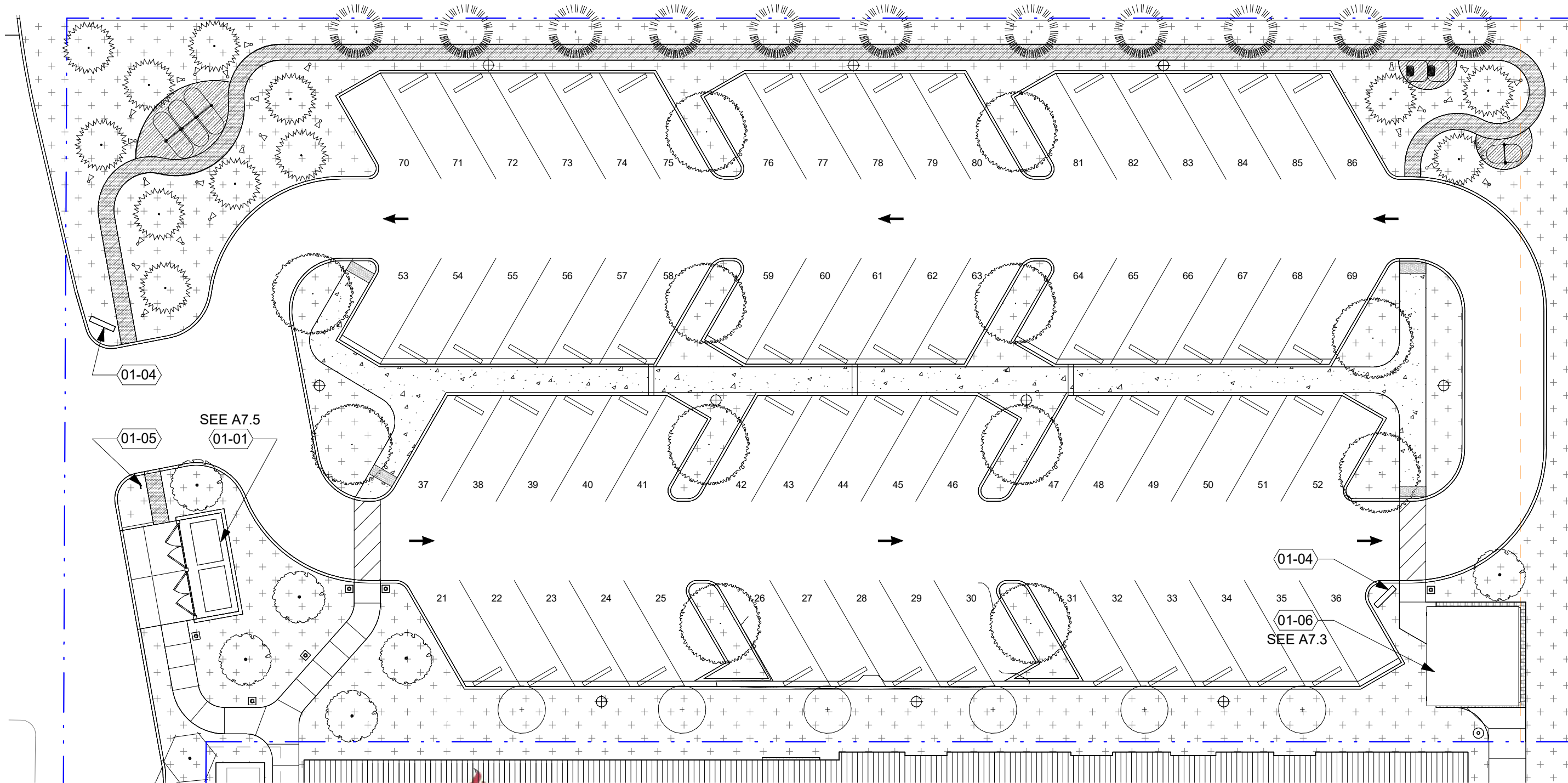
MAIN SITE PLAN
FS-2

EXISTING 2-WAY SHARED DRIVEWAY WITH IMPROVEMENTS PER CITY OF NEWBERG REQUIREMENTS



VIRGINIA GARCIA NEWBERG CLINIC
21162 01/20/22



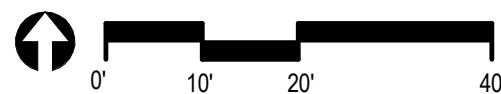


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Jason Ann Jambler
Deputy Fire Marshal II

TVF&R Permit #2023-0011

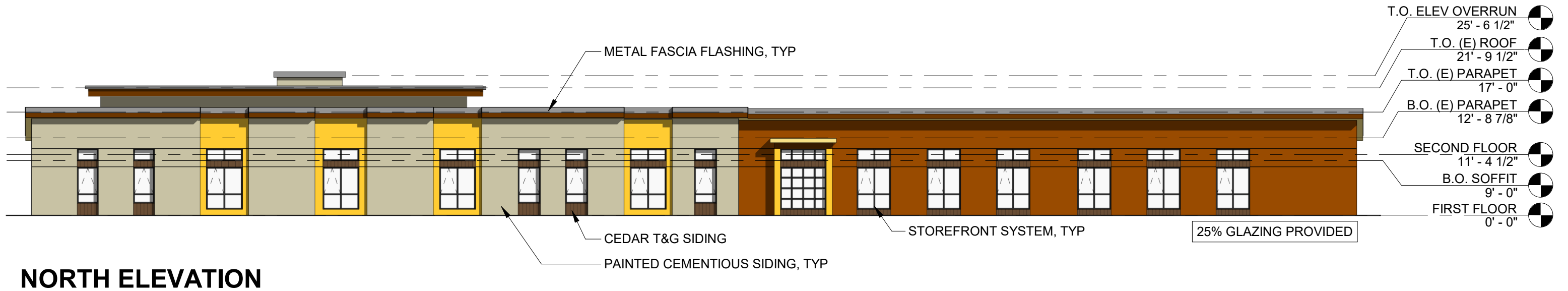


VIRGINIA GARCIA NEWBERG CLINIC

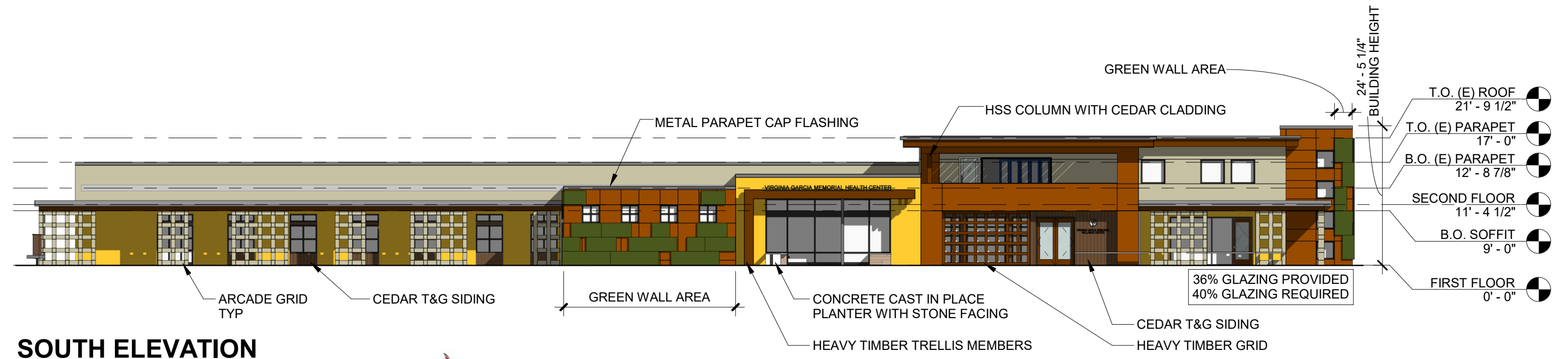
21162 01/20/22



NORTH PARKING LOT PLAN
FS-3



NORTH ELEVATION



SOUTH ELEVATION



APPROVED PLANS

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Jason Am...
Deputy Fire Marshal II

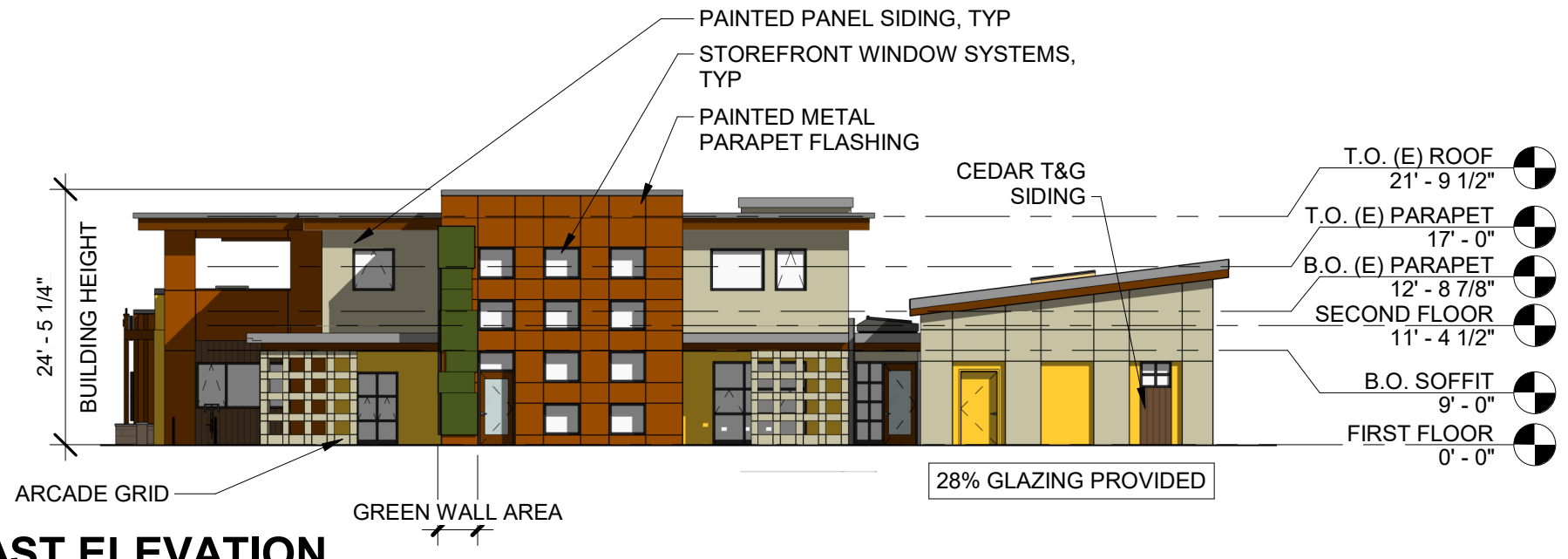
TVF&R Permit #2023-0011

NORTH & SOUTH ELEVATIONS
FS-4



VIRGINIA GARCIA NEWBERG CLINIC
21162 01/20/22





EAST ELEVATION

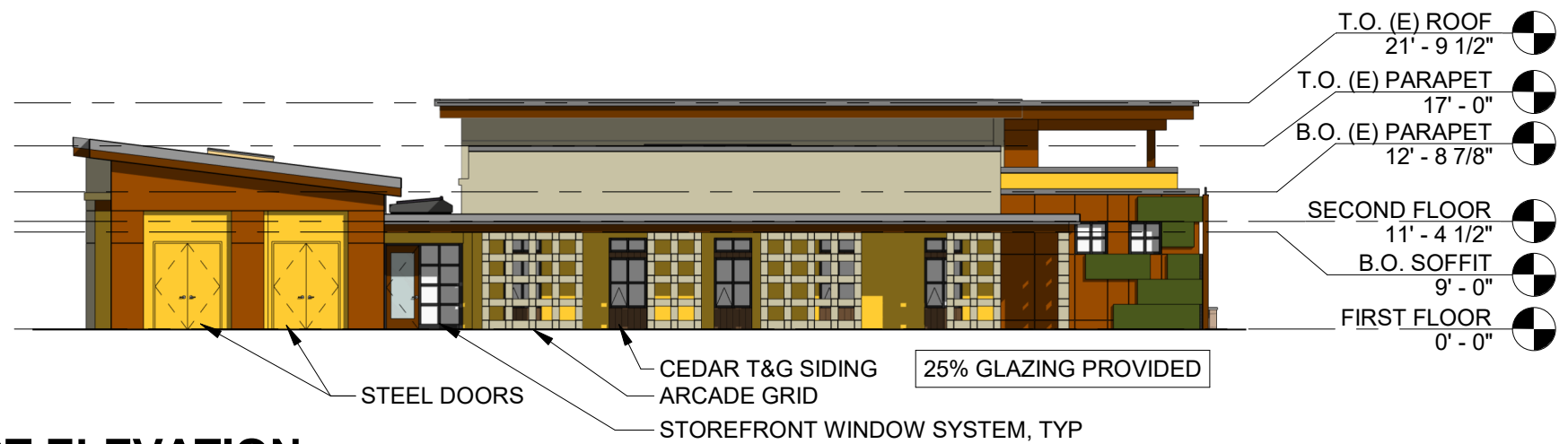


APPROVED PLANS

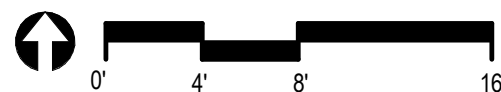
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Jason Am...
Deputy Fire Marshal II

TVF&R Permit #2023-0011



WEST ELEVATION





COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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- Comments. (Attach additional pages as needed)

Reviewed By:

Zipty Fiber - Scott Albert Network Engineer

Organization:

12/22/22

Date: