



# TYPE II APPLICATION – LAND USE

File #: DR222-0008

**TYPES – PLEASE CHECK ONE:**

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance
- Other: (Explain) \_\_\_\_\_

**APPLICANT INFORMATION:**

APPLICANT: Veritas School attn: Drew Ackerlund  
 ADDRESS: 26288 NE Bell Road Newberg OR 97132  
 EMAIL ADDRESS: drewackerlund@gmail.com or dackerlund@veritasschool.net  
 PHONE: 503-730-0930 MOBILE: 503-730-0930 FAX: \_\_\_\_\_  
 OWNER (if different from above): Veritas School PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 ENGINEER/SURVEYOR: Blazer Industries PHONE: 503-749-19020  
 ADDRESS: 945 Olney St Aumsville OR 97325

**GENERAL INFORMATION:**

PROJECT NAME: Phase 3.1 Classroom PROJECT LOCATION: on existing campus  
 PROJECT DESCRIPTION/USE: Set a pre fabricated building on site PROJECT VALUATION: 175,000  
 MAP/TAX LOT NO. (i.e. 3200AB-400): R3208-02702 ZONE: R1 SITE SIZE: 5acre SQ. FT.  ACRE   
 COMP PLAN DESIGNATION: \_\_\_\_\_ TOPOGRAPHY: Flat Building Site  
 CURRENT USE: School campus  
 SURROUNDING USES:  
 NORTH: Church SOUTH: Church  
 EAST: Residential WEST: Church / Residential

**SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED**

General Checklist:  Fees  Public Notice Information  Current Title Report  Written Criteria Response  Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

- Design Review .....p. 12
- Partition Tentative Plat .....p. 14
- Subdivision Tentative Plat .....p. 17
- Variance Checklist .....p. 20

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

Drew Ackerlund 7.22.22  
 Applicant Signature Date  
Drew Ackerlund  
 Print Name

Veritas School 7.22.22  
 Owner Signature Date  
Veritas School  
 Print Name



# PERMIT APPLICATION

www.newbergoregon.gov

trakit.newbergoregon.gov/etrakit

## Site Information

Business | Project Name: Veritas School

Site Address: 26288 NE Bell Road Newberg OR 97132

House Sq. Ft. \_\_\_\_\_ x \$150.87 = \$ \_\_\_\_\_ Garage Sq. Ft. \_\_\_\_\_ x \$60.43 = \$ \_\_\_\_\_

Porch | Patio | Deck Sq. Ft. \_\_\_\_\_ x \$30.22 = \$ \_\_\_\_\_ Est. Valuation: \$173,000

New  Alteration |  Single Family ( Backflow Included)  Multi-Family  Commercial / Industrial

## Project Description

Pre-fabricated Modular Classroom Building

*Grading Permit  
less than 50 cubic yards*

## Owner Information

Owner Name: Veritas School attn Drew Ackerlund

Mailing Address: 26288 NE Bell Road

City/State/Zip: Newberg OR 97132

Cell: 503-730-0930

Phone: 503-730-0930

Email: drewackerlund@gmail.com

## Architect | Engineer | Designer | Who Drew the Plans Information

Business Name: Blazer Industries

Email: james@blazerind.com

Mailing Address: PO 489

City/State/Zip: Aumsville OR 97325

Cell / Phone: 503-749-1900

License: OR19300PE

Expiration Date: 6/30/2023

## Building | General Contractor Information

Business Name: Blazer Industries

Email: james@blazerind.com

Mailing Address: PO 489

City/State/Zip: Aumsville OR 97325

Cell / Phone: 503-749-1900

CCB: 50106

Expiration Date: 3/4/23

## Mechanical Contractor Information

Commercial Valuation: \$ NA

Business Name: Blazer Industries

Email: james@blazerind.com

Mailing Address: PO 489

City/State/Zip: Aumsville OR 97325

Cell / Phone: 503-749-1900

CCB: 50106

Expiration Date: 3/4/23

## Plumbing | Landscape Contractor Information

Business Name: No plumbing

Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Cell / Phone: \_\_\_\_\_

CCB | LCB: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

## Applicant Information

Owner

Architect

Contractor

Other - complete form below\*

Signature: *Drew Ackerlund*

Print: Drew Ackerlund

Date: 7/22/22

\*Business Name: Veritas School

\*Email: drewackerlund@gmail.com dackerlund@veritasschool.net

\*Mailing Address: 26288 NE Bell Rd Newberg OR 97132

\*Cell / Phone: 503-730-0930

Office Use Only—Permit #:

**Veritas School**  
**26288 NE Bell Road, Newberg, OR 97132**  
**Lot #R3208-02702**

Subject: Applicant response to design review criteria required by Newberg Director of Community Development, Doug Rux to grant Veritas School, a private not-for-profit Christian school, a structural permit to move a State of Oregon approved pre-fabricated classroom building onto the existing Veritas School campus as part of the phased development of Veritas School despite having fulfilled this same process in 2019.

1. Design Compatibility.
  - a. Pursuant to the 2003 County Use Permit for the school, 2003 Development Agreement between NVFC and the City, which is enforceable and runs with the land, the 2009 vested rights determination by Yamhill County, and ongoing development work to site the school on the property, Veritas has the right to place an additional modular building, as part of its ongoing phased development without the need to obtain land use approval from the City.
  - b. This is a prefabricated building. It is manufactured by Blazer Industries and is an Oregon approved prefabricated design. It is 28' x 64', the same as 5 of the existing 7 buildings on the campus of Veritas. It is a classroom building used for classroom instruction. It will be installed over a gravel pad and, like the 7 other buildings on campus, it will not have a permanent foundation.
2. Parking and On-site Circulation.
  - a. Parking and On-site Circulation will not change. The new classroom will not alter the existing use of the parking lot nor alter the school's current off street parking and on site circulation.
3. Setbacks and General Requirements.
  - a. All setbacks for the new classroom are greater than 25 feet from every boundary line of any property bordering Veritas Lot R3208-02702.
4. Landscaping Requirements.
  - a. This new classroom does not alter the existing landscape components on the Veritas School campus.
5. Signs.
  - a. Not Applicable. Except for the typical classroom signage indicating the classroom number and teacher name, no signs are planned.
6. Manufactured Dwelling, Mobile Home and RV Parks.
  - a. Not Applicable.
7. Zoning District Compliance.
  - a. Veritas School lot R3208-02702 is zoned R1, permitted in the zoning use table 15.305.020. This new Classroom is a planned school structure and will not alter the current use of the property except to allow students to enjoy a larger choir practice room compared to the current choir room.
8. Sub district Compliance.
  - a. Not Applicable .
9. Alternate Circulation, Roadway Frontage Improvements and Utility Improvements.
  - a. Veritas School has previously accomplished required Alternative Circulation, Roadway Frontage Improvements and Utility Improvements.

10. Traffic Study Improvements.

- a. This new Classroom does not change the current use of the property and is not associated with additional traffic that would impact the public right of way.

Hello Ashley,

Thank you for your May 3, 2022 email outline of permitting history for Veritas School 26288 NE Bell Rd.

Sorry for the delayed response but your comments gave us pause to consider just what is the city's misunderstanding with our Land Use.

Pursuant to the 2003 County Use Permit for the school, 2003 Development Agreement between NVFC and the City, *which is enforceable and runs with the land*, the 2009 vested rights determination by Yamhill County, and the ongoing development work to site the school on the property, Veritas has the right to place an additional modular building, as part of its ongoing phased development without the need to obtain land use approval from the City.

When the entire campus was moved in 2017 *without obtaining a land use approval* because land use approval had already been granted for our property in 2003. It was also, in hindsight, fallacious of the city to require a Type II Land Use Application from Veritas in 2019 when we applied for building permits to construct the covered play area that is one our property. Clearly we did not change our land use in 2019 by phasing development of a covered play area...this is a component of every modern school campus. We should have informed you that land use approval was not necessary as the covered play area was part of the 2003 CUP.

Neither the covered play area, the Phase 3.2 new classroom (planned) nor the final building projected as Phase 3.2 are designed to change the land use for Veritas School. This additional classroom will not cause enrollment to go beyond the 300-student approval Veritas received from the County in 2003.

## Veritas School Phase 3.1 Site Development Plan

Response/Summary: Description of Site Development Required for Type II Design Review of Phase 3.1:  
28 ft x 64 ft Pre Fabricated Modular Classroom Building

1. Existing Site Features: Phase 3.1 will not disturb existing landscaping, grades, slopes, wetlands and structures on the site. Phase 3.1 is a standalone prefabricated modular building that is set upon a non-permanent foundation according to State code regulations for Modular Buildings. The location/footprint is currently a graveled area on the southeast portion of the school campus.
2. Drainage and Grading: All drainage aspects have been addressed and approved by the City of Newberg engineering department and were included in Design Review DR219-0002 and implemented in NSTR19-0165. All aspects of drainage, parking lot drainage, size and location of storm drain lines, retention or detention facilities, and the preliminary storm water report are attached to DR219-0002 and are fulfilled.

The 28 ft x 64 ft Pre Fabricated Modular Classroom Building grading is minimal. Less than 50 cu yards estimated for the gravel pad.

3. Utilities: There are no changes in the location of private or public utilities on site for this additional classroom. The classroom has no water or sewage hookup. There are no overhead utilities planned. Electrical service is permitted by Yamhill County.
4. Public Improvements: All public improvements have been designed, approved and previously developed. The Phase 3.1 Pre Fabricated Modular Classroom Building does not require any additional public improvements.
5. Access, Parking and Circulation: All access, parking and circulation improvements have been designed, approved and previously developed. The Phase 3.1 Pre Fabricated Modular Classroom Building does not require any changes in access, parking or circulation. Overflow parking, should it be required, is accomplished by agreement with NVFC (Joint Use Agreement, Section 10, dated November 23, 2004)
6. Site Features: See Site Plan. Phase 3.1 Pre Fabricated Modular Classroom Building does not impact or change existing site features.
7. Exterior Lighting Plan: The Phase 3.1 Pre Fabricated Modular Classroom Building comes from the factory with all exterior lighting installed on the building per code meeting or exceeding NMC Chapter 15.425.
8. Landscaping Plan: Approximately 50,800 sf of the site is currently landscaped. This square footage amount is considerably greater than required by NMC 15.420.010(B)(1). The pad site

for Phase 3.1 Pre Fabricated Modular Classroom Building is currently not landscaped. The Phase 3.1 Pre Fabricated Modular Classroom Building exterior front area is planned to continue same or similar shrub and landscaping design components (see Veritas School plant & pruning guide). A drip irrigation system serves the landscaped areas.

9. ADA Plan Compliance: Veritas School has a prescribed accessible parking area, accessible routes campus wide and ramp access to all buildings. The Phase 3.1 Pre Fabricated Modular Classroom Building will be connected to an existing path and ramp system. See Ramp Schedule.
10. Architectural Drawings: Presented previously. With regard to installation: the installation of the Phase 3.1 Pre Fabricated Modular Classroom Building will follow manufactured dwelling installations, support, and tie-down requirements adopted under ORS [446.230](#) by Pacific Mobile Structures CCB 50832.
11. Signs and Graphics: Not Applicable
12. Other: Not Applicable



**First American**

**First American Title Insurance Company**

775 NE Evans Street  
McMinnville, OR 97128  
Phn - (503)376-7363  
Fax - (866)800-7294

**YAMHILL COUNTY TITLE UNIT**

FAX (866)800-7294

Title Officer: Larry Ball  
(503)376-7363  
lball@firstam.com

**LOT BOOK SERVICE**

Veritas School  
26288 NE Bell Road  
Newberg, OR 97132

Order No.: 1039-3955830  
July 19, 2022

Attn: Drew Ackerlund  
Phone No.: 503-390-0930 - Fax No.:  
Email:

Re: 1230 NE Bell Road aka 26288 NE Bell Road

Fee: N/C

We have searched our Tract Indices as to the following described property:

The land referred to in this report is described in Exhibit A attached hereto.

and as of 07/15/2022 at 8:00 a.m.

We find that the last deed of record runs to

Veritas School, an Oregon non-profit corporation

We find the following apparent encumbrances within ten (10) years prior to the effective date hereof:

1. Taxes for the fiscal year 2022-2023 a lien due, but not yet payable.
2. Subject property is under public ownership and is tax exempt. Any change in ownership before delivery of assessment roll may result in tax liability. Account No. 529351.
3. Development Agreement and the terms and conditions thereof:  
Between: North Valley Friends Church  
And: City of Newberg, an Oregon municipal corporation  
Recording Information: June 16, 2003 as Instrument No. 200314309, Deed and Mortgage Records

4. Reciprocal Easement and Maintenance Agreement and the terms and conditions thereof:  
 Between: North Valley Friends Church  
 And: Veritas School, an Oregon nonprofit corporation  
 Recording Information: December 17, 2004 as Instrument No. 200425601, Deed and Mortgage Records
  
5. Right of First Refusal between Veritas School and North Valley Friends Church, including terms and provisions thereof.  
 Recorded: December 17, 2004 as Instrument No. 200425603
  
6. Easement, including terms and provisions contained therein:  
 Recording Information: September 24, 2013 as Instrument No. 201315144, Deed and Mortgage Records  
 In Favor of: City of Newberg, a municipal corporation  
 For: A public sanitary sewer line and/or a public water line
  
7. Deed of Trust and the terms and conditions thereof.  
 Grantor/Trustor: Veritas School, an Oregon non-profit corporation  
 Grantee/Beneficiary: First Federal Savings & Loan Association of McMinnville  
 Trustee: David C Haugeberg  
 Amount: \$750,000.00  
 Recorded: May 18, 2017  
 Recording Information: Instrument No. 201708124, Deed and Mortgage Records

**Note: This Deed of Trust contains Line of Credit privileges.** If the current balance owing on said obligation is to be paid in full in the forthcoming transaction, confirmation should be made that the beneficiary will issue a proper request for full reconveyance.

Modification and/or amendment by instrument:

Recording Information: April 30, 2018 as Instrument No. 201806111, Deed and Mortgage Records

8. Assignment of leases and/or rents and the terms and conditions thereof:  
 Assignor: Veritas School, an Oregon non-profit corporation  
 Assignee: First Federal Savings & Loan Association of McMinnville  
 Recorded: May 18, 2017  
 Recording Information: Instrument No. 201708125, Deed and Mortgage Records
  
9. Financing Statement, indicating a Security Agreement  
 Debtor: Veritas School  
 Secured Party: First Federal Savings & Loan Association  
 Recorded: May 18, 2017  
 Recording Information: Instrument No. 201708126, Deed and Mortgage Records

We have also searched our General Index for Judgments and State and Federal Liens against the Grantee(s) named above and find:

NONE

We find the following unpaid taxes and city liens: NONE



NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount:	EXEMPT
Map No.:	R3208 02702
Property ID:	529351
Tax Code No.:	29.0

THIS IS NOT a title report since no examination has been made of the title to the above described property. Our search for apparent encumbrances was limited to our Tract Indices, and therefore above listings do not include additional matters which might have been disclosed by an examination of the record title. We assume no liability in connection with this Lot Book Service and will not be responsible for errors or omissions therein. The charge for this service will not include supplemental reports, rechecks or other services.

**Exhibit "A"**

Real property in the County of Yamhill, State of Oregon, described as follows:

A TRACT OF LAND IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN IN YAMHILL COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT IS SOUTH 80 RODS (1320.00 FEET) AND EAST 116 RODS (1914.00 FEET) FROM THE NORTHWEST CORNER OF THE WILLIAM T. WALLACE DONATION LAND CLAIM NO. 47; THENCE NORTH 465.46 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 422.17 FEET; THENCE NORTH 89°56'45" WEST 515.74 FEET; THENCE SOUTH 422.17 FEET; THENCE SOUTH 89°56'45" EAST 515.74 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH A RECIPROCAL EASEMENT AND MAINTENANCE AGREEMENT RECORDED DECEMBER 17, 2004 AS INSTRUMENT NO. 200425601, DEED AND MORTGAGE RECORDS, YAMHILL COUNTY, OREGON.



*First American*

First American Title Insurance Company  
775 NE Evans Street  
McMinnville, OR 97128

### **Illegal Restrictive Covenants**

Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.



## Community Development Department

P.O. Box 970 • 414 E First Street • Newberg, Oregon 97132  
503-537-1240. Fax 503-537-1272 [www.newbergoregon.gov](http://www.newbergoregon.gov)

### WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to place a 28' x 64' prefabricated classroom building on the Veritas School campus. You are invited to take part in the City's review of this project by sending in your written comments. For more details about giving comments, please see the back of this sheet.

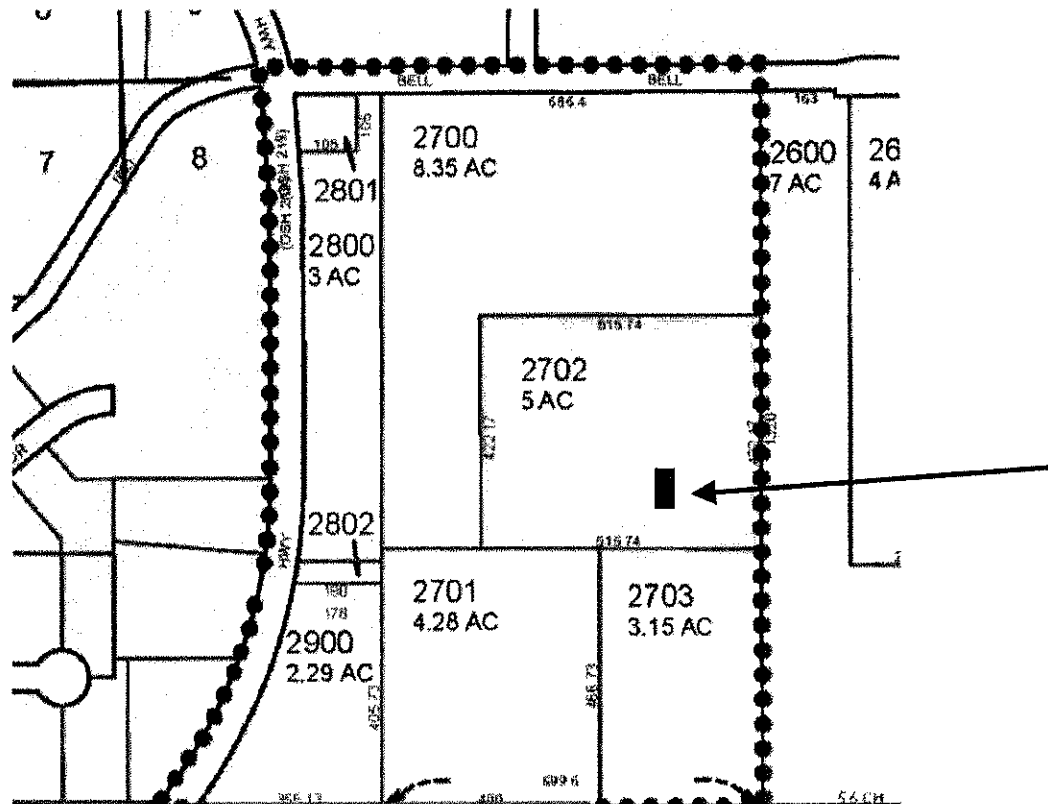
The project would put a new two-classroom building on the Veritas School campus. The building is a prefabricated modular structure similar to the existing campus buildings. The project involves some additional landscaping,

APPLICANT: *Veritas School*  
TELEPHONE: *503-538-1962*

PROPERTY OWNER: *Veritas School*

LOCATION: *26288 NE Bell Road, Newberg OR 97132*

TAX LOT NUMBER: *Yamhill County Tax Map R3208-02702*



*Working Together For A Better Community-Serious About Service"*

C:\Users\drewal\Downloads\type\_jr\_mailed\_notice\_-\_design\_review\_2022\_map.docx

We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

Written Comments: File No. **NSTR22-0076**  
City of Newberg  
Community Development Department  
PO Box 970  
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on **enter date two weeks from date you mailed notice**. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***Date notice is mailed***

**CITY OF NEWBERG  
Land Use Notice**

**FILE # tbd**

**PROPOSAL: To set a new Modular Classroom on existing school property.**

**FOR FURTHER INFORMATION, CONTACT:**

**City of Newberg**

**Community Development Department**

**414 E First Street**

**Phone: 503-537-1240**

R3208 02601  
John & Troy Rutten  
26530 NE Bell Rd  
Newberg, OR 97132

R3208 02400  
Somerset Ventures Iii Llc  
Po Box 1060  
Newberg, OR 97132

R3208 02490  
Rain Dance Ranch Llamas Llc  
Po Box 1060  
Newberg, OR 97132

R3208 02703  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3208 02702  
Veritas School  
26288 NE Bell Rd  
Newberg, OR 97132

R3208 02600  
Curt Wilson  
26450 NE Bell Rd  
Newberg, OR 97132

R3208 02500  
Mark Wanker  
21373 SW Johnson Rd  
West Linn, OR 97068

R3205 02301  
Chehalem Valley Baptist Church  
26155 NE Bell Rd  
Newberg, OR 97132

R3208 02700  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3208 02801  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3207AA 00100  
Newberg Gospel Chapel Inc  
4301 N College St  
Newberg, OR 97132

R3205 02401  
Rain Dance Ranch Llamas Llc  
Po Box 1060  
Newberg, OR 97132

R3208BC 00207  
Eric & Colleen Hemmer  
1115 E Madison Dr  
Newberg, OR 97132

R3208 03200  
Somerset Ventures Iv Llc  
Po Box 1060  
Newberg, OR 97132

R3208 02802  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3208BC 00209  
Jones Jeffery D Trustee & Jones Heidi L  
17305 NE Leander Dr  
Sherwood, OR 97140

R3208 02701  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3208BC 00208  
James & Melinda Allison  
1125 E Madison Dr  
Newberg, OR 97132

R3207AA 00200  
Debralyn Evans  
4009 N College St  
Newberg, OR 97132

R3207AA 00300  
Lawrence Joholske & Sandra Stone  
3993 N College St  
Newberg, OR 97132

R3208BC 00210  
Jeremy & Rosann Johnson  
1215 E Madison Dr  
Newberg, OR 97132

R3208BC 00211  
Gregory & Elizabeth Woolsey  
1225 E Madison Dr  
Newberg, OR 97132

R3208 02800  
North Valley Friends Church  
4020 N College St  
Newberg, OR 97132

R3208BC 00206  
Nancy & Edward Macy  
1101 E Madison Dr  
Newberg, OR 97132

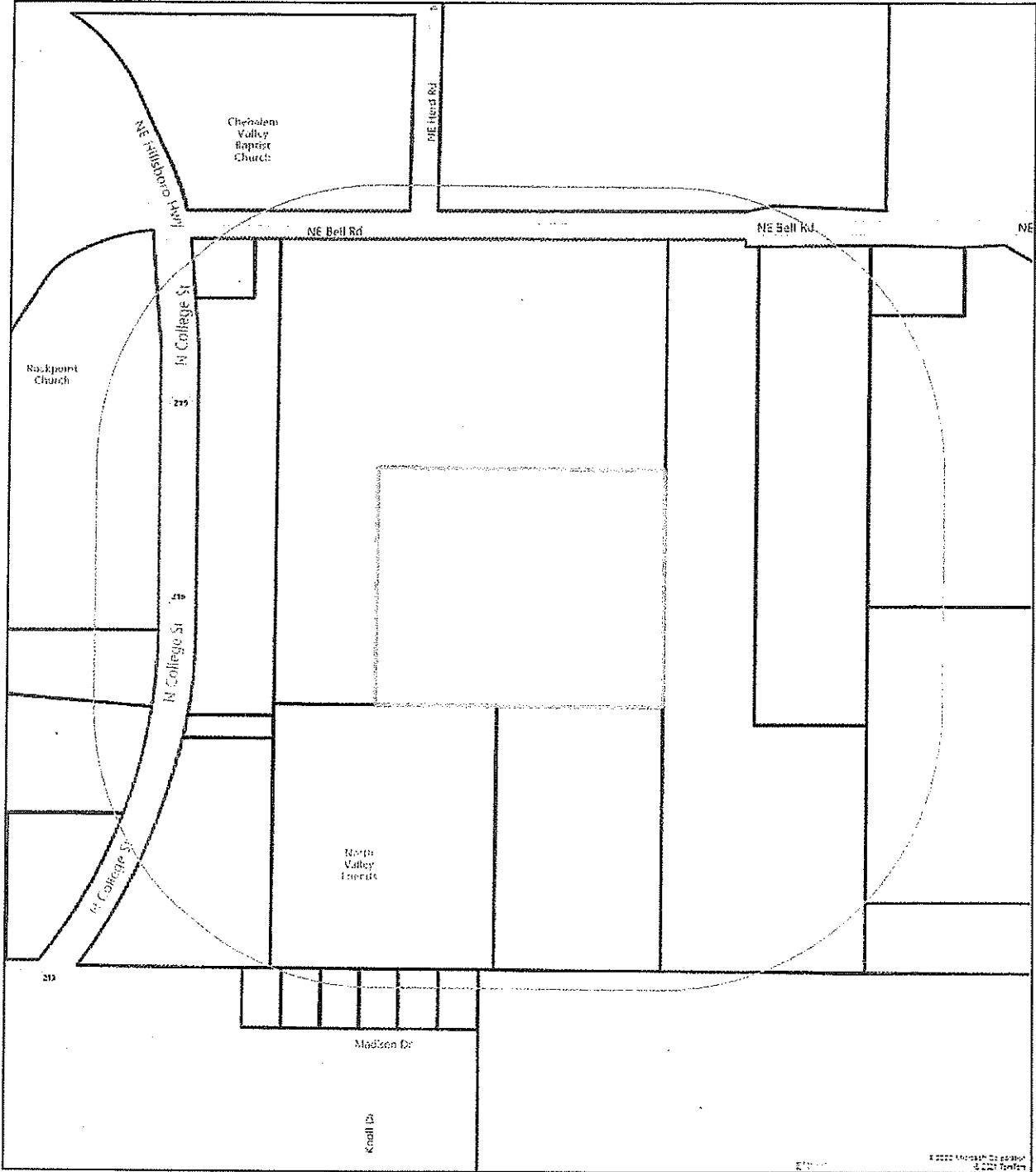
R3208 02900  
Rourke Development Llc  
1201 E Fulton St UNIT 13  
Mcminville, OR 97128

R3207AA 00400  
Jerry & Marie Brown  
1180 SW 9th St  
Dundee, OR 97115



# 500 ft Buffer

1230 NE Bell Rd, Newberg, OR 97132  
Report Generated: 7/20/2022



The present data and maps are intended for informational purposes only. Some information has been procured from third-party sources and has not been independently verified. Individual parts are owned by their respective copyright owners and not by First American. First American Title Company makes no express or implied warranty respecting the information presented and assumes no responsibility for errors or omissions.





First American Title™

Customer Service Department  
Phone: 503.219.8746 (TRIO)  
Email: cs.oregon@firstam.com  
Report Generated: 7/20/2022

## Ownership

**Legal Owner(s):** Veritas School  
**Site Address:** 1230 NE Bell Rd Newberg, OR 97132  
**Mailing Address:** 26288 NE Bell Rd Newberg, OR 97132

**Parcel #:** R3208 02702  
**APN:**  
**County:** Yamhill

## Property Characteristics

<b>Bedrooms:</b> 0	<b>Year Built:</b> 0	<b>Lot SqFt:</b> 217800
<b>Total Bathrooms:</b> 0	<b>Building SqFt:</b> 0	<b>Lot Acres:</b> 5.00
<b>Full Bathrooms:</b> 0	<b>First Floor SqFt:</b> 0	<b>Roof Type:</b>
<b>Half Bathrooms:</b> 0	<b>Basement Sqft:</b> 0	<b>Roof Shape:</b>
<b>Units:</b> 0	<b>Basment Type:</b>	<b>Porch Type:</b>
<b>Stories:</b>		<b>Building Style:</b>
<b>Fire Place:</b> N		<b>Garage:</b>
<b>Air Conditioning:</b>		<b>Garage SqFt:</b> 0
<b>Heating Type:</b>		<b>Parking Spots:</b> 0
<b>Electric Type:</b>		<b>Pool:</b>

## Property Information

**Land Use:** EXEMPT  
**Improvement Type:** Public School  
**Legal Description:** SEE METES & BOUNDS

**Zoning:** AF-10  
**School District:** Newberg School  
**Neighborhood:**  
**Subdivision:**

## Assessor & Tax

**Market Land:** \$403,321  
**Market Total:** \$3,228,094  
**Market Structure:** \$2,824,773  
**Assessed Total:** \$383,481

**Taxes:** \$0.00  
**% Improved:** 88  
**Levy Code:**  
**Millage Rate:**

## Sale History

<b>Last Sale Date:</b>	<b>Doc #:</b>	<b>Last Sale Price:</b> \$0
<b>Prior Sale Date:</b>	<b>Prior Doc #:</b>	<b>Prior Sale Price:</b> \$0

## Mortgage

<b>1st Mortgage Date:</b>	<b>Doc #:</b>	
<b>1st Mortgage Type:</b>	<b>1st Mortgage Lender:</b>	<b>1st Mortgage:</b> \$0
<b>2nd Mortgage Type:</b>		<b>2nd Mortgage:</b> \$0



Customer Service Department  
 Phone: 503.219.8746(TRIO)  
 Email: cs.oregon@firstam.com  
 Report Generated: 7/20/2022

NE Bell Rd	<b>Legal Owner:</b> John & Troy Rutten <b>Site Address:</b> 26530 NE Bell Rd Newberg, OR 97132 <b>Mailing Address:</b> 26530 NE Bell Rd Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 2 <b>Building SqFt:</b> 2,071 <b>Lot Acres:</b> 4.00 <b>Year Built:</b> 2003 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 08 TAXLOT 02601	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02601 <b>Taxes:</b> \$5,169.80 <b>Market Value:</b> \$570,537 <b>Assessed Value:</b> \$390,492 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
John Way	<b>Legal Owner:</b> Somerset Ventures Iii Llc <b>Site Address:</b> 4213 NE Aspen Way Newberg, OR 97132 <b>Mailing Address:</b> Po Box 1060 Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 2 <b>Building SqFt:</b> 2,032 <b>Lot Acres:</b> 4.35 <b>Year Built:</b> 1993 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 08 TAXLOT 02400	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02400 <b>Taxes:</b> \$4,779.03 <b>Market Value:</b> \$570,968 <b>Assessed Value:</b> \$360,976 <b>Sales Price:</b> \$500,000 <b>Transfer Date:</b> 4/7/2006
NE Aspen Way	<b>Legal Owner:</b> Rain Dance Ranch Llamas Llc <b>Site Address:</b> 4001 NE Aspen Way Newberg, OR 97132 <b>Mailing Address:</b> Po Box 1060 Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 2 <b>Building SqFt:</b> 1,873 <b>Lot Acres:</b> 4.05 <b>Year Built:</b> 1978 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 08 TAXLOT 02490	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02490 <b>Taxes:</b> \$4,077.07 <b>Market Value:</b> \$313,666 <b>Assessed Value:</b> \$313,666 <b>Sales Price:</b> \$750,000 <b>Transfer Date:</b> 8/13/2007
	<b>Legal Owner:</b> North Valley Friends Church <b>Site Address:</b> 4026 N College St Newberg, OR 97132 <b>Mailing Address:</b> 4020 N College St Newberg, OR 97132 <b>Bedrooms:</b> 0 <b>Bathrooms:</b> 0 <b>Building SqFt:</b> 0 <b>Lot Acres:</b> 3.15 <b>Year Built:</b> 0 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02703 <b>Taxes:</b> \$0.00 <b>Market Value:</b> \$78,245 <b>Assessed Value:</b> \$78,245 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>

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	<b>Legal Owner:</b> Veritas School <b>Site Address:</b> 1230 NE Bell Rd Newberg, OR 97132 <b>Mailing Address:</b> 26288 NE Bell Rd Newberg, OR 97132 <b>Bedrooms:</b> 0 <b>Bathrooms:</b> 0 <b>Building SqFt:</b> 0 <b>Lot Acres:</b> 5.00 <b>Year Built:</b> 0 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02702 <b>Taxes:</b> \$0.00 <b>Market Value:</b> \$3,228,094 <b>Assessed Value:</b> \$383,481 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
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	<b>Legal Owner:</b> Curt Wilson <b>Site Address:</b> 26450 NE Bell Rd Newberg, OR 97132 <b>Mailing Address:</b> 26450 NE Bell Rd Newberg, OR 97132 <b>Bedrooms:</b> 4 <b>Bathrooms:</b> 0 <b>Building SqFt:</b> 2,064 <b>Lot Acres:</b> 7.00 <b>Year Built:</b> 2014 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02600 <b>Taxes:</b> \$2,375.13 <b>Market Value:</b> \$840,449 <b>Assessed Value:</b> \$179,401 <b>Sales Price:</b> \$549,000 <b>Transfer Date:</b> 10/16/2020
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02401      02700	<b>Legal Owner:</b> Mark Wanker <b>Site Address:</b> 26600 NE Bell Rd Newberg, OR 97132 <b>Mailing Address:</b> 21373 SW Johnson Rd West Linn, OR <b>Bedrooms:</b> 2 <b>Bathrooms:</b> 1 <b>Building SqFt:</b> 1,616 <b>Lot Acres:</b> 0.47 <b>Year Built:</b> 1966 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 08 TAXLOT 02500	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02500 <b>Taxes:</b> \$3,015.43 <b>Market Value:</b> \$398,407 <b>Assessed Value:</b> \$227,765 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
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	<b>Legal Owner:</b> Chehalem Valley Baptist Church <b>Site Address:</b> 26155 NE Bell Rd Newberg, OR 97132 <b>Mailing Address:</b> 26155 NE Bell Rd Newberg, OR 97132 <b>Bedrooms:</b> 0 <b>Bathrooms:</b> 0 <b>Building SqFt:</b> 0 <b>Lot Acres:</b> 4.00 <b>Year Built:</b> 0 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3205 02301 <b>Taxes:</b> \$0.00 <b>Market Value:</b> \$1,515,793 <b>Assessed Value:</b> \$1,226,814 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
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**Legal Owner:** North Valley Friends Church  
**Site Address:** 4020 N College St Newberg, OR 97132  
**Mailing Address:** 4020 N College St Newberg, OR 97132  
**Bedrooms:** 0  
**Bathrooms:** 0  
**Building SqFt:** 0                      **Lot Acres:** 8.35  
**Year Built:** 0  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3208 02700  
**Taxes:** \$2,249.83  
**Market Value:** \$207,411  
**Assessed Value:** \$202,887  
**Sales Price:** \$250,000  
**Transfer Date:** 3/1/2005

02301  
**Legal Owner:** North Valley Friends Church  
**Site Address:** No Site Address , OR  
**Mailing Address:** 4020 N College St Newberg, OR 97132  
**Bedrooms:** 0  
**Bathrooms:** 0  
**Building SqFt:** 0                      **Lot Acres:** 0.26  
**Year Built:** 0  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3208 02801  
**Taxes:** \$0.00  
**Market Value:** \$6,458  
**Assessed Value:** \$6,458  
**Sales Price:** \$0  
**Transfer Date:**

02801    02700  
 02800  
**Legal Owner:** Newberg Gospel Chapel Inc  
**Site Address:** 4301 N College St Newberg, OR 97132  
**Mailing Address:** 4301 N College St Newberg, OR 97132  
**Bedrooms:** 3  
**Bathrooms:** 1  
**Building SqFt:** 1,568                      **Lot Acres:** 5.33  
**Year Built:** 1900  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3207AA 00100  
**Taxes:** \$948.83  
**Market Value:** \$1,170,966  
**Assessed Value:** \$796,312  
**Sales Price:** \$0  
**Transfer Date:**

**Legal Owner:** Rain Dance Ranch Llamas Llc  
**Site Address:** 26355 NE Bell Rd Newberg, OR 97132  
**Mailing Address:** Po Box 1060 Newberg, OR 97132  
**Bedrooms:** 3  
**Bathrooms:** 0  
**Building SqFt:** 1,714                      **Lot Acres:** 15.00  
**Year Built:** 1890  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** TOWNSHIP 3S RANGE 2W SECTION 05 TAXLOT 02401

**APN:**  
**Ref Parcel #:** R3205 02401  
**Taxes:** \$962.56  
**Market Value:** \$554,301  
**Assessed Value:** \$72,705  
**Sales Price:** \$0  
**Transfer Date:**

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02900 02701  
00206  
00205 00207 00208  
00209  
00301 00302

**Legal Owner:** Eric & Colleen Hemmer  
**Site Address:** 1115 E Madison Dr Newberg, OR 97132  
**Mailing Address:** 1115 E Madison Dr Newberg, OR 97132  
**Bedrooms:** 5  
**Bathrooms:** 2.5  
**Building SqFt:** 3,611 **Lot Acres:** 0.17  
**Year Built:** 2002  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** LOT 16 IN THE SUMMIT AT OAK KNOLL NO.3

**APN:**  
**Ref Parcel #:** R3208BC 00207  
**Taxes:** \$6,070.26  
**Market Value:** \$603,754  
**Assessed Value:** \$380,078  
**Sales Price:** \$515,000  
**Transfer Date:** 8/31/2018

NE Aspen Way

**Legal Owner:** Somerset Ventures Iv Llc  
**Site Address:** 3705 NE Aspen Way Newberg, OR 97132  
**Mailing Address:** Po Box 1060 Newberg, OR 97132  
**Bedrooms:** 4  
**Bathrooms:** 2.5  
**Building SqFt:** 3,504 **Lot Acres:** 15.69  
**Year Built:** 1992  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** TOWNSHIP 3S RANGE 2W SECTION 08 TAXLOT 03200

**APN:**  
**Ref Parcel #:** R3208 03200  
**Taxes:** \$8,617.21  
**Market Value:** \$1,022,564  
**Assessed Value:** \$650,886  
**Sales Price:** \$2,750,000  
**Transfer Date:** 5/22/2006

00280  
N College St  
00300  
02800  
02802  
02900  
02701

**Legal Owner:** North Valley Friends Church  
**Site Address:** No Site Address , OR  
**Mailing Address:** 4020 N College St Newberg, OR 97132  
**Bedrooms:** 0  
**Bathrooms:** 0  
**Building SqFt:** 0 **Lot Acres:** 0.14  
**Year Built:** 0  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3208 02802  
**Taxes:** \$0.00  
**Market Value:** \$3,478  
**Assessed Value:** \$3,478  
**Sales Price:** \$0  
**Transfer Date:**

00208  
00207 00209 00211  
00210  
Madison Dr  
00302 00212

**Legal Owner:** Jones Jeffery D Trustee & Jones Heidi L Trustee  
**Site Address:** 1201 E Madison Dr Newberg, OR 97132  
**Mailing Address:** 17305 NE Leander Dr Sherwood, OR 97140  
**Bedrooms:** 3  
**Bathrooms:** 2  
**Building SqFt:** 2,319 **Lot Acres:** 0.17  
**Year Built:** 2001  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** TOWNSHIP 3S RANGE 2W SECTION 08 QTR B QQTR C TAXLOT 00209 LOT 18

**APN:**  
**Ref Parcel #:** R3208BC 00209  
**Taxes:** \$4,155.49  
**Market Value:** \$434,907  
**Assessed Value:** \$260,188  
**Sales Price:** \$212,500  
**Transfer Date:** 11/15/2011

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			<b>Legal Owner:</b> North Valley Friends Church <b>Site Address:</b> 4020 N College St Newberg, OR 97132 <b>Mailing Address:</b> 4020 N College St Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 2 <b>Building SqFt:</b> 1,922 <b>Lot Acres:</b> 4.28 <b>Year Built:</b> 2009 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3208 02701 <b>Taxes:</b> \$1,989.58 <b>Market Value:</b> \$1,976,504 <b>Assessed Value:</b> \$1,597,100 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
00207	02701		<b>Legal Owner:</b> James & Melinda Allison <b>Site Address:</b> 1125 E Madison Dr Newberg, OR 97132 <b>Mailing Address:</b> 1125 E Madison Dr Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 0 <b>Building SqFt:</b> 2,783 <b>Lot Acres:</b> 0.17 <b>Year Built:</b> 2002 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 08 QTR B QQTR C TAXLOT 00208 LOT 17	<b>APN:</b> <b>Ref Parcel #:</b> R3208BC 00208 <b>Taxes:</b> \$5,391.72 <b>Market Value:</b> \$532,789 <b>Assessed Value:</b> \$337,592 <b>Sales Price:</b> \$0 <b>Transfer Date:</b>
00206	00208	00209 00210	<b>Legal Owner:</b> Debralyn Evans <b>Site Address:</b> 4009 N College St Newberg, OR 97132 <b>Mailing Address:</b> 4009 N College St Newberg, OR 97132 <b>Bedrooms:</b> 3 <b>Bathrooms:</b> 2.5 <b>Building SqFt:</b> 2,899 <b>Lot Acres:</b> 0.80 <b>Year Built:</b> 1962 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> TOWNSHIP 3S RANGE 2W SECTION 07 QTR A QQTR A TAXLOT 00200	<b>APN:</b> <b>Ref Parcel #:</b> R3207AA 00200 <b>Taxes:</b> \$4,277.82 <b>Market Value:</b> \$445,615 <b>Assessed Value:</b> \$323,118 <b>Sales Price:</b> \$425,000 <b>Transfer Date:</b> 6/12/2015
00301	00302	00213	<b>Legal Owner:</b> Lawrence Joholske & Sandra Stone <b>Site Address:</b> 3993 N College St Newberg, OR 97132 <b>Mailing Address:</b> 3993 N College St Newberg, OR 97132 <b>Bedrooms:</b> 4 <b>Bathrooms:</b> 4.5 <b>Building SqFt:</b> 3,320 <b>Lot Acres:</b> 1.20 <b>Year Built:</b> 2016 <b>School District:</b> Newberg School District 29J <b>Neighborhood:</b> <b>Legal:</b> SEE METES & BOUNDS	<b>APN:</b> <b>Ref Parcel #:</b> R3207AA 00300 <b>Taxes:</b> \$5,013.54 <b>Market Value:</b> \$884,660 <b>Assessed Value:</b> \$378,689 <b>Sales Price:</b> \$961,000 <b>Transfer Date:</b> 10/27/2020
00490	00400	02900		



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02701  
00209  
00208 00210 00211  
03200  
Madison Dr  
00213

**Legal Owner:** Jeremy & Rosann Johnson  
**Site Address:** 1215 E Madison Dr Newberg, OR 97132  
**Mailing Address:** 1215 E Madison Dr Newberg, OR 97132  
**Bedrooms:** 3  
**Bathrooms:** 0  
**Building SqFt:** 3,047      **Lot Acres:** 0.17  
**Year Built:** 2001  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** LOT 19 IN THE SUMMIT AT OAK KNOLL NO.3

**APN:**  
**Ref Parcel #:** R3208BC 00210  
**Taxes:** \$5,422.94  
**Market Value:** \$550,090  
**Assessed Value:** \$339,547  
**Sales Price:** \$630,000  
**Transfer Date:** 11/30/2021

02701  
00210  
00209  
00213  
00211  
02703  
03200  
Dr

**Legal Owner:** Gregory & Elizabeth Woolsey  
**Site Address:** 1225 E Madison Dr Newberg, OR 97132  
**Mailing Address:** 1225 E Madison Dr Newberg, OR 97132  
**Bedrooms:** 4  
**Bathrooms:** 0  
**Building SqFt:** 2,992      **Lot Acres:** 0.17  
**Year Built:** 2001  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** TOWNSHIP 3S RANGE 2W SECTION 08 QTR B QQTR C TAXLOT 00211 LOT 20

**APN:**  
**Ref Parcel #:** R3208BC 00211  
**Taxes:** \$5,391.36  
**Market Value:** \$532,009  
**Assessed Value:** \$337,570  
**Sales Price:** \$0  
**Transfer Date:**

N College St  
00213  
00212

**Legal Owner:** North Valley Friends Church  
**Site Address:** No Site Address , OR  
**Mailing Address:** 4020 N College St Newberg, OR 97132  
**Bedrooms:** 0  
**Bathrooms:** 0  
**Building SqFt:** 0      **Lot Acres:** 3.00  
**Year Built:** 0  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3208 02800  
**Taxes:** \$1,172.19  
**Market Value:** \$74,519  
**Assessed Value:** \$74,519  
**Sales Price:** \$0  
**Transfer Date:**

02900  
00204  
00205  
00206  
00207  
00208  
00209  
02701  
03001 00302

**Legal Owner:** Nancy & Edward Macy  
**Site Address:** 1101 E Madison Dr Newberg, OR 97132  
**Mailing Address:** 1101 E Madison Dr Newberg, OR 97132  
**Bedrooms:** 3  
**Bathrooms:** 0  
**Building SqFt:** 3,431      **Lot Acres:** 0.17  
**Year Built:** 2002  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** TOWNSHIP 3S RANGE 2W SECTION 08 QTR B QQTR C TAXLOT 00206 LOT 15

**APN:**  
**Ref Parcel #:** R3208BC 00206  
**Taxes:** \$6,119.58  
**Market Value:** \$583,911  
**Assessed Value:** \$383,166  
**Sales Price:** \$285,000  
**Transfer Date:** 1/6/2012



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219

**Legal Owner:** Rourke Development Llc  
**Site Address:** 1201 E Fulton St APT 13 Newberg, OR 97132  
**Mailing Address:** 1201 E Fulton St UNIT 13 McMinnville, OR  
**Bedrooms:** 3  
**Bathrooms:** 2  
**Building SqFt:** 2,664                      **Lot Acres:** 2.29  
**Year Built:** 1973  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3208 02900  
**Taxes:** \$5,124.26  
**Market Value:** \$693,913  
**Assessed Value:** \$387,052  
**Sales Price:** \$91,000  
**Transfer Date:** 4/26/2022

01500 00300

00490 00400

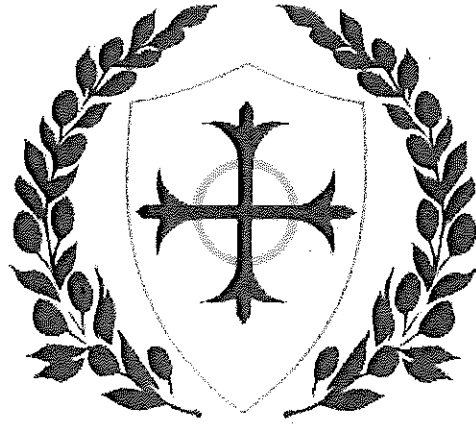
00100 00100 00204 00203

11 College St 57

**Legal Owner:** Jerry & Marie Brown  
**Site Address:** 3909 N College St Newberg, OR 97132  
**Mailing Address:** 1180 SW 9th St Dundee, OR 97115  
**Bedrooms:** 2  
**Bathrooms:** 1  
**Building SqFt:** 1,072                      **Lot Acres:** 0.80  
**Year Built:** 1950  
**School District:** Newberg School District 29J  
**Neighborhood:**  
**Legal:** SEE METES & BOUNDS

**APN:**  
**Ref Parcel #:** R3207AA 00400  
**Taxes:** \$1,942.55  
**Market Value:** \$388,337  
**Assessed Value:** \$146,727  
**Sales Price:** \$0  
**Transfer Date:**





Veritas School  
SOLI DEO GLORIA

# Campus Pruning Guide

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4.....Crab Apple

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5.....Maple Trees

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8.....Cherry Bush

9.....Espaliered Apple Tree

9.....Weeping Cherry

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18.....Hosta

19.....Hydrangea

19.....Pieris

20.....Pink Carnation

20.....Rhododendron

21.....Rhododendron

22.....Roses

23.....Russian Sage

23.....Salvia

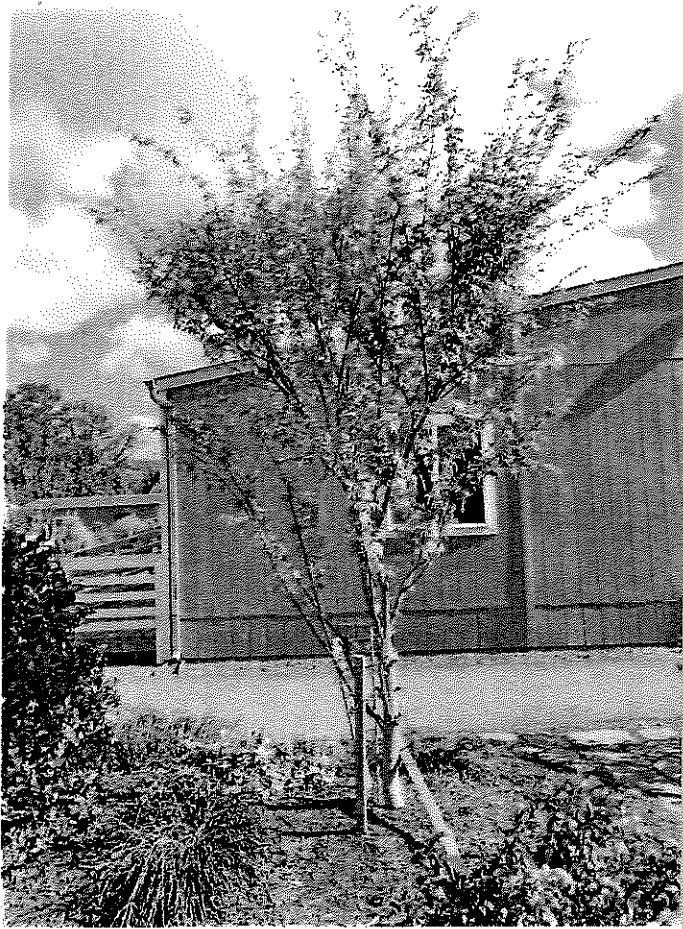
24.....Shasta Daisy

24.....Spiraea

25.....Yucca

# Trees

(non-fruit bearing)



# Coral Bark Maple

Type of plant: Medium tree located in entryway to campus with beautiful red bark

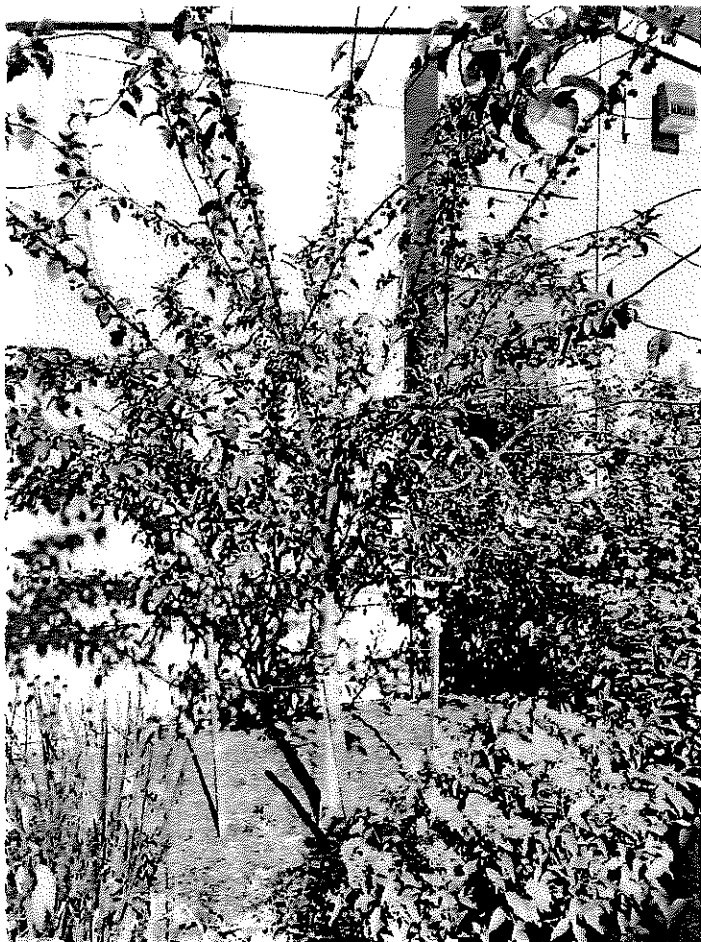
Pruning: Shape in Fall after first frost

Bloom: purple

seed/fruit: samara

Coral Bark Maple  
(*Acer palmatum* "Sangu-kaku")

- Lobed simple palmate leaves
- 20ft. tall at maturity
- 15-20ft. spread.
- Deciduous



# Crab Apple

Type of plant: Medium/Large tree, red berries on branches

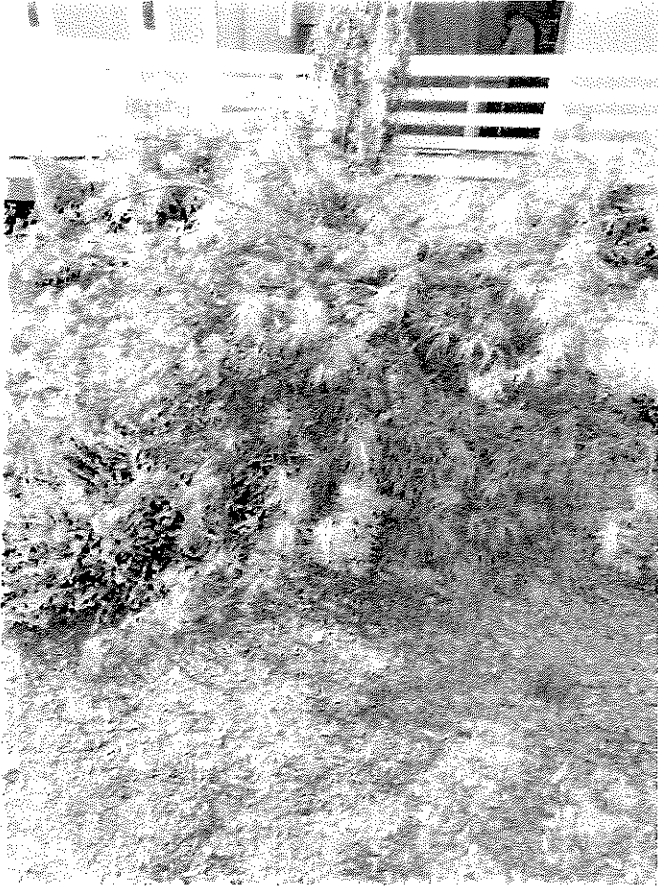
Pruning: Shape branches in Fall after first frost

Japanese Flowering Crabapple  
(*Malus floribunda*)

- height 15-20ft.
- width 18-30ft
- leaves: ~~elliptical~~ <sup>serrate</sup> to ovate, green, golden, yellow, orange
- Deciduous

• Bloom - midspring red buds to pale pink flowers that turn white

• seed/fruit small red fruit surrounding seeds.



# Japanese Maple

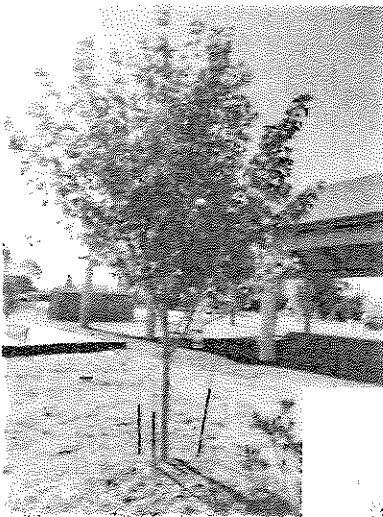
Type of plant: Small tree with deep red/purple leaves

Pruning: Shape in Fall after first frost when leaves are off/defoliated

'Crimson Queen'  
Japanese Maple  
Sapindaceae Acer  
palmatum var.  
dissectum

- height 8-10ft
- spread 10-12ft
- palmate leaves w/ deeply incised lobes, red

- Bloom: April
- Red-purple in umbels
- Samaras - winged in pairs - ripen sept/oct.
- deciduous

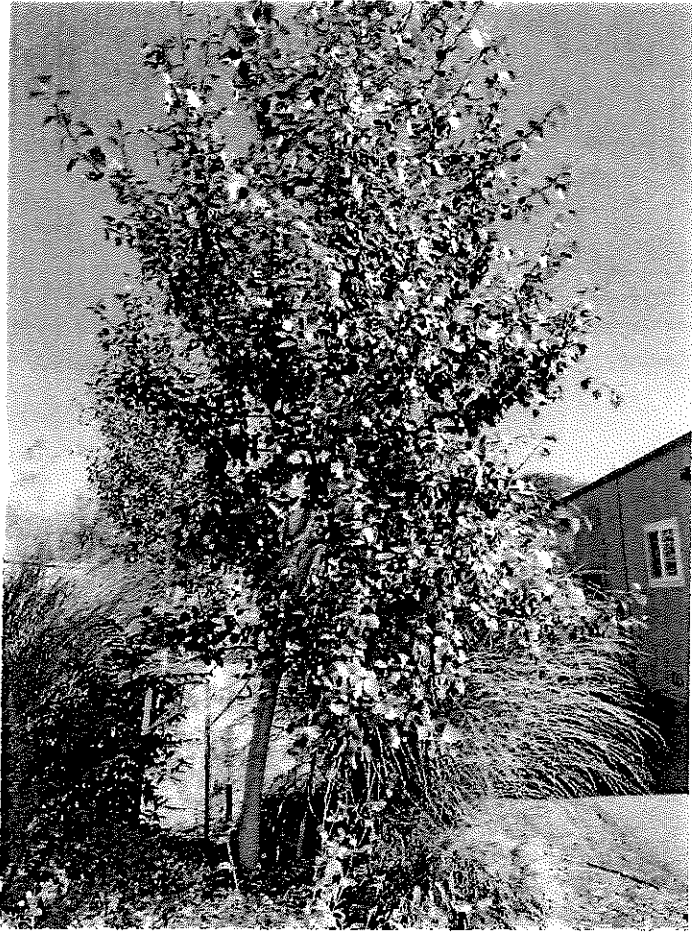


# Maple Trees

Type of plant: Medium to large trees

Pruning: Shape in Fall after first frost

Red Maple?  
Acer rubrum  
• native; 35-40ft tall  
• flowers bloom in late winter  
celebration maple?



# Quaking Aspen

Type of plant: Large trees located between Assembly Hall and building 3

Pruning: Shape as needed in Fall after first frost

Quaking Aspen  
(*Populus tremuloides*)

- height 65-80ft
- leaves nearly round with small rounded teeth
- deciduous
- flowers - catkins
- seed/fruit - 10cm long pendulous string of 6mm capsules

# Plants

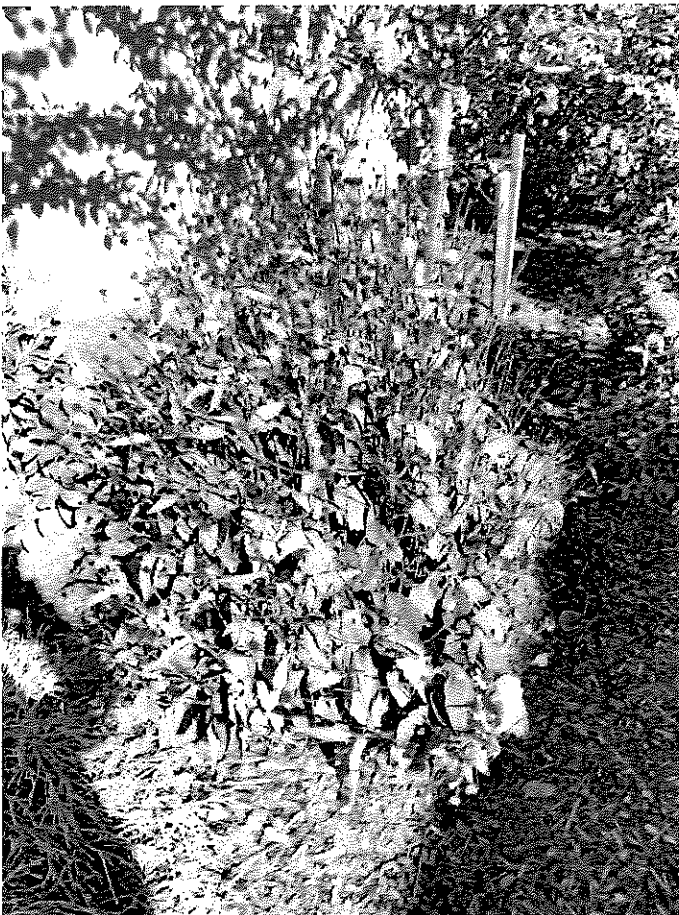
(Flowering)



## Azalea

Type of plant: Medium green bush with yellow flowers

Pruning: Shape after bloom and prior to July 4th

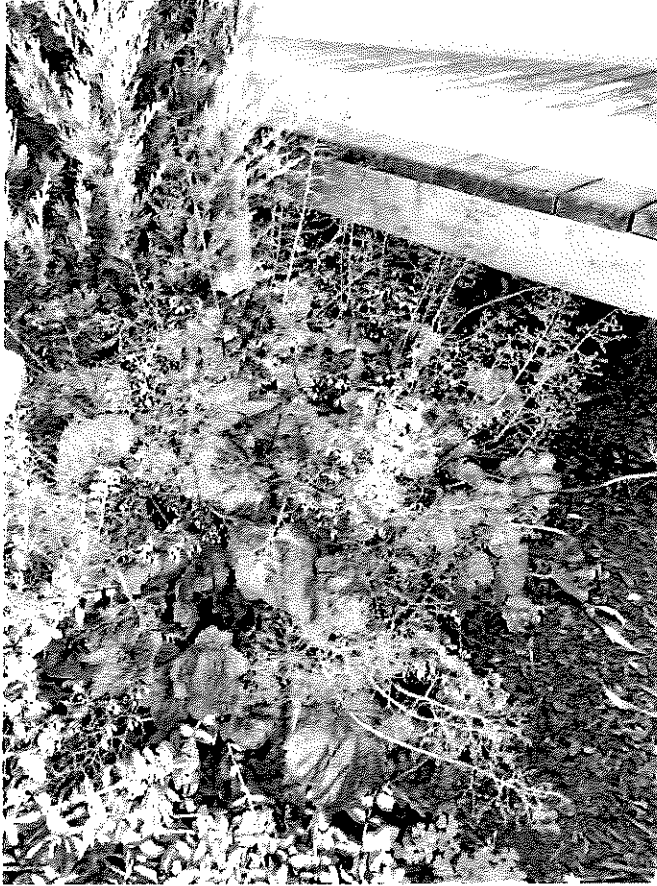


## Black-Eyed Susan

Type of plant: medium perennial, yellow and black flowers

Pruning: Cut to ground in Fall once flowers have died

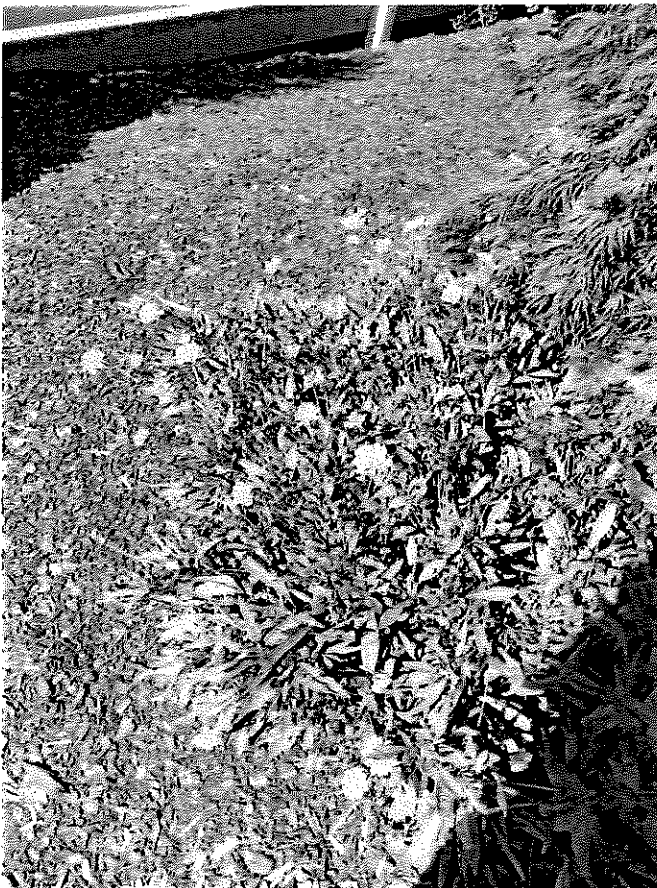




## Coral Bells

Type of plant: Small plant with delicate flowers

Pruning: Cut flowering branches off top in Fall once flowers have died; leave the leaves on



## Coreopsis

Type of plant: Small, low growing plant with yellow/orange flowers

Pruning: cut to ground after it dies back in the winter



## Crepe Myrtle

Type of plant: Large bush with pink flowers

Pruning: Cut to 2 feet in Fall after first frost (will grow up to 6 feet per year)



## Hosta

Type of plant: Small light green plant with flowers

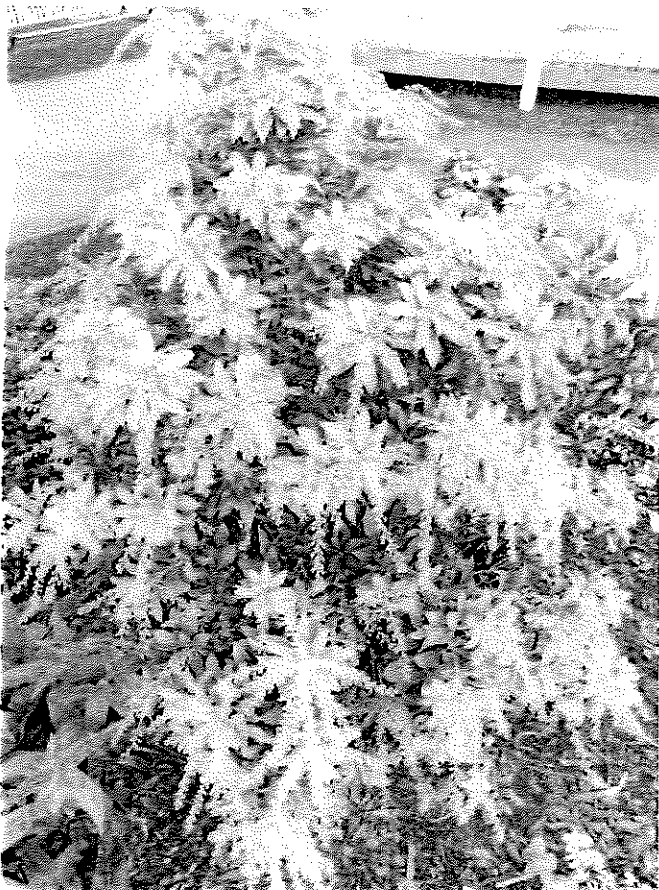
Pruning: Plant dies off in Fall/Winter and emerges in Spring



# Hydrangea

Type of plant: Medium bush with flowers

Pruning: Cut back 1 foot of plant in Fall after first frost



# Pieris

Type of plant: Medium bush with pink stringy flowers when in bloom

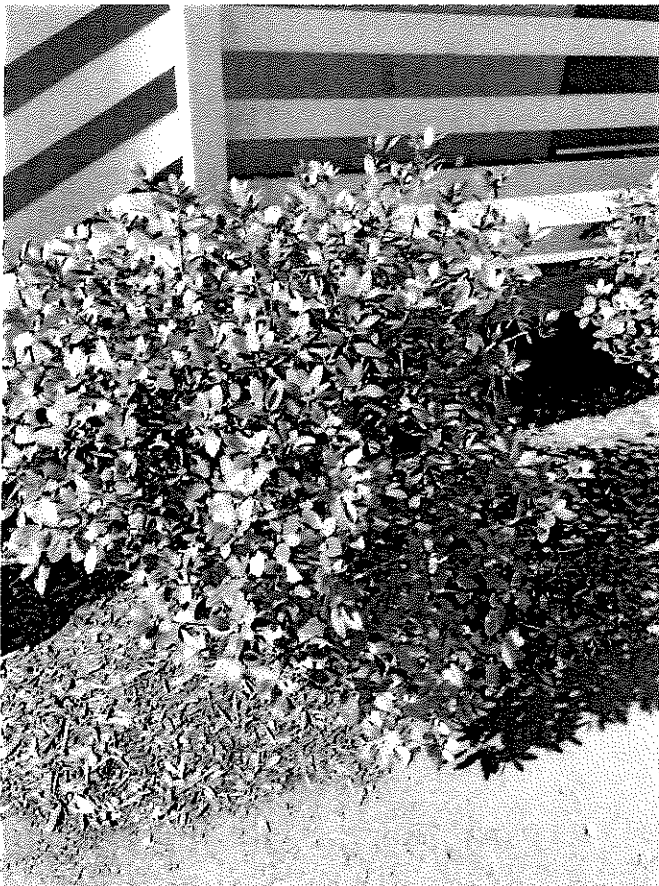
Pruning: Shape after done flowering in early April



## Pink Carnation

Type of plant: Small light green plant with pink flowers

Pruning: Deadhead after bloom to keep blooming



## Rhododendron PJM

Type of plant: medium bush with Spring bloom, leaves turn red in the Fall. Has pink/purple flowers when in bloom.

Pruning: Shape after bloom and prior to July 4th



## Rhododendron

Type of plant: Medium green plant with flowers (located along buildings 4 & 5)

Pruning: Shape after bloom in May



## Rhododendron

Type of plant: Medium green plant with flowers (located by entrance to campus)

Pruning: Shape in after bloom and prior to July 4th



## Roses: Top Gun

Type of plant: Medium to large rose bushes with pink flowers (located near Pavilion)

Pruning: Shape in February (don't prune very hard)



## Roses: Knockout

Type of plant: Medium to large rose bushes with pink flowers (located around campus— E of buildings 1 & 2, Assembly Hall, S of building 6.

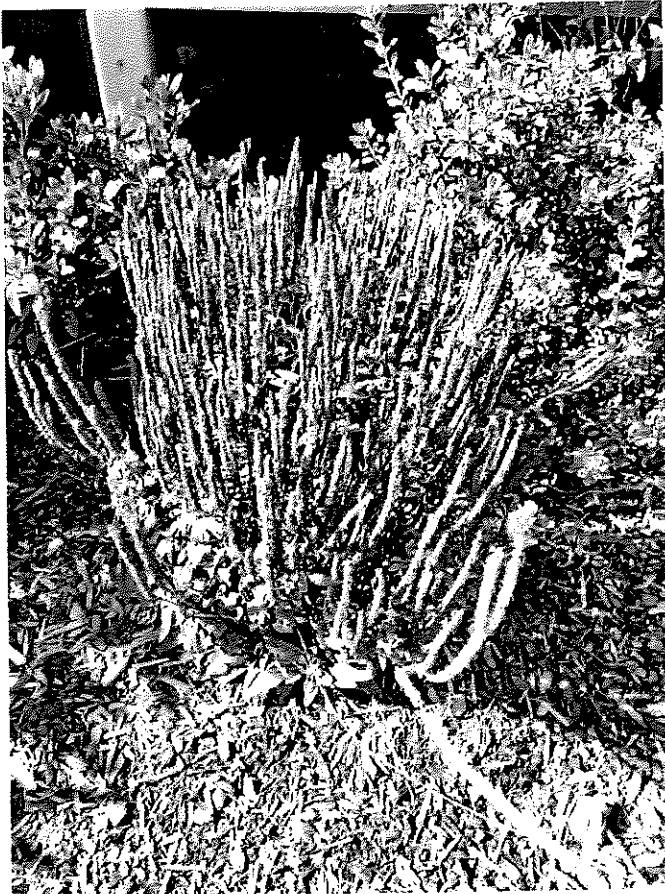
Pruning: Prune moderately in February, they will grow back aggressively



## Russian Sage

Type of plant: Small green plant/"leggy" bush

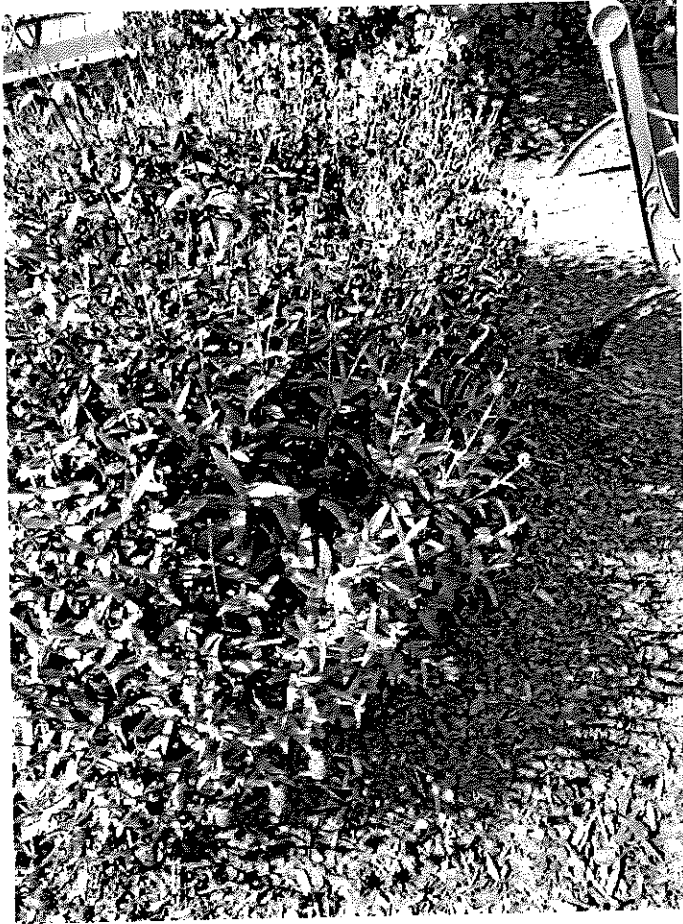
Pruning: Trim down to 12 inches in Fall after first frost



## Salvia

Type of plant: Small green plant with purple flowers

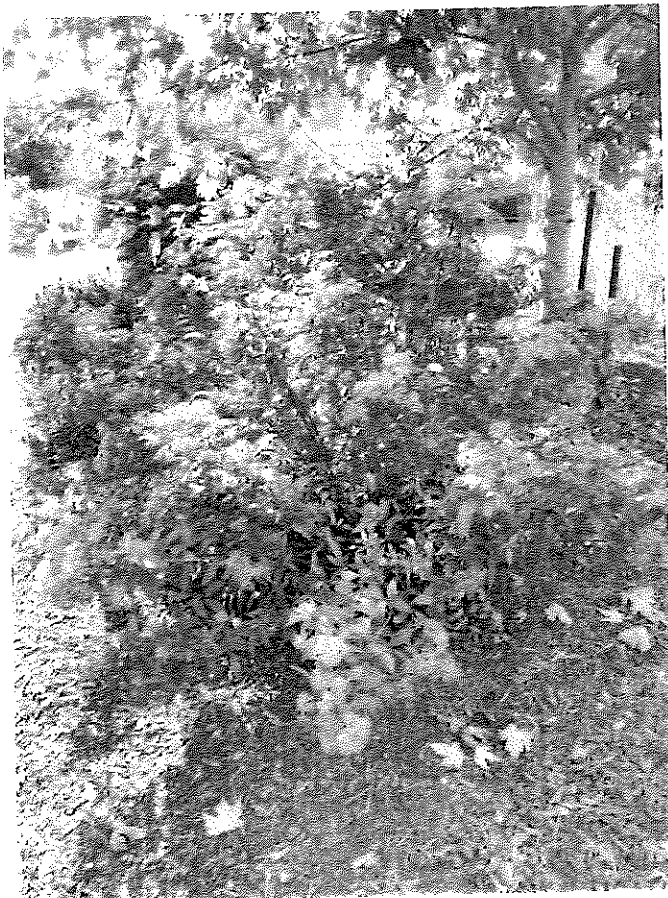
Pruning: Cut to ground in Fall once flowers have died



## Shasta Daisy

Type of plant: Perennial with white flowers

Pruning: Cut to 6 inches in Fall once flowers have died



## Spiraea

Type of plant: Large bush with pink flowers

Pruning: Shape past blooms in Fall after first frost. Cut again in June to have blooms in September.





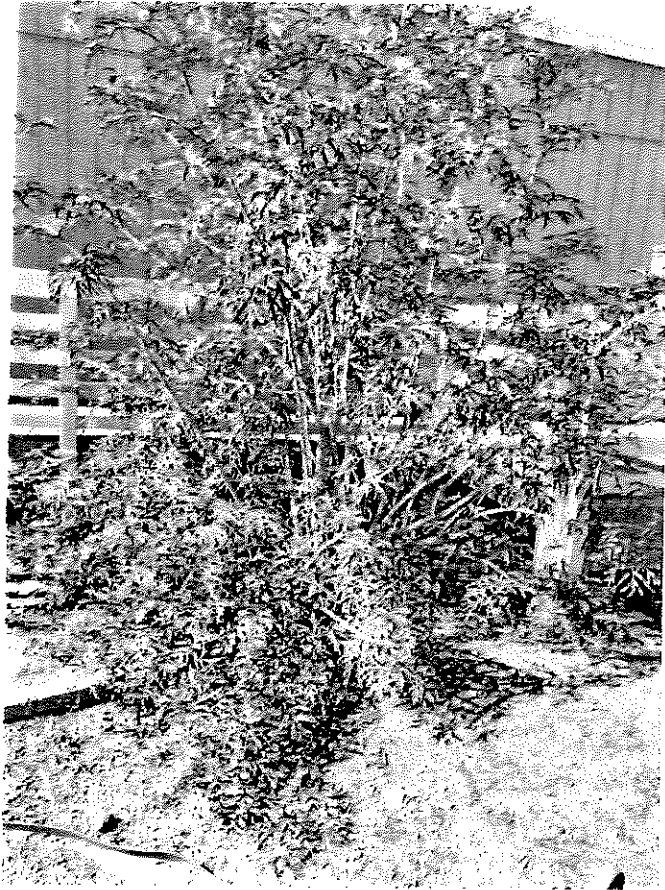
# Yucca

Type of plant: Medium to large green plant with tall white flowering stalk in center

Pruning: cut flowering stalk after bloom

# Plants

(non-flowering)

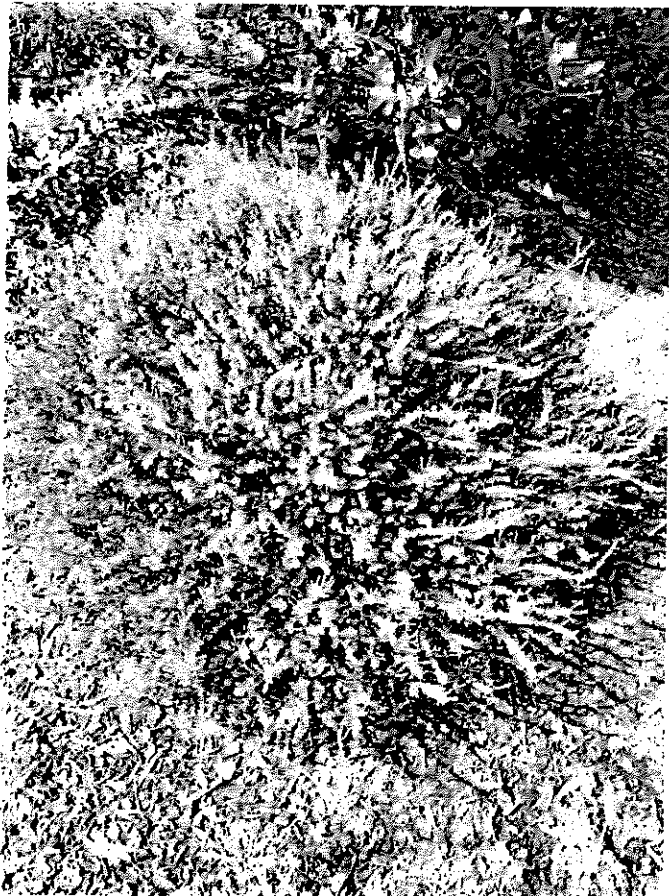


# Elderberry

Type of plant: Large tree-like plant with dark red/purple branches and leaves and light pink flowers

Pruning: Cut back to 3 feet or just above prior year pruning shape and cut low branches off bottom in Fall after first frost

Black Lace Elderberry  
(*Sambucus nigra*)  
height: 6-8ft  
Bloom: creamy pink - Spring  
berry: black & edible - Fall  
leaves:



# Heather

Type of plant: Small green plant

Pruning: Light prune after bloom in April

Heather  
(*Calluna vulgaris*)  
Evergreen shrub  
Height: 20-50 cm (7.9-19.7 in)  
leaves: small scale - leaves  
decussate pairs  
bloom: mauve



# Juniper Plants

Type of plant: Tall green or blue-green bushes

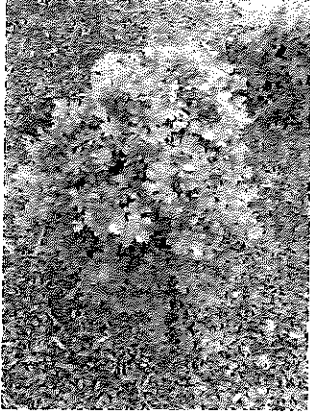
Pruning: Shape in Fall after first frost



# Vicary

Type of plant: Medium yellow bush with green accents

Pruning: Cut back hard in the Fall after the first frost



## Green shrubs— various

Type of plant: Small green plants

Pruning: Shape in Fall after first frost



## Tall Grass

Type of plant: Tall grass-like plant

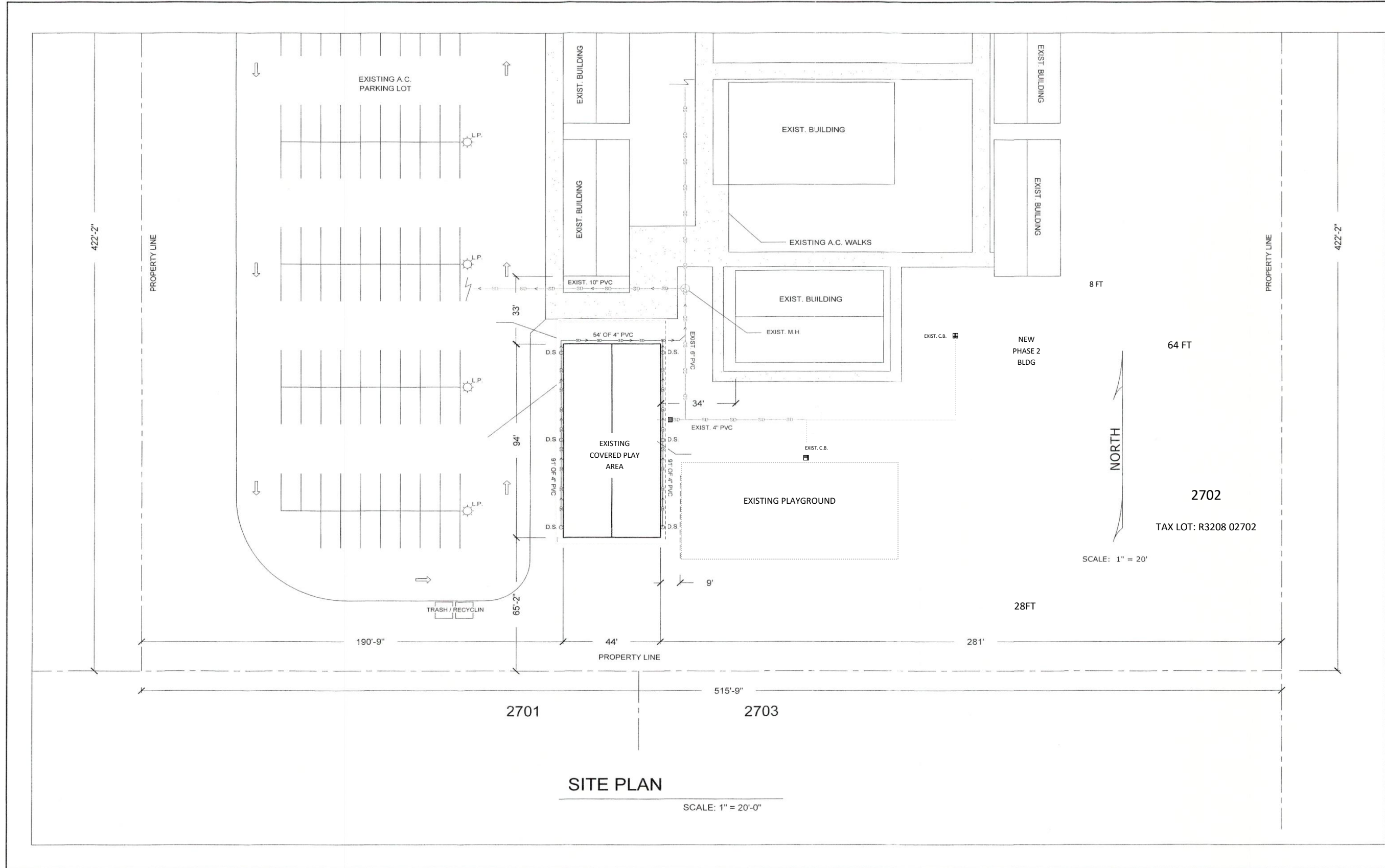
Pruning: Cut back to 6 inches in Fall after first frost



# Variegated Red Twig Dogwood

Type of plant: Large bush with red  
branches and variegated leaves

Pruning: Cut back hard in Fall after  
first frost



**SITE PLAN**

SCALE: 1" = 20'-0"

SCALE: 1" = 20'

NORTH

2702  
TAX LOT: R3208 02702

**PLAWORTH INC.**  
COMMERCIAL & RESIDENTIAL  
DESIGN, DRAFTING & CONST.  
13500 SW HWY 99W  
MCMINNVILLE OREGON 97128  
1-(503)-472-2452

**Veritas School**

COVERED PLAY AREA  
PHASE 2 CLASSROOM BLDG

CLIENT:  
JOB DESCRIPTION:  
LOCATION:

No.	Date	Revision / Issue

Project: PHASE TWO

Date: 3/23/2022

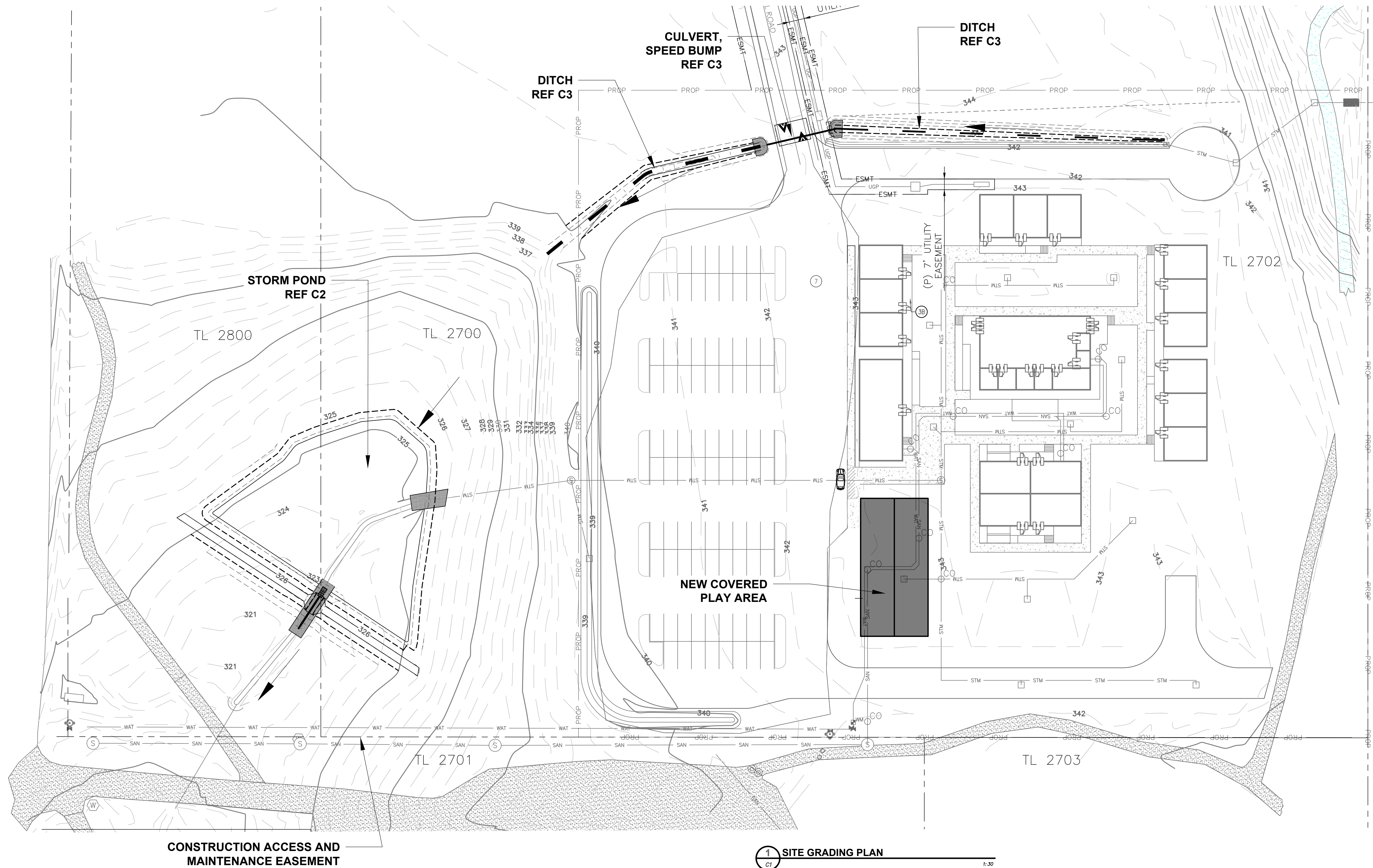
Plan: 6-27-19

Sheet: SITE PLAN

Sheet: S-P

Scale: 1" = 30'

Nov 12, 2019 - 8:31am tom.D:\VIRE\_Files\Projects\Veritas\WIRE GRADING PLAN - related pond 2 - 11 Nov 2019.dwg



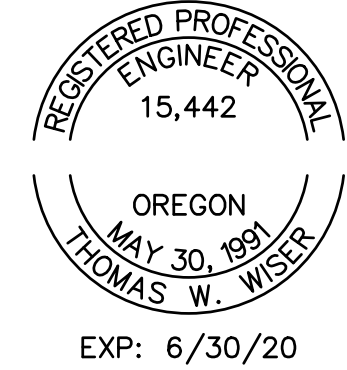
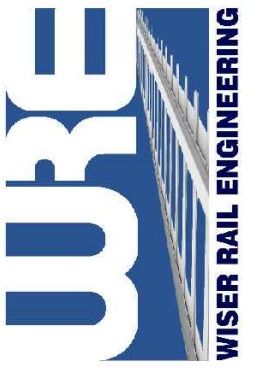
CONSTRUCTION ACCESS AND MAINTENANCE EASEMENT

1 SITE GRADING PLAN

1:30



**Thomas W. Wiser, P.E.**  
 22760 SW Wiser Drive  
 Tualatin, Oregon 97062  
 503 / 691-6095



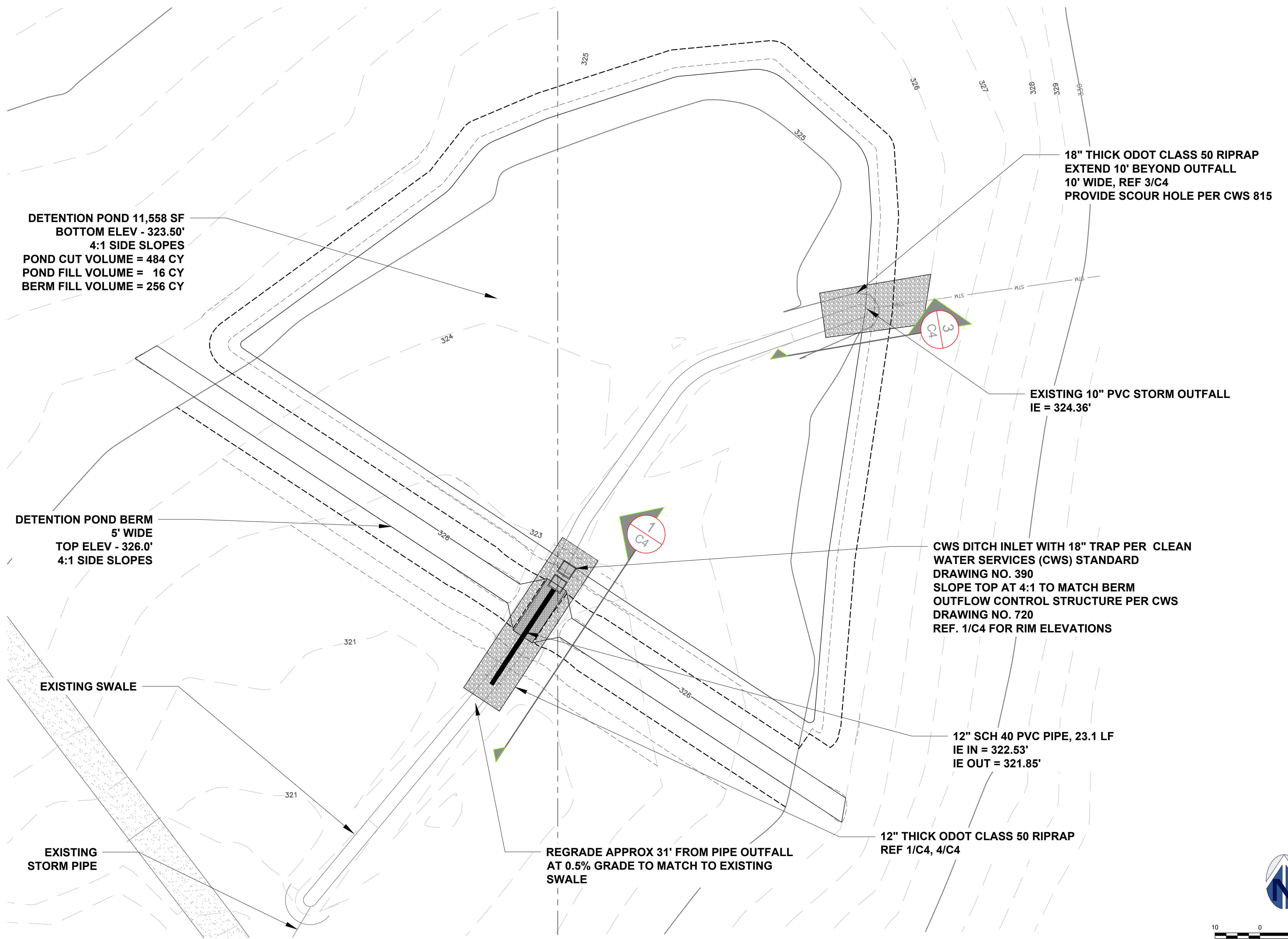
**VERITAS STORM WATER IMPROVEMENTS GRADING PLAN**

**VERITAS SCHOOL**  
 26288 NE BELL ROAD  
 NEWBERG, OR 97132

NO.	REVISION	DATE BY	ISSUED FOR

SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 JOB No: \_\_\_\_\_  
 DWG. NO. **C1**





DETENTION POND 11,558 SF  
 BOTTOM ELEV - 323.50'  
 4:1 SIDE SLOPES  
 POND CUT VOLUME = 484 CY  
 POND FILL VOLUME = 16 CY  
 BERM FILL VOLUME = 256 CY

DETENTION POND BERM  
 5' WIDE  
 TOP ELEV - 326.0'  
 4:1 SIDE SLOPES

18" THICK ODOT CLASS 50 RIPRAP  
 EXTEND 10' BEYOND OUTFALL  
 10' WIDE, REF 3/C4  
 PROVIDE SCOUR HOLE PER CWS 815

EXISTING 10" PVC STORM OUTFALL  
 IE = 324.36'

CWS DITCH INLET WITH 18" TRAP PER CLEAN  
 WATER SERVICES (CWS) STANDARD  
 DRAWING NO. 390  
 SLOPE TOP AT 4:1 TO MATCH BERM  
 OUTFLOW CONTROL STRUCTURE PER CWS  
 DRAWING NO. 720  
 REF. 1/C4 FOR RIM ELEVATIONS

12" SCH 40 PVC PIPE, 23.1 LF  
 IE IN = 322.53'  
 IE OUT = 321.85'

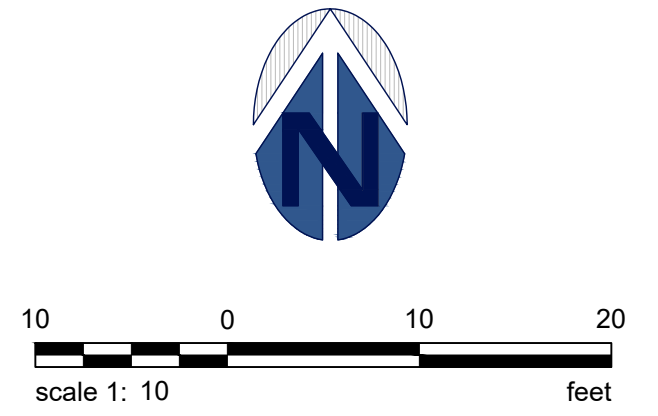
12" THICK ODOT CLASS 50 RIPRAP  
 REF 1/C4, 4/C4

REGRADE APPROX 31' FROM PIPE OUTFALL  
 AT 0.5% GRADE TO MATCH TO EXISTING  
 SWALE

EXISTING SWALE

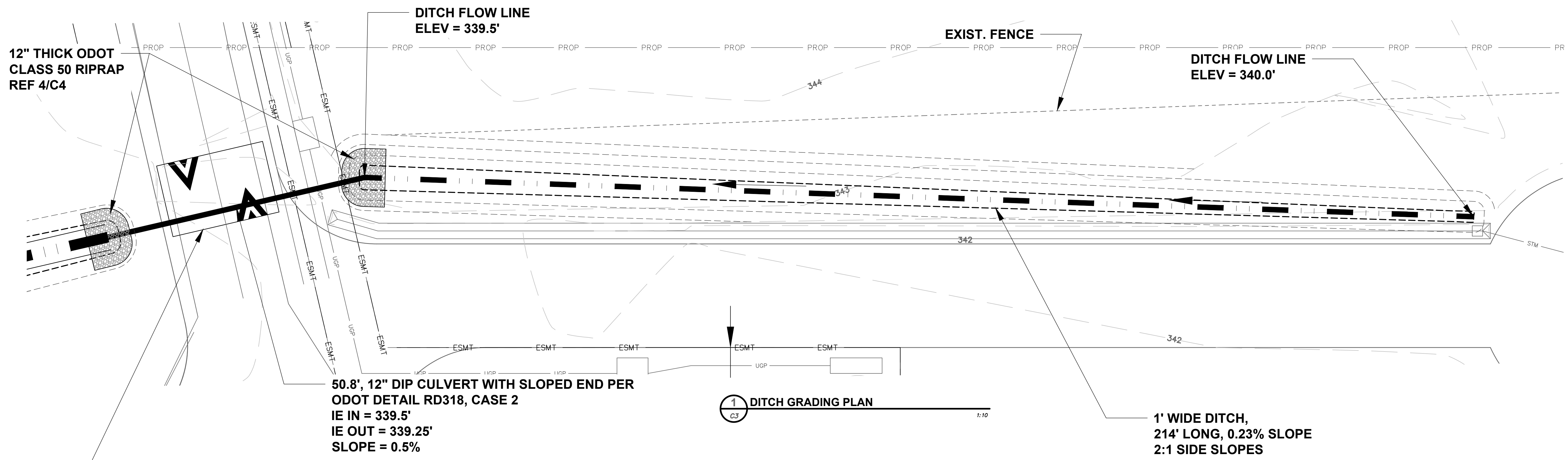
EXISTING  
 STORM PIPE

1 STORM POND GRADING PLAN



NO.	REVISION	DATE	ISSUED FOR

Nov 12, 2019 - 8:33am tom.D:\WIRE Files\Projects\Veritas\WIRE GRADING PLAN - related pond 2 - 11 Nov 2019.dwg



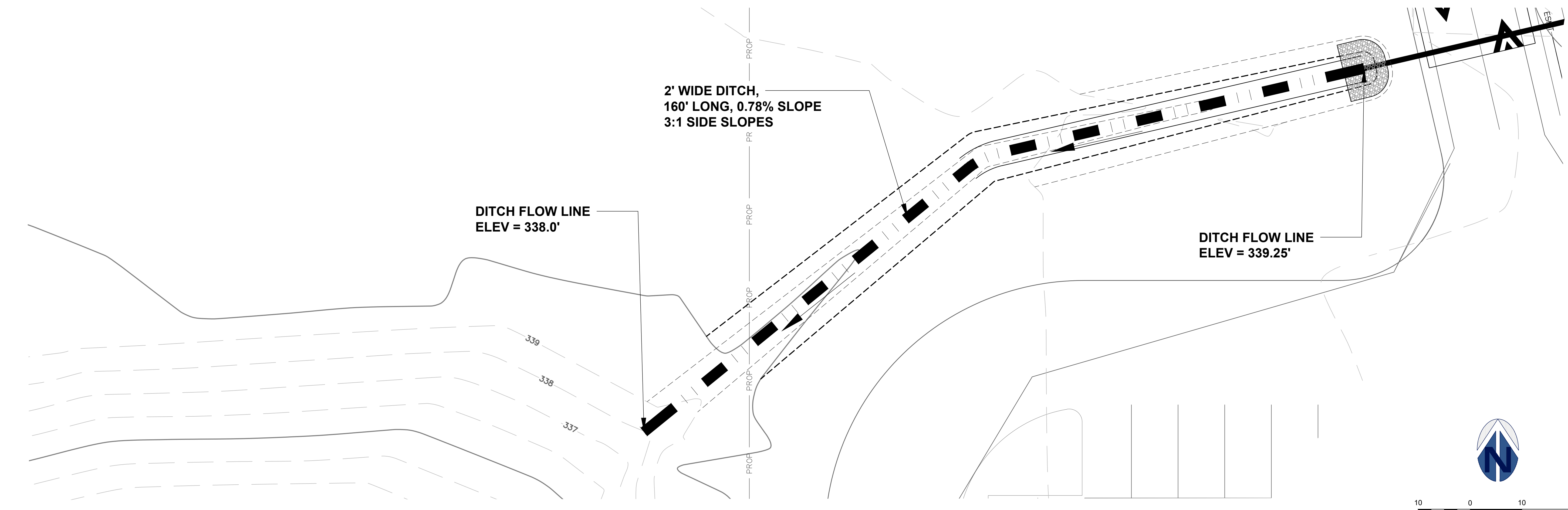
14' SPEED BUMP PER PBOT STD DWG P-440  
THERMOPLASTIC PAVEMENT MARKINGS  
PER PBOT STD DWG P-435. LEAVE 18"  
FROM EDGE OF ROADWAY FOR BICYCLES

50.8', 12" DIP CULVERT WITH SLOPED END PER  
ODOT DETAIL RD318, CASE 2  
IE IN = 339.5'  
IE OUT = 339.25'  
SLOPE = 0.5%

1 DITCH GRADING PLAN  
1:10

1' WIDE DITCH,  
214' LONG, 0.23% SLOPE  
2:1 SIDE SLOPES

DITCH VOLUMES: 289 CY CUT



2' WIDE DITCH,  
160' LONG, 0.78% SLOPE  
3:1 SIDE SLOPES

DITCH FLOW LINE  
ELEV = 338.0'

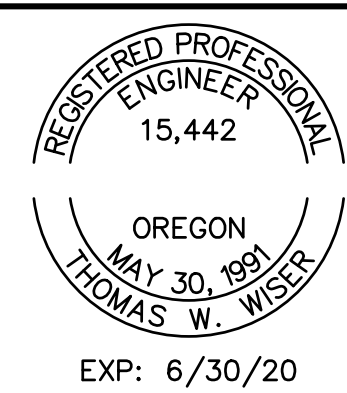
DITCH FLOW LINE  
ELEV = 339.25'

2 DITCH GRADING PLAN  
1:10



Nov 12, 2019 - 8:33am tom.D:\VIRE Files\Projects\Veritas\WIRE GRADING PLAN - related pond 2 - 11 Nov 2019.dwg

**Thomas W. Wisser, P.E.**  
22760 SW Wisser Drive  
Tualatin, Oregon 97062  
503 / 691-6095

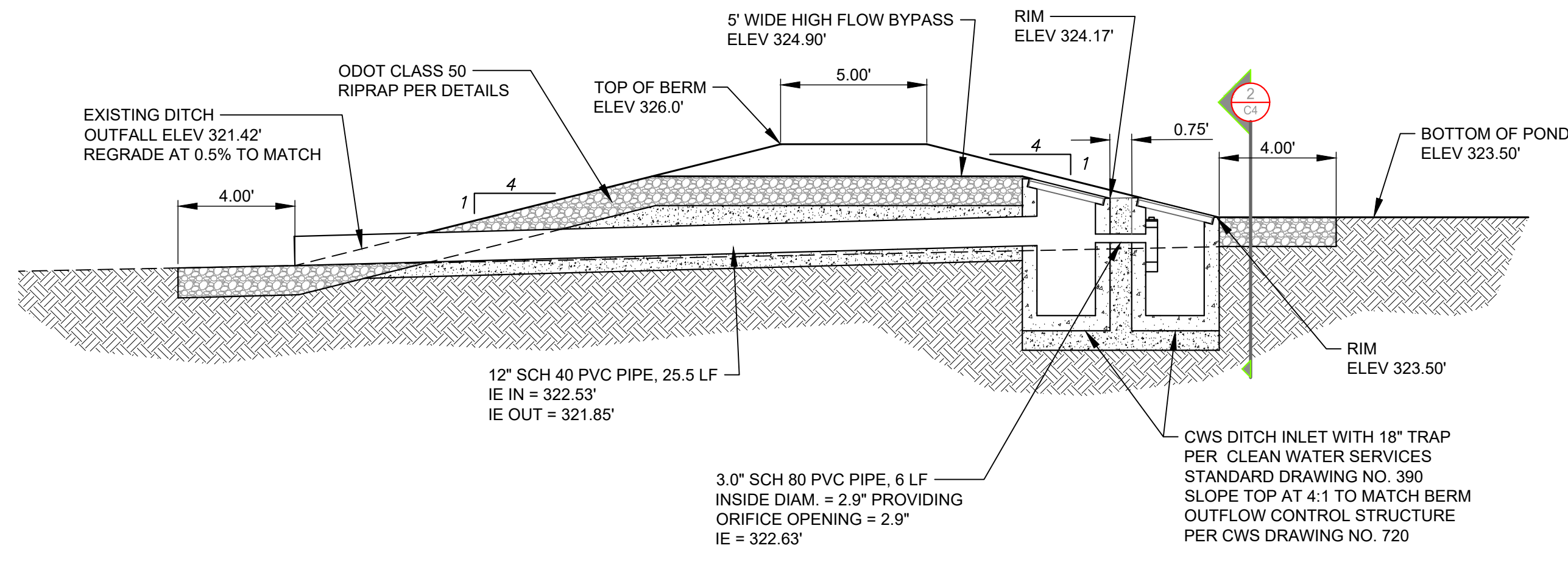


**VERITAS STORM WATER  
IMPROVEMENTS  
GRADING PLAN**

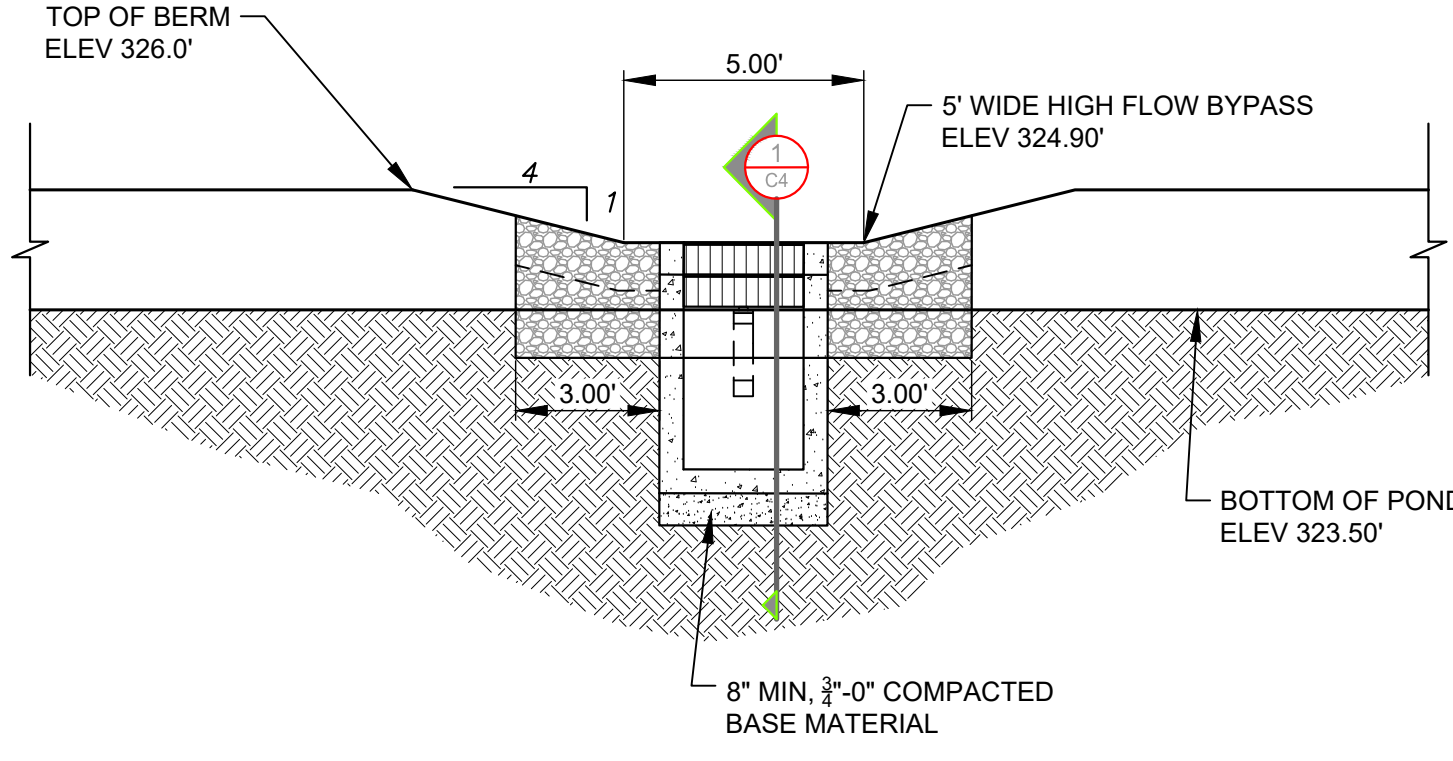
**VERITAS SCHOOL**  
26288 NE BELL ROAD  
NEWBERG, OR 97132

NO.	REVISION	DATE BY	ISSUED FOR

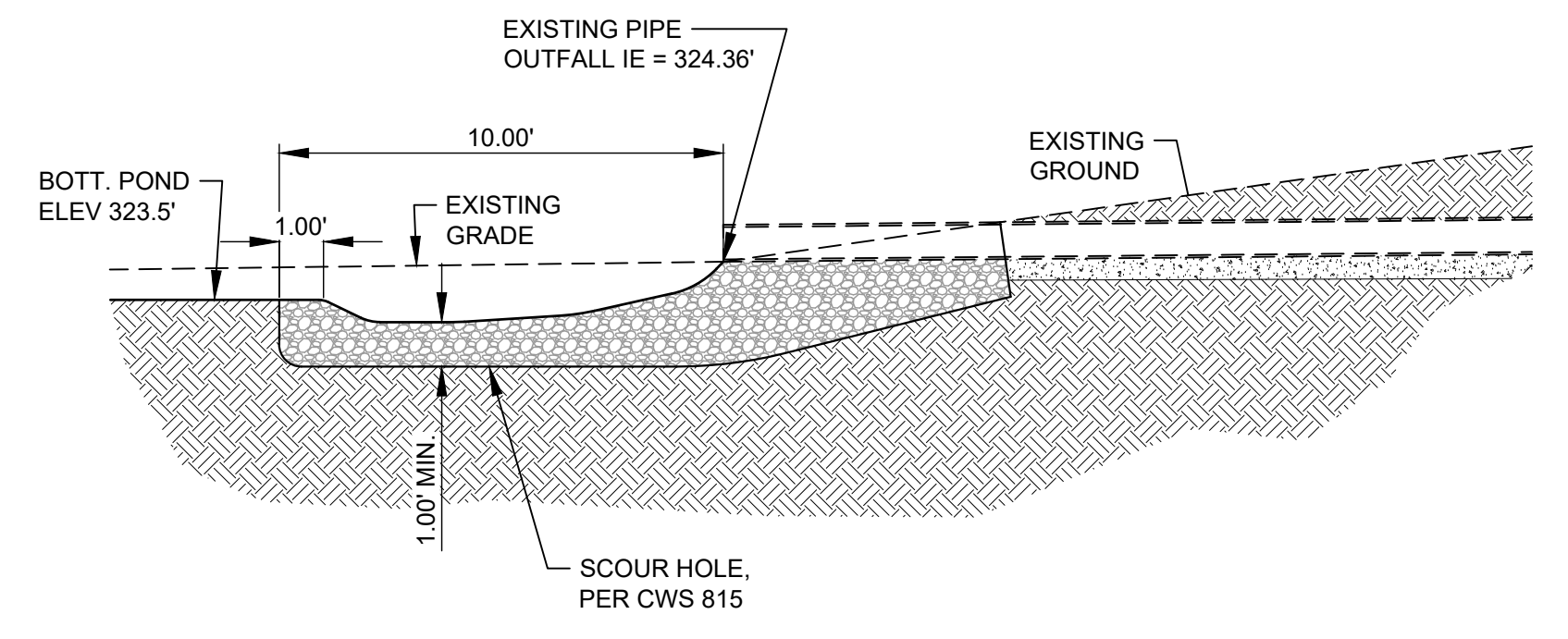
SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
JOB No: \_\_\_\_\_  
DWG. NO. **C3**



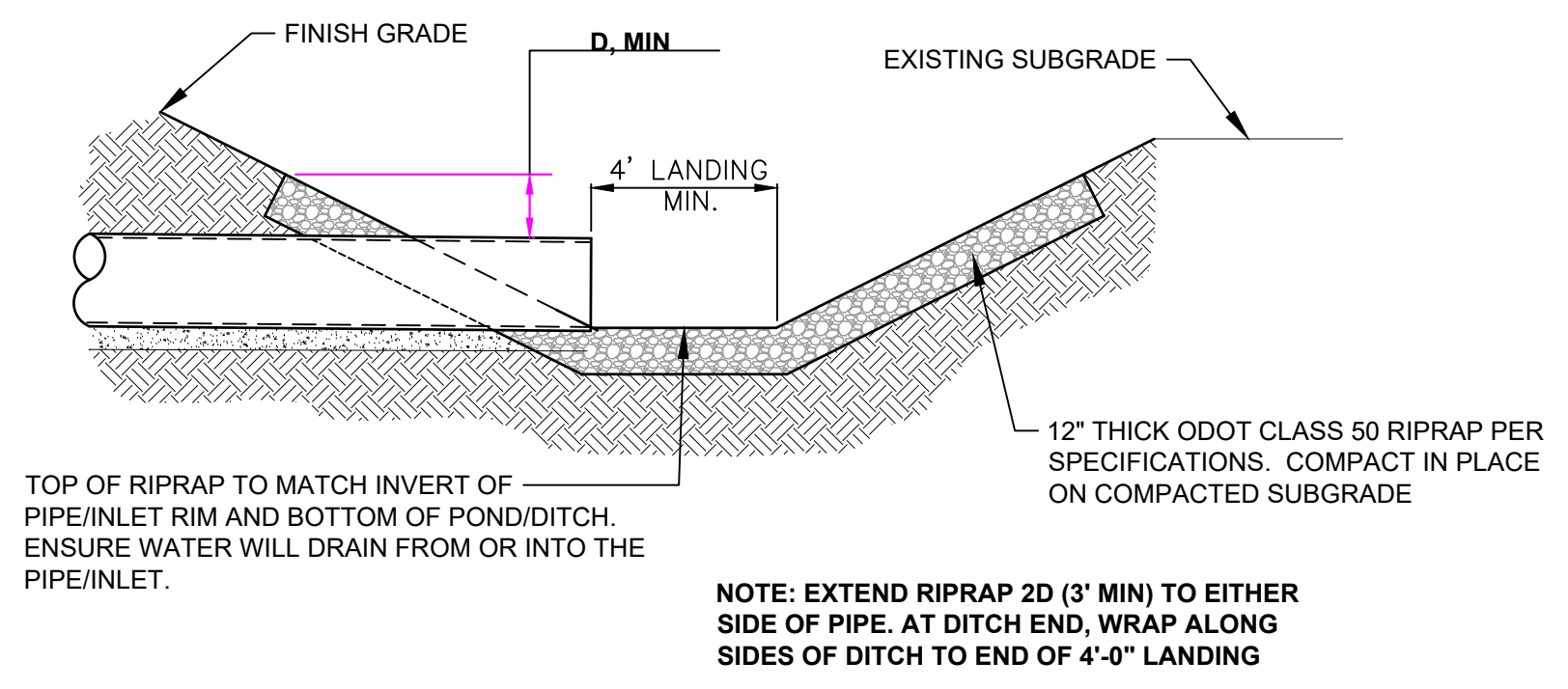
**1 CULVERT OUTFALL RIPRAP PAD DETAIL**  
NTS



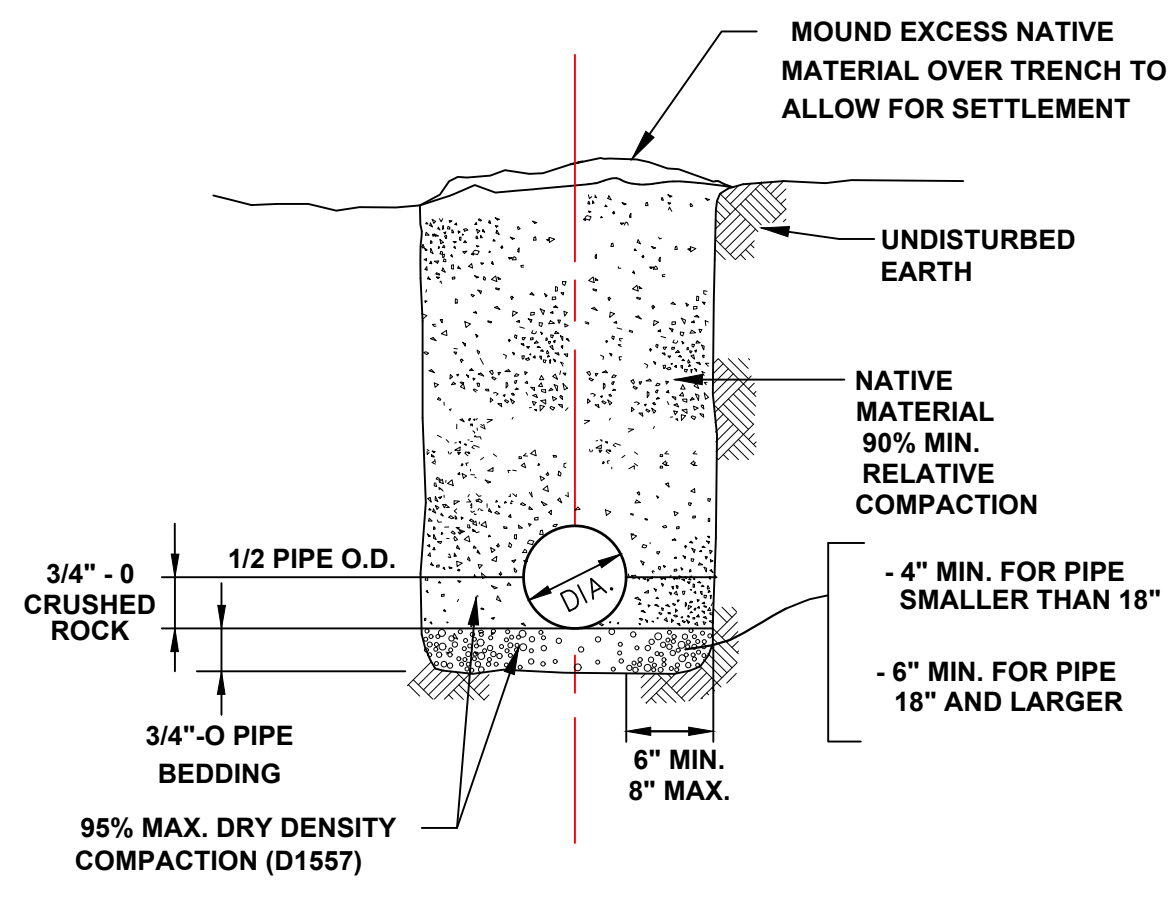
**2 CULVERT OUTFALL RIPRAP PAD DETAIL**  
NTS



**3 EXIST. CULVERT OUTFALL RIPRAP**  
NTS

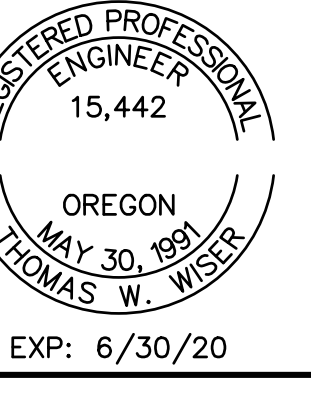


**4 CULVERT OUTFALL RIPRAP PAD DETAIL**  
NTS



**5 PIPE BEDDING DETAIL**  
NTS

**Thomas W. Wiser, P.E.**  
22750 SW Wiser Drive  
Tualatin, Oregon 97062  
503 / 691-6095



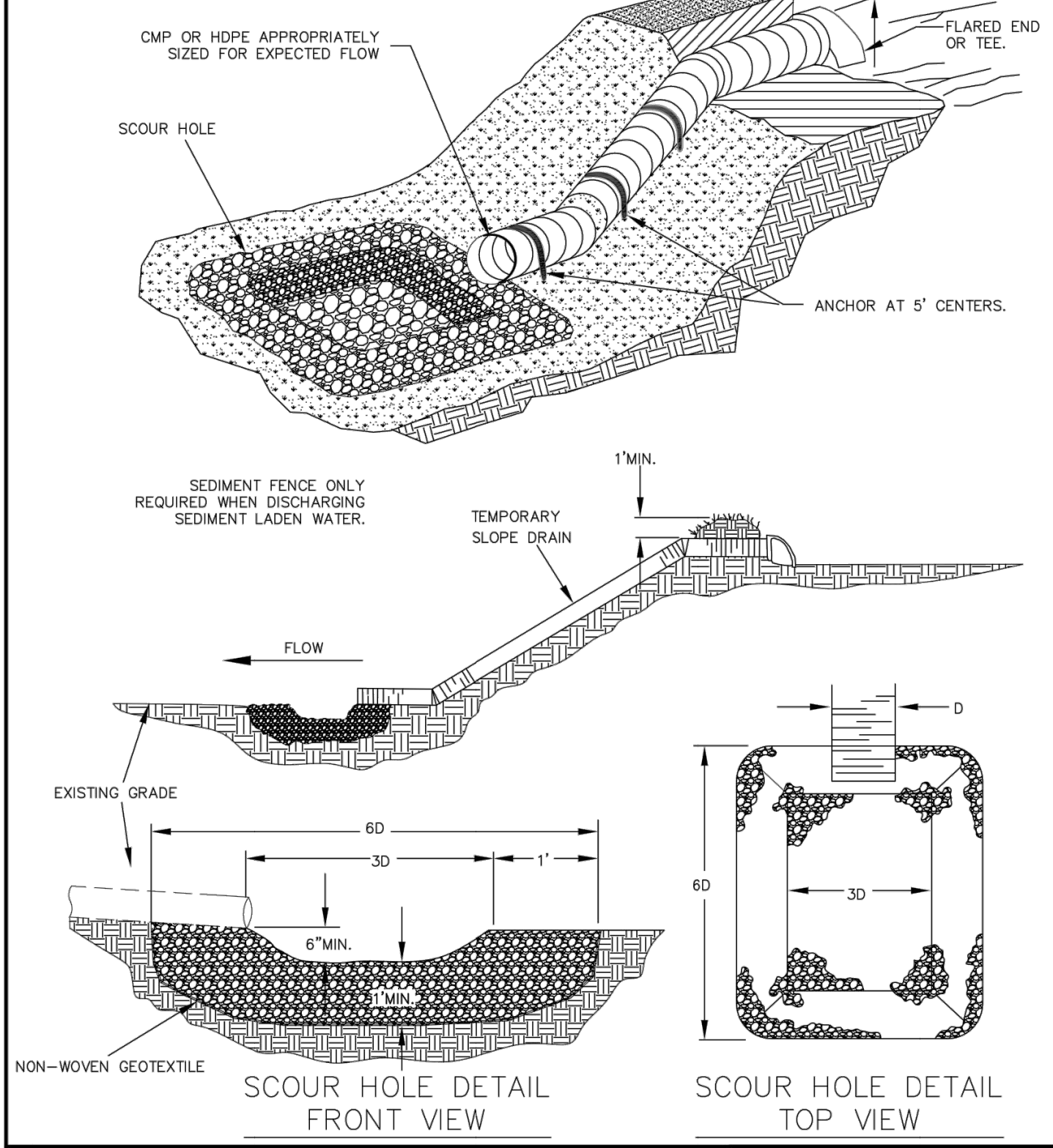
**VERITAS STORM WATER IMPROVEMENTS GRADING DETAILS**

**VERITAS SCHOOL**  
26288 NE BELL ROAD  
NEWBERG, OR 97132

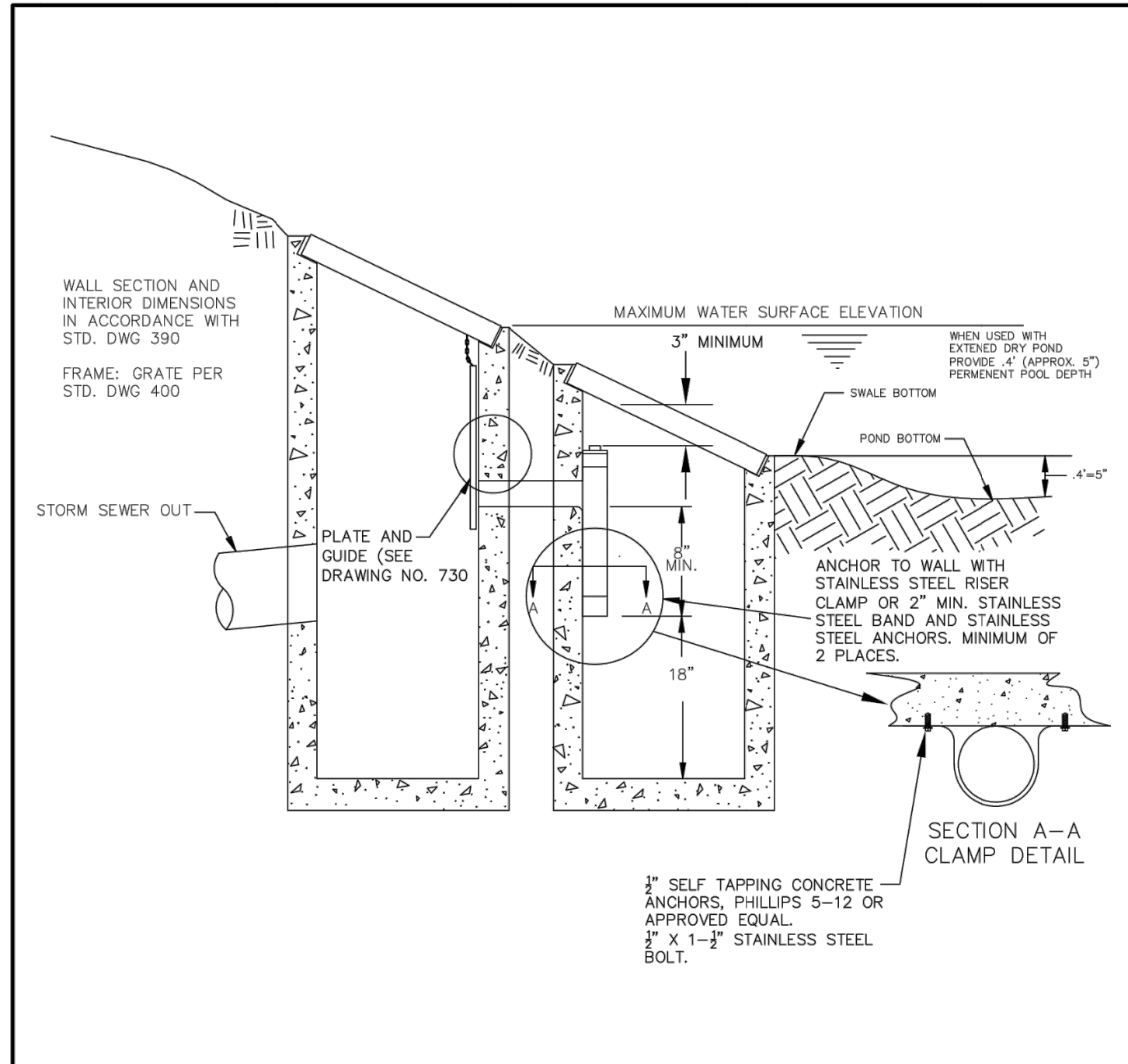
NO.	REVISION	DATE BY	ISSUED FOR

SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
JOB No: \_\_\_\_\_  
DWG. NO. **C4**

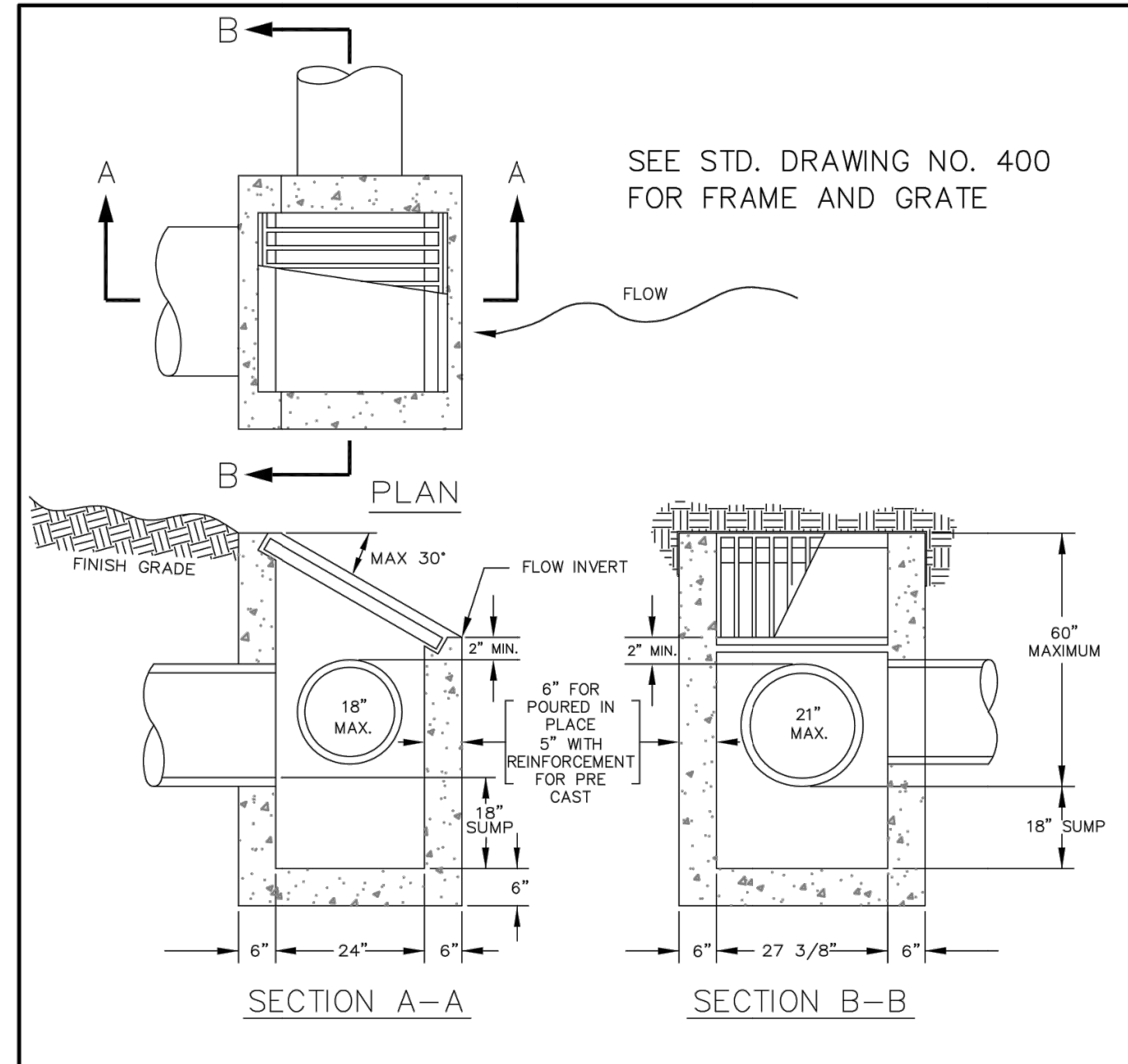
FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



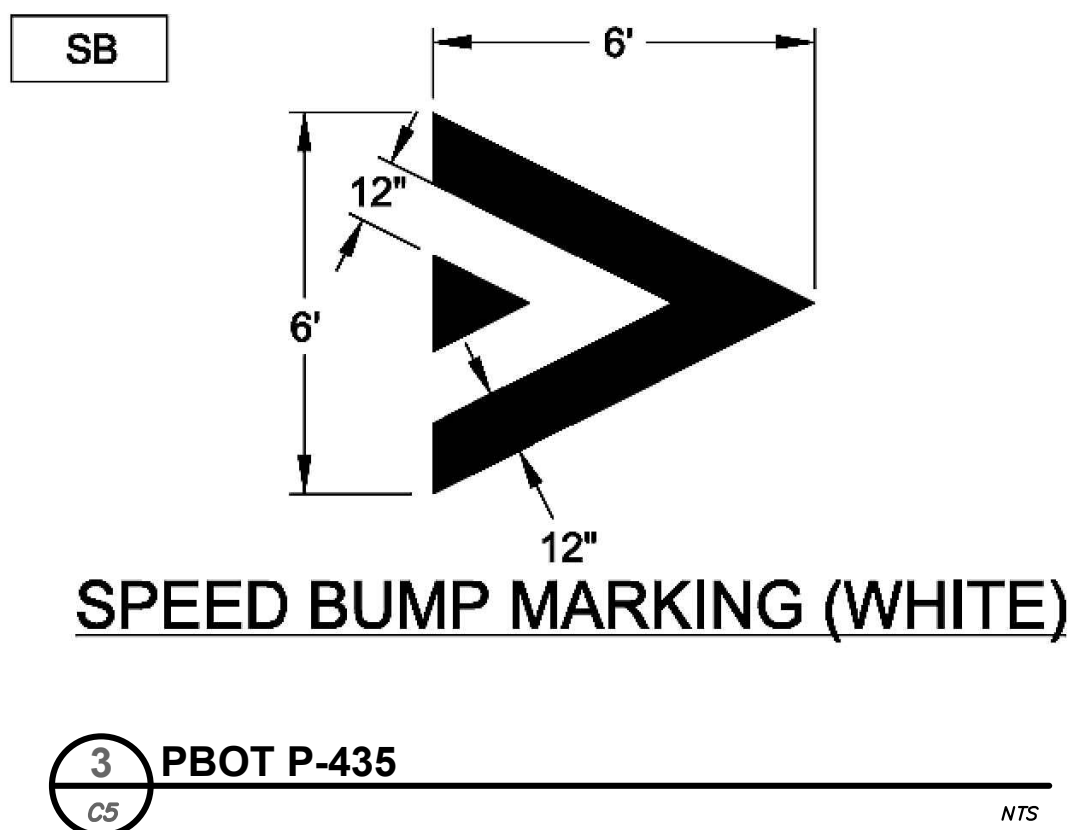
PIPE SLOPE DRAIN  
DRAWING NO. 815 REVISED 12-16  
CleanWater Services



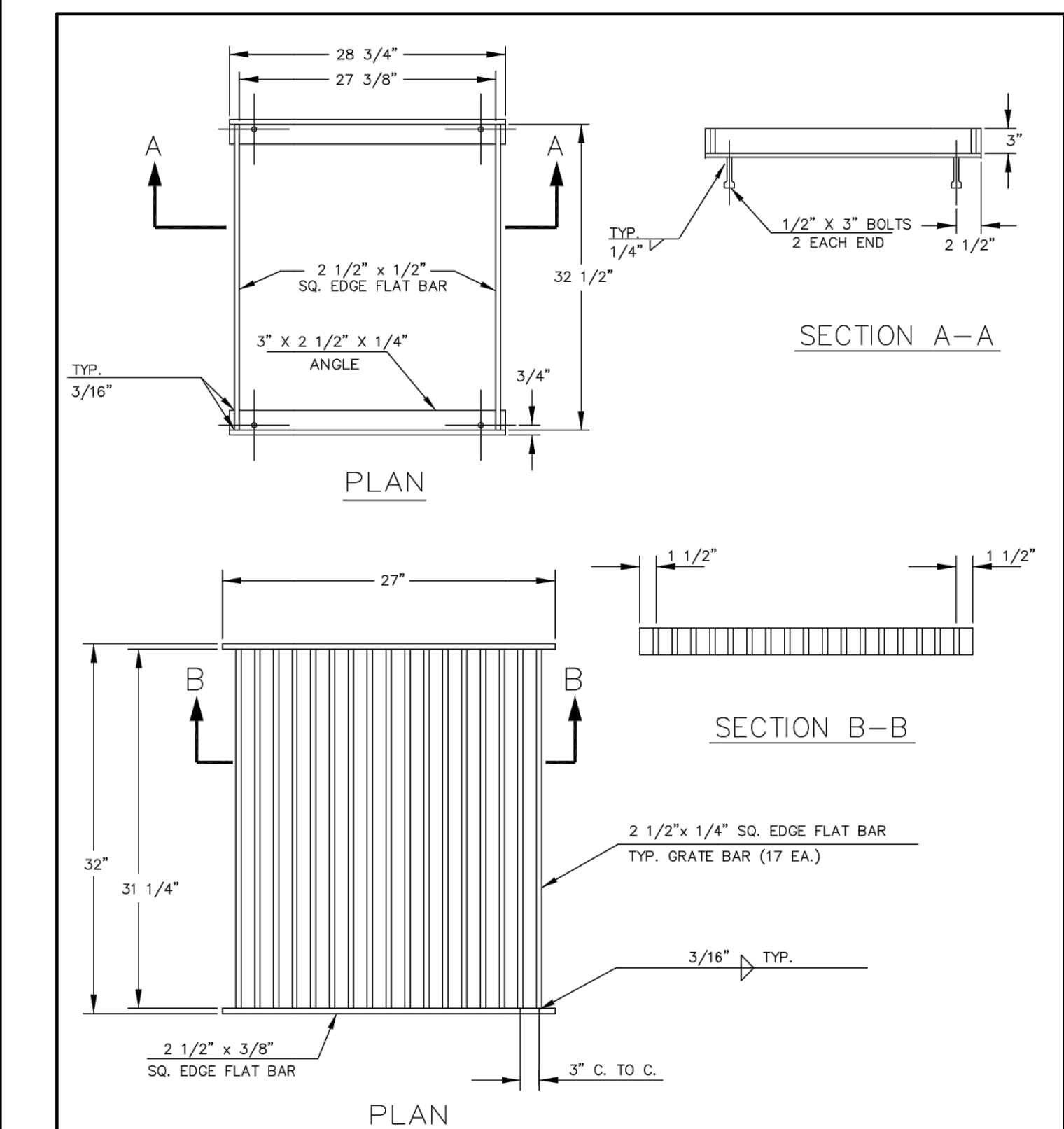
OUTFLOW CONTROL STRUCTURE  
DRAWING NO. 720 REVISED 11-06  
CleanWater Services



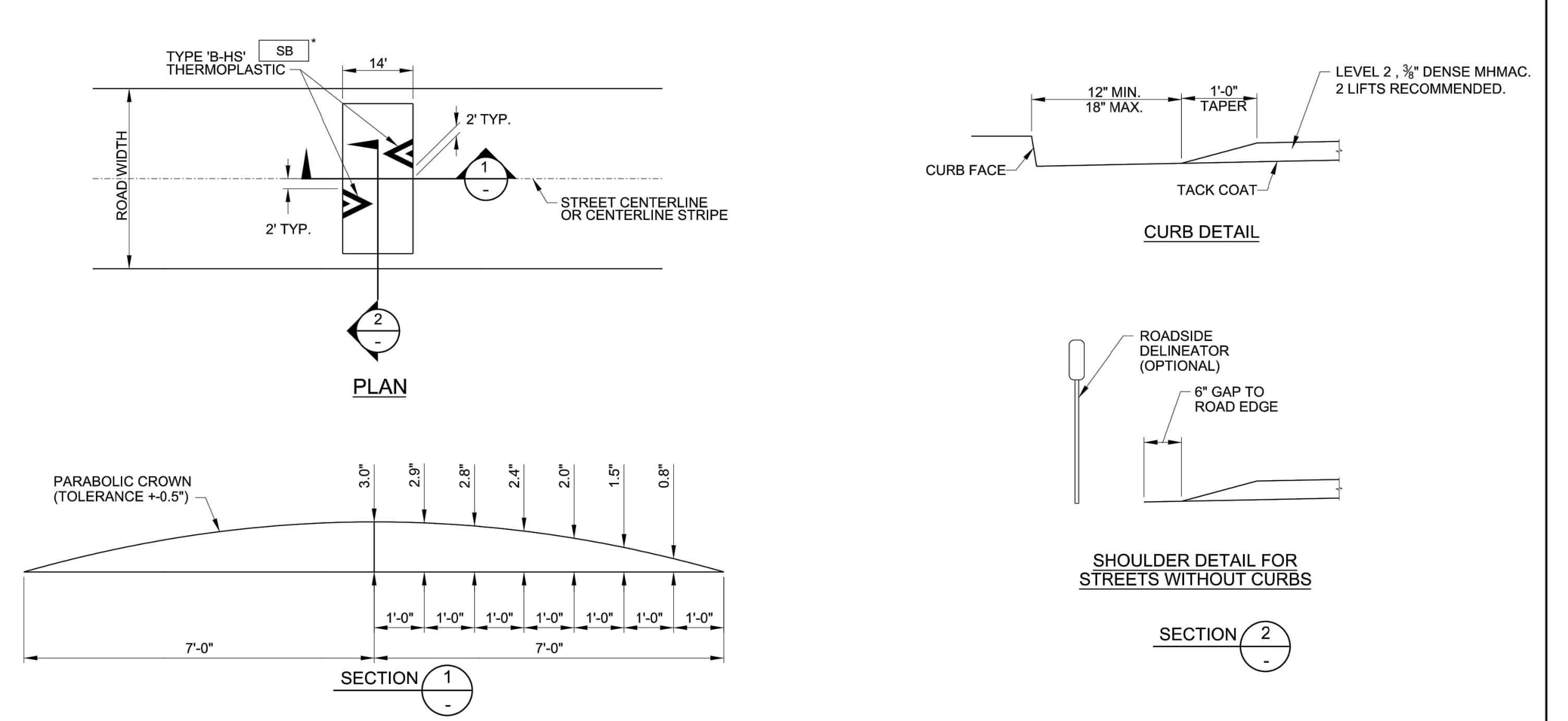
DITCH INLET  
DRAWING NO. 390 REVISED 05-07  
CleanWater Services



VERITAS STORM WATER IMPROVEMENTS  
STANDARD DETAILS



DITCH INLET FRAME AND GRATE  
DRAWING NO. 400 REVISED 12-06  
CleanWater Services



NOTES:  
1. PAVEMENT MARKINGS ON SPEED BUMP SHALL BE INSTALLED CONCURRENTLY WITH THE ASPHALT STRUCTURES. FOLLOW MANUFACTURER'S INLAY PROCEDURES FOR PAVEMENT MARKINGS ON SPEED BUMPS.  
2. PAVEMENT MARKINGS AND SIGNS SHALL BE INSTALLED BEFORE OPENING ANY LANE TO TRAFFIC THAT IS OCCUPIED BY A NEW SPEED BUMP.  
3. PAVEMENT MARKING LAYOUT ASSUMES A TWO-LANE, TWO-WAY STREET WITH PARKING ON BOTH SIDES. FOR ALL OTHER CONFIGURATIONS SUBMIT REVISED LAYOUT TO ENGINEER FOR APPROVAL.  
\* SEE PBOT STANDARD DETAIL P-435

PORTLAND BUREAU OF TRANSPORTATION  
PBOT  
Steve Tomson  
City Engineer  
Standard Drawing Title  
14' ASPHALT LOCAL SPEED BUMP  
Effective Date: 03-15-2018  
Standard Drawing No. P-440  
Calc. Book No.: 440  
Std. Drg. Report Date: 03-15-2018

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user.

Note: All material and workmanship shall be in accordance with the City of Portland Standard Construction Specifications.

SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
JOB No: \_\_\_\_\_  
DWG. NO. **C5**

Thomas W. Wiser, P.E.  
22750 SW Wiser Drive  
Tualatin, Oregon 97062  
503 / 691-6095



REGISTERED PROFESSIONAL ENGINEER  
15,442  
OREGON  
MAY 30, 1991  
THOMAS W. WISER  
EXP: 6/30/20

VERITAS STORM WATER IMPROVEMENTS  
STANDARD DETAILS

VERITAS SCHOOL  
26288 NE BELL ROAD  
NEWBERG, OR 97132

NO.	REVISION	DATE BY	ISSUED FOR

Nov 12, 2019 - 8:34am tom.d.wire Final\Projects\Veritas\School\Grading\PLAN - related pond 2 - 11 Nov 2019.dwg

**CONTRACTOR/APPLICANT**

HAWORTH INCORPORATED  
CONTACT: TROY HAWORTH  
13500 SW HWY 99W  
MCMINNVILLE, OR 97128  
PHONE: 503.472.2452

**PROJECT OWNERS**

VERITAS SCHOOL  
CONTACT: BRYAN LYNCH  
26288 NE BELL ROAD  
NEWBERG, OR 97132  
PHONE: 503.538.1962

**PLANNING/ENGINEERING/SURVEYING**

WISER RAIL ENGINEERING  
CONTACT: TOM WISER  
22750 SW MIAMI DRIVE, TUALATIN, OR 97062  
PHONE: (503) 691-6095

**RECEIVING WATER BODIES:**

CHEHALEM CREEK

PERMITTEE'S SITE 24-HR CONTACT: TROY HAWORTH

COMPANY/AGENCY: HAWORTH INCORPORATED  
PHONE: 593.550.3272  
E-MAIL: TROY@HAWORTHINC.NET  
DESCRIPTION OF EXPERIENCE:  
10+ YEARS AS CONSTRUCTION SUPERINTENDENT & QA MANAGER

**PROJECT INFORMATION**

**LOCATION**  
INTERSECTION OF NE COLLEGE ROAD AND NE BELL ROAD, NEWBERG, OREGON  
26288 NE BELL RD, NEWBERG, OR 97132  
LATITUDE: 45.33 LONGITUDE: -122.77  
MAP NUMBER: 3S 2W 08, TAXLOT: 2700, 2702

**PROPERTY DESCRIPTION**

THE PROJECT SITE IS A 13.35 ACRE PARCEL. THE PROJECT WILL DEVELOP STORMWATER PONDING FOR THE EXISTING SCHOOL. CONSTRUCTION ACTIVITIES INCLUDE CLEARING AND GRADING. CONSTRUCTION WILL BEGIN IN DECEMBER AND BE COMPLETED IN SPRING OF 2020.

**AREA OF DISTURBANCE**

ONSITE - 0.57 ACRE

**SOIL CLASSIFICATION**

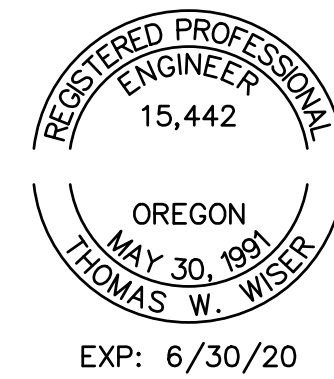
2211B COVE SILTY CLAY LOAM, HYDROLOGIC SOIL GROUP D  
2304C CARLTON SILT LOAM, HYDROLOGIC SOIL GROUP C/D  
2706C HAZELAIR SILTY CLAY LOAM, HYDROLOGIC SOIL GROUP D  
2775F SAUM-RITNER COMPLEX, HYDROLOGIC SOIL GROUP C  
2776D PANTHER-WITHAM COMPLEX, HYDROLOGIC SOIL GROUP D  
EROSIVE POTENTIAL: MODERATE

**EROSION CONTROL NOTES**

**GENERAL**

- OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) MEASURES, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
  - THE IMPLEMENTATION OF THESE EPSC PLANS AND CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE EPSC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE LOCAL JURISDICTION, AND VEGETATION/LANDSCAPING IS ESTABLISHED. THE DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER THE PROJECT IS APPROVED.
  - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE MARKINGS SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
  - THE EPSC MEASURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
  - THE EPSC MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE EPSC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
  - THE EPSC MEASURES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
  - AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE MORE THEN 1/3 THE BARRIER HEIGHT. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATIONS SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
  - STABILIZED ROCK ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
  - STORM DRAIN INLETS, BASINS, AND AREA DRAINS SHALL BE PROTECTED UNTIL PAVEMENT SURFACES ARE COMPLETED AND/OR VEGETATION IS RE-ESTABLISHED.
  - PAVEMENT SURFACES AND VEGETATION ARE TO BE PLACED AS RAPIDLY AS POSSIBLE.
  - SEEDING SHALL BE PERFORMED NO LATER THAN SEPTEMBER 1 FOR EACH PHASE OF CONSTRUCTION.
  - IF THERE ARE EXPOSED SOILS OR SOILS NOT FULLY ESTABLISHED FROM OCTOBER 1 THROUGH APRIL 30, THE WET WEATHER EROSION PREVENTION MEASURES WILL BE IN EFFECT.
  - THE DEVELOPER SHALL REMOVE EPSC MEASURES ONLY AFTER VEGETATION IS FULLY ESTABLISHED.
- WASTE MANAGEMENT**
- CONTRACTOR TO DESIGNATE WASTE COLLECTION AREAS ON SITE.
  - WASTE CONTAINERS TO BE IN A COVERED AND/OR IN A SECONDARY CONTAINMENT.
  - CONTRACTOR TO COLLECT SITE TRASH DAILY.
  - CONTRACTOR TO MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES FREE FROM ANY WASTE/LITTER.
  - TOXIC LIQUID WASTES TO BE DISPOSED OF PROPERLY AND NOT ON SITE IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS.
  - CONTRACTOR TO PROVIDE AND MAINTAIN A SPILL KIT ON SITE.
- DUST CONTROL**
- DUST CONTROL TO BE MANAGED WITH SEEDING, MULCHING, MATTING, OR WATERING AS NEEDED.
- SLOPE STABILIZATION**
- PROVIDE SLOPE STABILIZATION AS NEEDED PER DTL SHEET ESC4.

Site Condition	Minimum Frequency
1. Active period	Daily when stormwater runoff, including runoff from snow melt, is occurring.  At least once every 14 days, regardless of whether stormwater runoff is occurring.
2. Prior to the site becoming inactive or in anticipation of site inaccessibility	Once to ensure that erosion and sediment control measure are in working order. Any necessary maintenance and repair must be made prior to leaving the site.
3. Inactive periods greater than fourteen (14) consecutive calendar days	Once every month.
4. Periods during which the site is inaccessible due to inclement weather	If practical, inspections must occur daily at a relevant and accessible discharge point or downstream location.
5. Periods during which discharge is unlikely due to frozen conditions.	Monthly. Resume monitoring immediately upon melt, or when weather conditions make discharges likely.



**VERITAS STORM WATER IMPROVEMENTS**

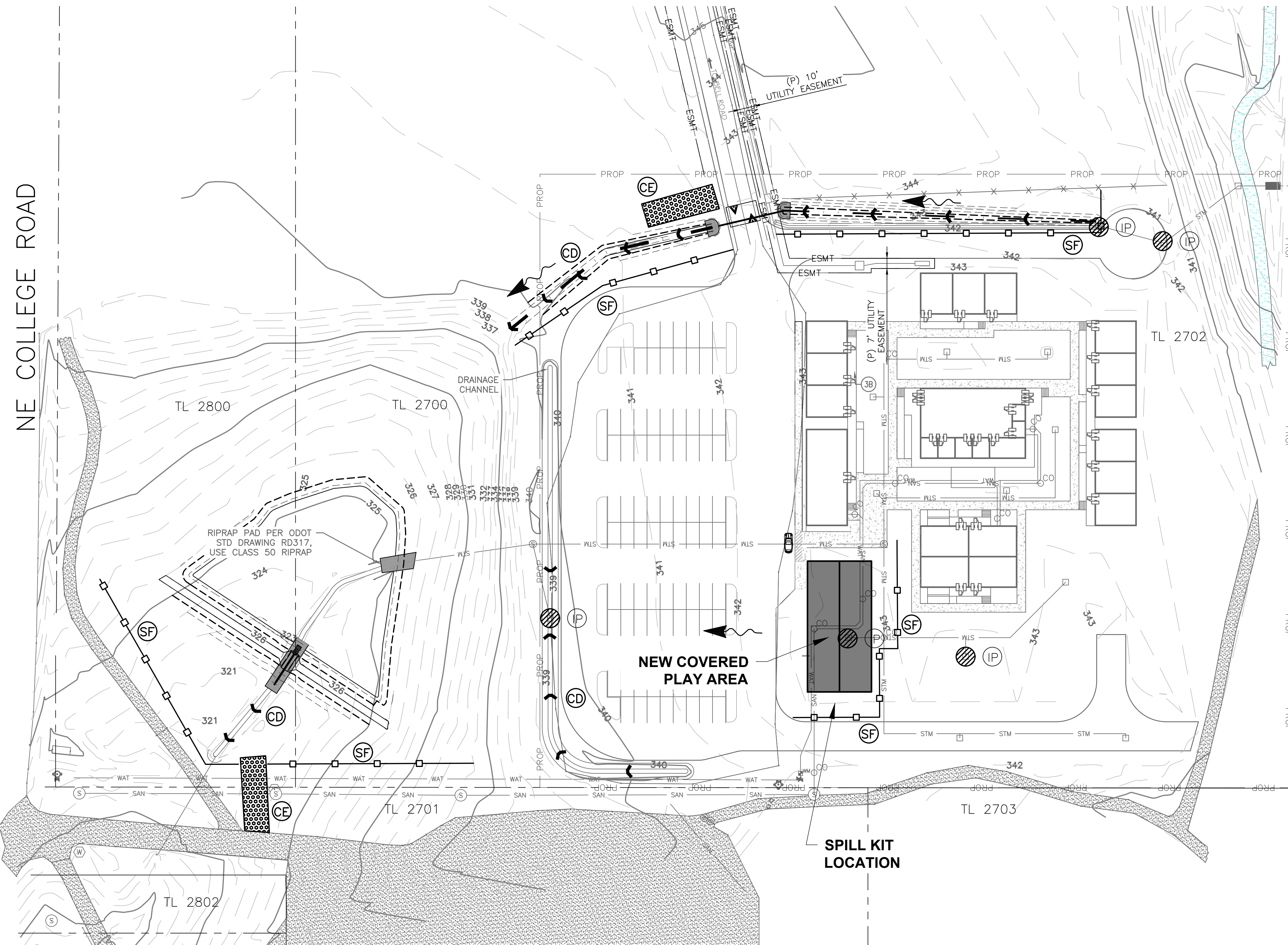
**EROSION CONTROL NOTES**

**VERITAS SCHOOL**

26288 NE BELL ROAD  
NEWBERG, OR 97132

NO.	REVISION	DATE BY	ISSUED FOR

SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
JOB No: \_\_\_\_\_  
DWG. NO. **ESC 1**



FINAL

**EROSION & SEDIMENT CONTROL LEGEND:**

	EXISTING MAJOR CONTOUR		FLOW DIRECTION INDICATOR
	EXISTING MINOR CONTOUR		BIO BAG CHECK DAMS PER DTL SHT ESC4
	INLET PROTECTION PER DTLS SHT ESC3		STRAW WATTLES PER SHT ESC4
	CONSTRUCTION ENTRANCE PER DTL SHT ESC3		
	SEDIMENT FENCE PER DTL SHT ESC3		

**ESTABLISHING TEMPORARY GRASSES AND PERMANENT VEGETATIVE COVER**

**CONDITIONS WHERE PRACTICE APPLIES**

- ALL GROUND SURFACES EXPOSED DURING THE WET SEASON
- AREAS WHICH WILL NOT BE SUBJECT TO HEAVY WEAR BY ON-GOING CONSTRUCTION TRAFFIC
- EXPOSED GROUND SURFACES AT END OF CONSTRUCTION PERIOD (PERMANENT COVER MUST BE ESTABLISHED PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURES).
- TEMPORARY OR PERMANENT STABILIZATION OF NEW OR DISTURBED DITCHES

**DESIGN CRITERIA/SPECIFICATIONS: TEMPORARY EROSION CONTROL GRASSES AND PERMANENT VEGETATIVE COVER**

- TEMPORARY GRASS COVER MEASURES MUST BE FULLY ESTABLISHED BY NOVEMBER 1 OR OTHER COVER MEASURES WILL HAVE TO BE IMPLEMENTED UNTIL ADEQUATE GRASS COVERAGE IS ACHIEVED. TO ESTABLISH AN ADEQUATE GRASS STAND FOR CONTROLLING EROSION BY NOVEMBER 1, IT IS RECOMMENDED THAT SEEDING AND MULCHING OCCUR BY OCTOBER 1.
- SOIL PREPARATION – TOP SOIL SHOULD BE PREPARED ACCORDING TO LANDSCAPE PLANS, IF AVAILABLE, OR RECOMMENDATION OF GRASS SEED SUPPLIER.

- SEEDING – RECOMMENDED EROSION CONTROL GRASS SEED MIX FOR TEMPORARY AND PERMANENT SEEDING:

	PLS
AGROSTIS EXARATA (SPIKE BENTGRASS)	0.25 (LB/ACRE)
FESTUCA RUBRA (RED FESCUE)	1.75 (LB/ACRE)
ELYMUS GLAUCUS (BLUE WILDRIE)	8.0 (LB/ACRE)
DESCHAMPSIA CAESPITOSA (TUFTED HAIRGRASS)	1.0 (LB/ACRE)
GLYCERIA OCCIDENTALIS (WESTERN MANNAGRASS)	4.25 (LB/ACRE)
BROMUS CARINATUS (CALIFORNIA BROME)	11 (LB/ACRE)
HORDEUM VULGARIS 'POCO' (POCO BARLEY)	40 (LB/ACRE)

- APPLY PERMANENT SEEDING IN STAGES UPON COMPLETION OF FINISH GRADING.
- FERTILIZATION FOR GRASS SEED – AS PER SUPPLIER'S RECOMMENDATIONS. DEVELOPMENT AREAS WITHIN 50 FEET OF WATER BODIES AND WETLANDS MUST USE A NON-PHOSPHORUS FERTILIZER.
- WATERING – SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE TO ESTABLISH GRASS. SUPPLY WATER AS NEEDED, ESPECIALLY IN ABNORMALLY HOT OR DRY WEATHER OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PROVIDE ADEQUATE MOISTURE WITHOUT CAUSING RUNOFF.
- RE-SEEDING – AREAS WHICH FAIL TO ESTABLISH GRASS COVER ADEQUATE TO PREVENT EROSION SHALL BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED AND ALL APPROPRIATE MEASURES TAKEN TO ESTABLISH ADEQUATE GRASS COVER.

**Thomas W. Wisser, P.E.**  
 22760 SW Wisser Drive  
 Tualatin, Oregon 97062  
 503 / 691-6095

REGISTERED PROFESSIONAL ENGINEER  
 15,442  
 OREGON  
 MAY 30, 1991  
 THOMAS W. WISSER  
 EXP: 6/30/20

VERITAS STORM WATER IMPROVEMENTS  
 EROSION CONTROL

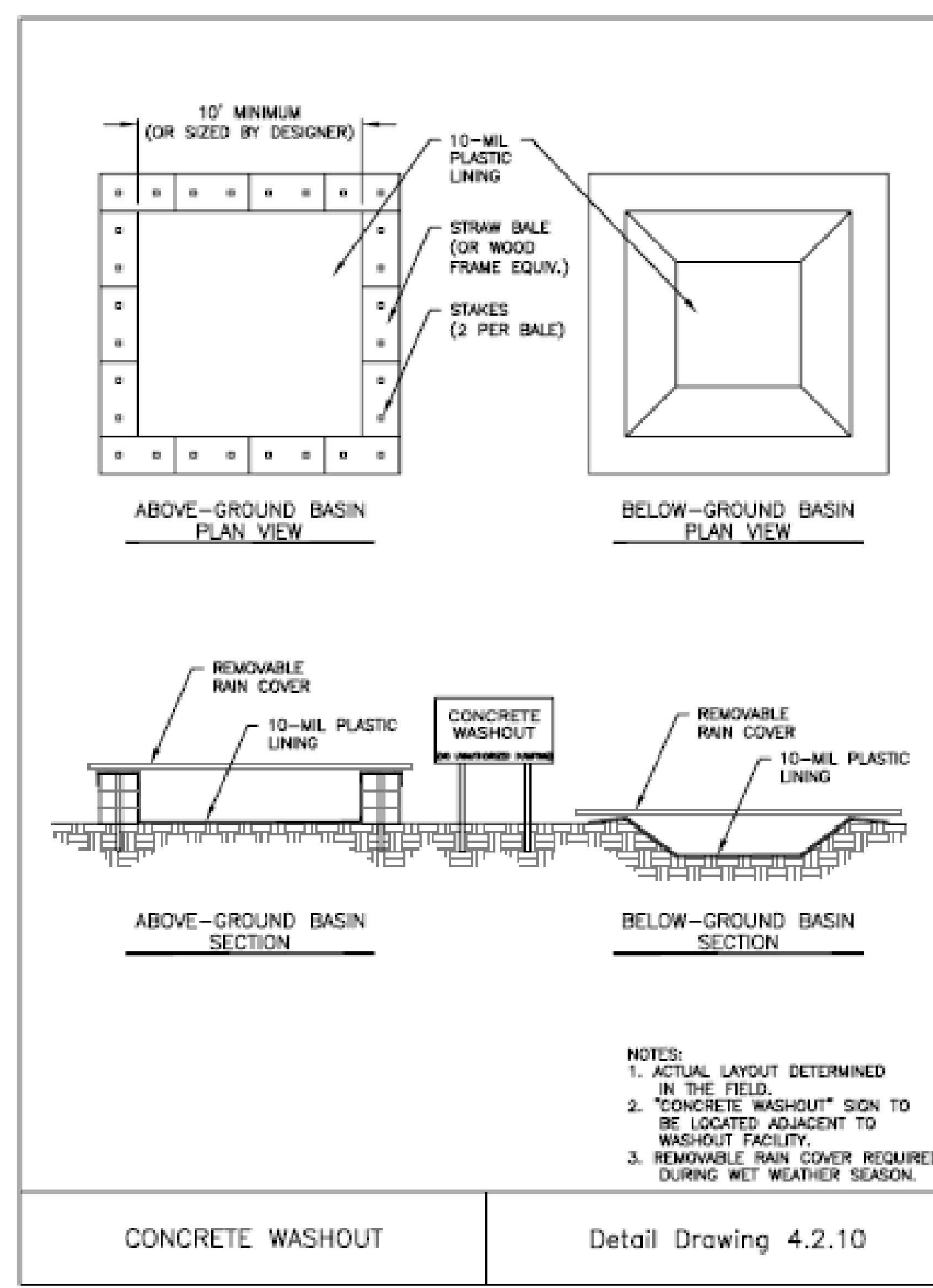
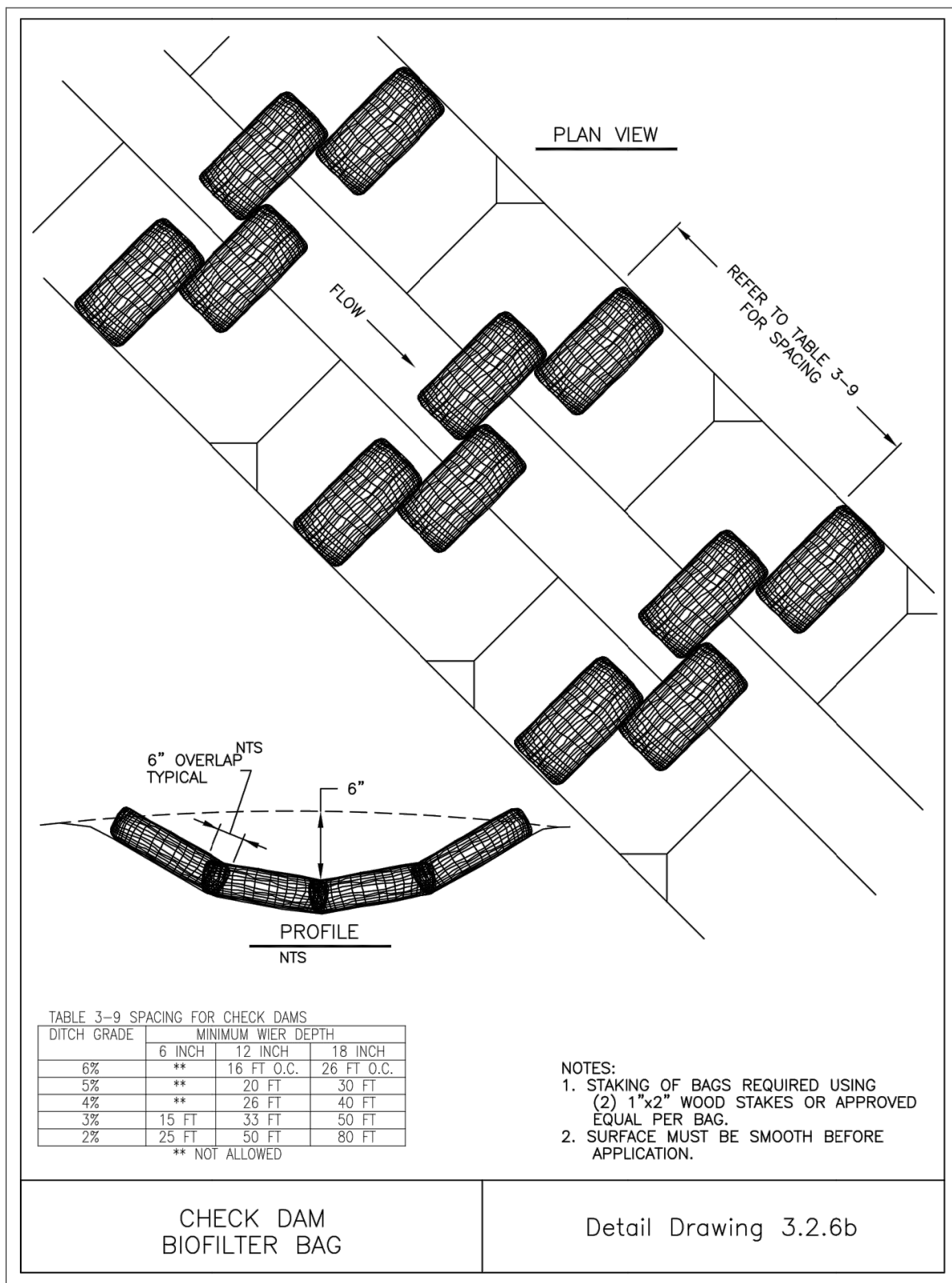
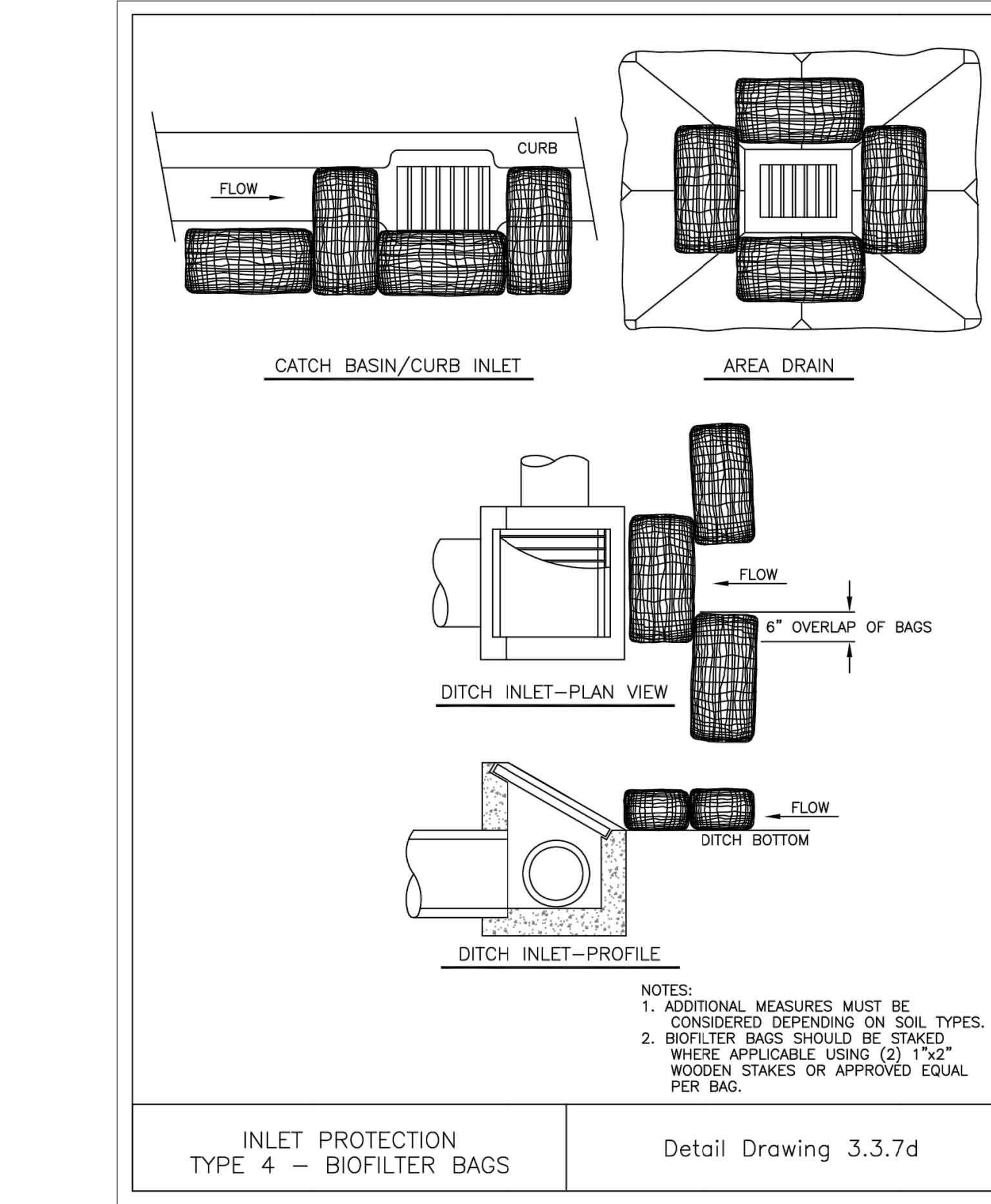
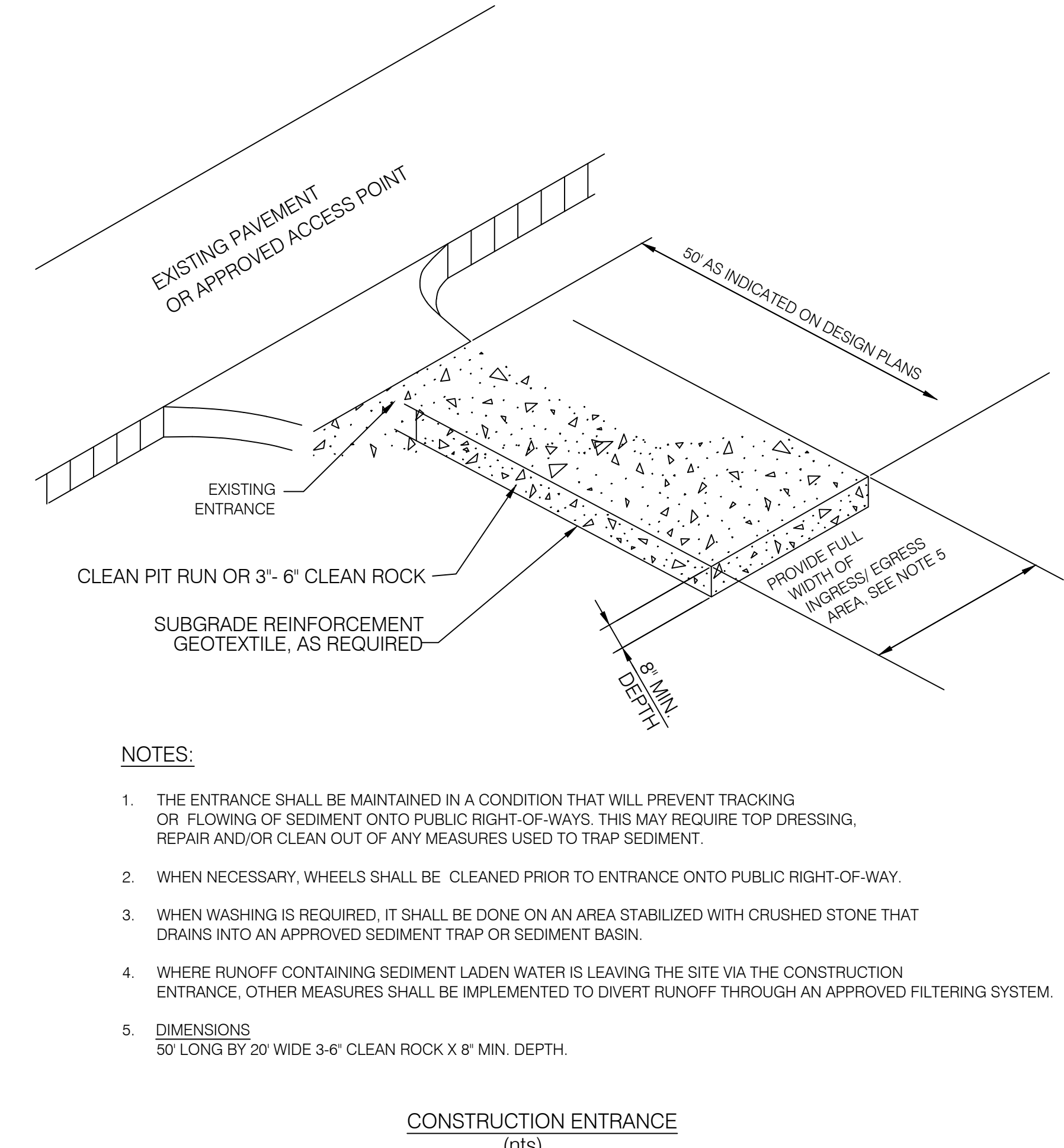
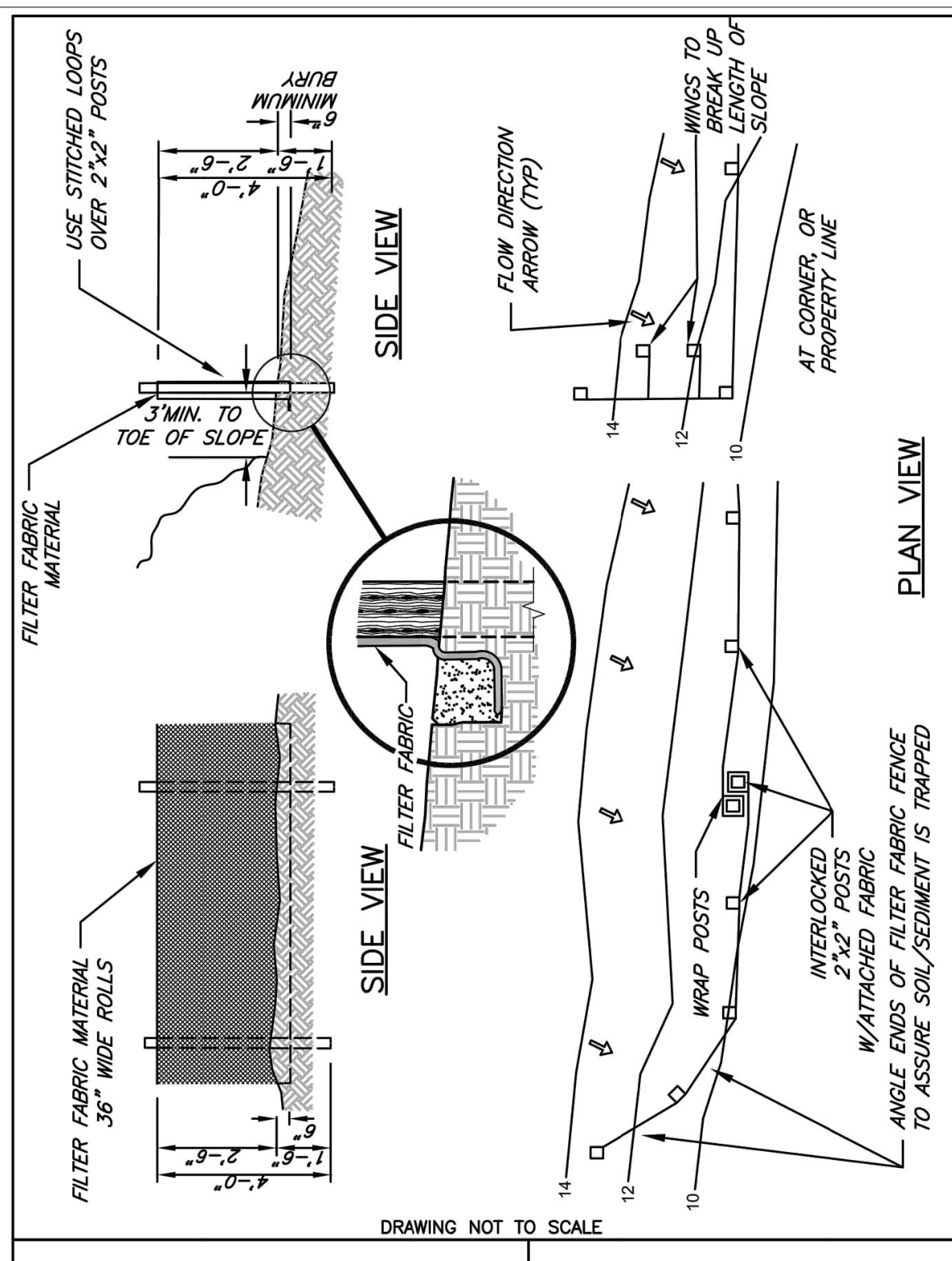
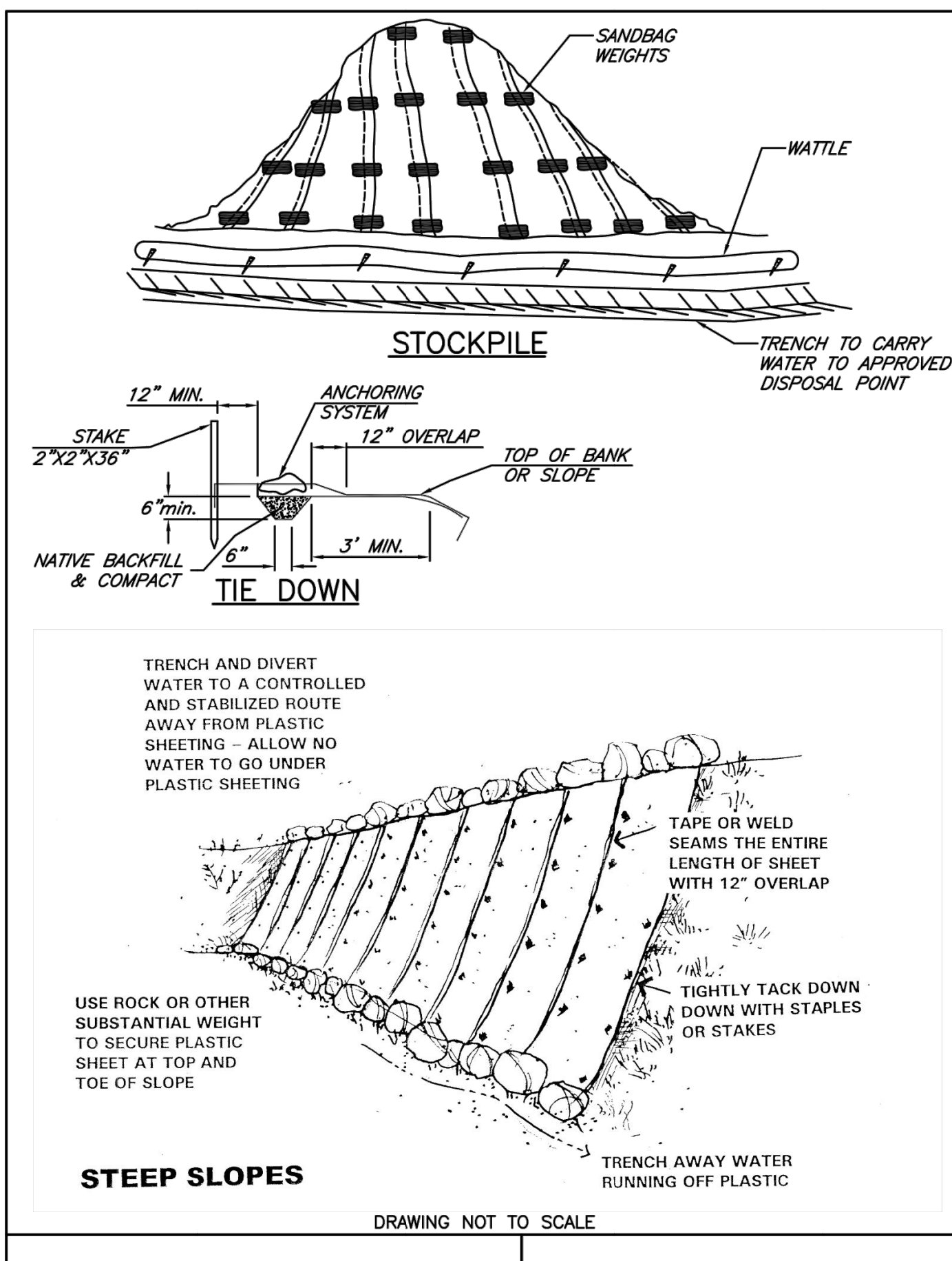
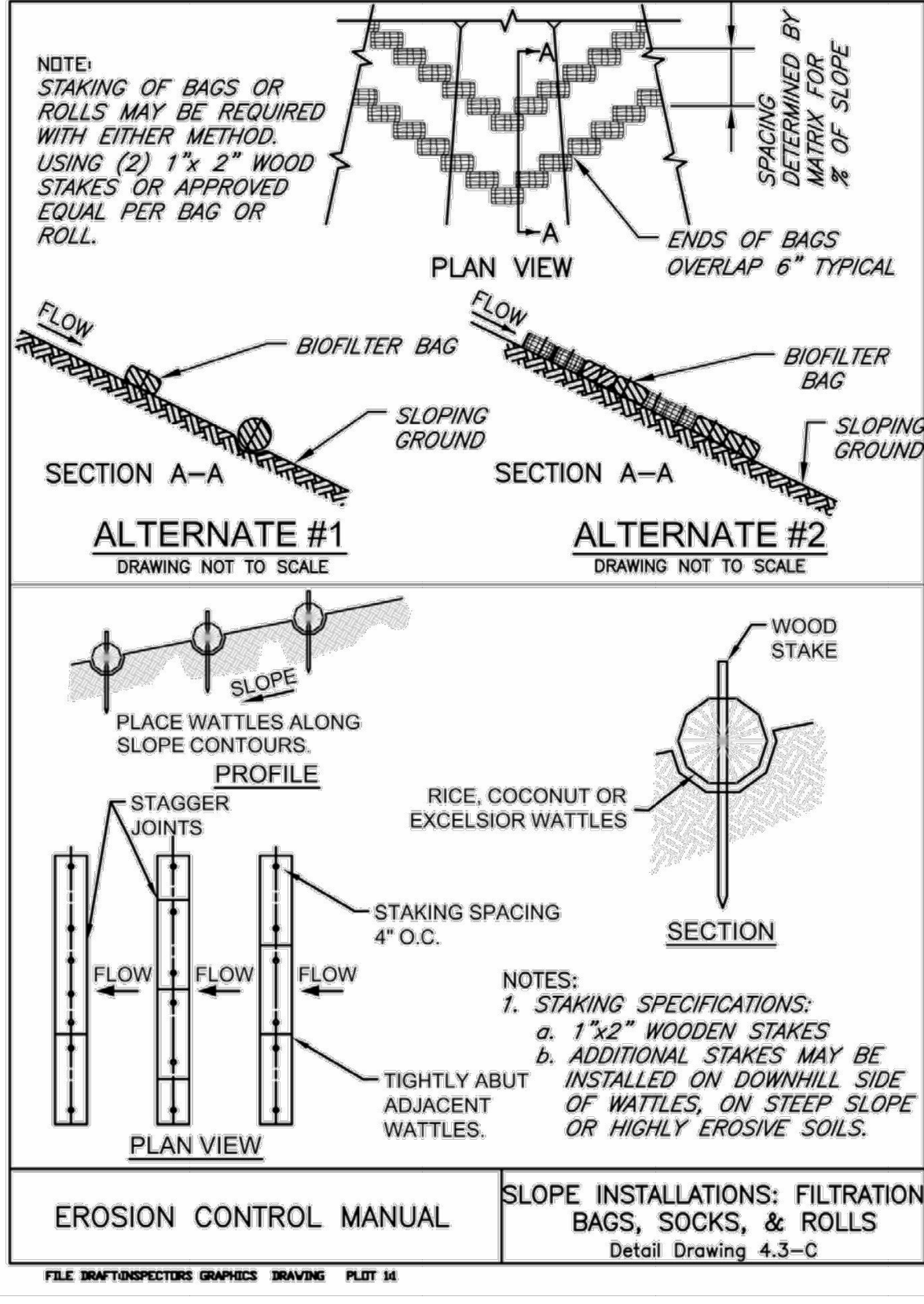
VERITAS SCHOOL  
 26288 NE BELL ROAD  
 NEWBERG, OR 97132

NO.	REVISION	DATE	ISSUED FOR

SCALE: \_\_\_\_\_ DATE \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 JOB No: \_\_\_\_\_  
 DWG. NO. \_\_\_\_\_

**ESC 2**

Figure 4.3-C Slope Installations: Filtration Bags, Socks, and Rolls



Nov. 12, 2019 - 8:36am tom.D:\VIRE\_Files\Projects\Veritas\_School\Grading\PLAN - related.pond.2 - 11 Nov 2019.dwg

**Thomas W. Wiser, P.E.**  
 22760 SW Wiser Drive  
 Tualatin, Oregon 97062  
 503 / 691-6095

**Wiser Engineering**  
 WISER RAIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER  
 15,442  
 OREGON  
 MAY 30, 1991  
 THOMAS W. WISER  
 EXP: 6/30/20

**VERITAS STORM WATER IMPROVEMENTS**  
**EROSION CONTROL DETAILS**

**VERITAS SCHOOL**  
 26288 NE BELL ROAD  
 NEWBERG, OR 97132

NO.	REVISION	DATE	ISSUED FOR

SCALE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 JOB No: \_\_\_\_\_  
 DWG. NO: \_\_\_\_\_  
**ESC 3**

# New Modular Classroom for **Veritas School** Newberg, Oregon

## Code Compliance

Applicable Codes: OREGON:  
 2019 Oregon Structural Specialty Code (Based on 2018 IBC)  
 2019 Oregon Mechanical Specialty Code (Based on 2018 IMC & IFGC)  
 2021 Oregon Plumbing Specialty Code (Based on 2021 UPC by IAPMO)  
 2021 Oregon Electrical Specialty Code (Based 2020 NEC)  
 2021 Oregon Energy Efficiency Specialty Code (Based on ASHRAE 90.1 - 2019)  
 2009 ICC A117.1 Accessibility Standard

Type of Construction: VB

Description: Classroom

Occupancy: E

Floor Area: 1673 square feet

Gross Wall Area: 1538 square feet

Occupant Load: 83 (Education 1660 Net SF/20 SF/P)

Job Number: 20143

Climate Zone: Oregon  
4c

## Project Information

Site Address: Veritas School  
 26288 NE Bell Rd.  
 Newberg, OR 97132

Dealer: Pacific Mobile  
 13806 45th Ave. NE  
 Marysville, WA 98271

Builder: Blazer Industries, Inc.  
 PO Box 489  
 Aumsville, OR 97325  
 Contact: Jamie Holmes  
 Phone: (503) 749-1900  
 Fax: (503) 749-3969  
 E-mail: james@blazerind.com

## Index to Drawing

T-1 Title Sheet

A-0.1 Door & Window Schedule

A-1 Floor Plan

A-2 Section A-A, Material List & Fastening Schedule

A-2.1 Section B-B

A-3 Exterior Elevations

A-4 Details

A-5 Reflected Ceiling and Details

M-1 Mechanical Plan

M-2 Mechanical Sections

M-3 Mechanical Schedules & Notes

E-1 Electrical Power Plan

E-2 Electrical Lighting Plan

E-3 Electrical Schedules and Notes

## Design Loads

Roof ..... 25 psf (Snow)

Wind ..... 120 mph Exposure "B" ( V )

Floor ..... 40 psf or 1000 lb

Seismic ..... Site Class D, S<sub>DS</sub>=1.200, S<sub>D1</sub>=0.680

Risk Category II



## N.L.E.A.'s

1. On site electrical service grounding, electrode system and bonding.
2. Required arc flash labeling per NEC 110.16.
3. Available fault current field markings per NEC 110.24.
4. Fire alarm plans, hydraulic and seismic calculations and manufacturer's specifications shall be reviewed for code compliance by State BCD. Section 2020 OAR 918-674-0000, 918-674-0015, 918-674-0015(5) and 918-674-0065.
5. Site installed gutters & downspouts or roof drains as applicable.
6. The installation of any interior equipment and/or appliances in this modular unit shall be completed under permit and inspection through the local AHJ.

## General Notes

- The Structural Design Details Herein are Specific to the Building Size and Module Configuration Shown on the Floor Plan of These Drawings.
- No Authorization is Given or Implied for use of the Modules in the Initial or Subsequent Installation Which Results in a Building Size or Installed Module Configuration Different Than Shown on These Drawings.
- This Building will be sited a minimum of 10 feet from all Property Lines and 10 feet from any assumed Property Lines between existing structures on this site.
- Site contractor bears responsibility for providing an accessible route to this structure in conformance with applicable building code and accessibility standards.
- Project close out documentation including, but not limited to, applicable calculations, energy compliance reports, fenestration NFRC rating certificates and O & M manuals is required to be delivered to the building owner within 90 days of their receipt of the certificate of occupancy.



3-28-2022	ENGINEERING - RMS	TAS	COPYRIGHT 2022, BLAZER INDUSTRIES, INC. THIS MATERIAL IS THE EXCLUSIVE PROPERTY OF BLAZER INDUSTRIES, INC. AND SHALL NOT BE REPRODUCED, USED, OR DISCLOSED TO OTHERS EXCEPT AS AUTHORIZED BY THE WRITTEN PERMISSION OF BLAZER INDUSTRIES.	 P.O. BOX 489 945 Olney St. ■ Aumsville, OR 97325-0489	MODULAR	CLASSROOM for: <b>VERITAS SCHOOL</b> Pacific Mobile	Newberg, Oregon	Approved for Const:	Job No: 20143
3-29-2022	PRE-SUBMITTAL REVIEW - JH	TAS			28 x 64			File Copy:	
DATE	REVISION	BY	OR GOLD	Drawn By: TAS Issue Date: 3-31-2022					

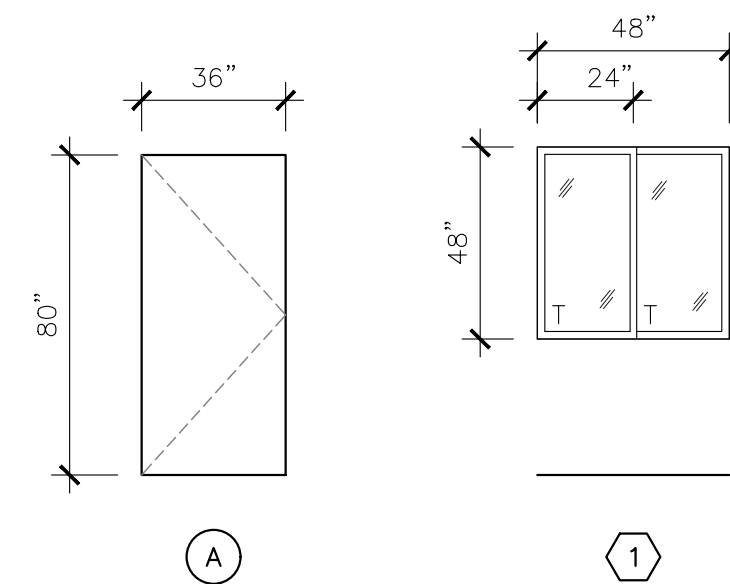


	STYLE	QTY.	SIZE	DESCRIPTION	LOCK	REMARKS
DOORS	①	2	3' 6"	INSULATED GALV. STEEL w/ WELDED STEEL JAMB AND WEATHERSTRIPPING DEFAULT .37 U-FACTOR	PANIC	SS BBR'G NRP HINGES TEXTURED PAINT FINISH CLOSER
	②	1	3' 6"	INSULATED GALV. STEEL w/ WELDED STEEL JAMB AND WEATHERSTRIPPING DEFAULT .37 U-FACTOR	KEYED LEVER	SS BBR'G NRP HINGES TEXTURED PAINT FINISH CLOSER

NOTES:  
 -DOOR HARDWARE: HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. [ICC A117.1-2009 SECTION 404.2.6]  
 -THE VERTICAL FENESTRATION AREA, NOT INCLUDING OPAQUE DOORS, SHALL NOT EXCEED 40% OF THE GROSS ABOVE GRADE WALL AREA. [2021 OEESC SECTION 5.5.4.2.1 AND TABLES 5.5-4 AND 5.5-5]  
 -FENESTRATION AND DOORS SHALL HAVE AN AIR LEAKAGE RATE COMPLYING WITH OEESC TABLE 5.8.3.2.  
 -DOOR HARDWARE TO HAVE SATIN CHROME/ALUMINUM TYPE FINISH

WINDOWS	①	6	48 x 48	MILGARD- HORIZONTAL SLIDER - DUAL GLAZE - LOW "E" WHITE VINYL FINISH-ARGON-TEMPERED NFRC 0.25 U-FACTOR, SHGC = 0.30, VT=0.56
---------	---	---	---------	--

NOTES:  
 -GALVANIZED FLASHING INSTALLED UNDER EXTERIOR TRIM ABOVE WINDOWS



NOTE: DOOR SWINGS MAY BE MIRRORED. REFER TO FLOOR PLAN

"EXIT" SIGN

18"x18" CLEAR  
EXIT

DOOR HARDWARE LOCATION

9" MAX.

CODE REQUIRED 48" MIN-60" MAX AFF TO BASELINE BRAILLE CELLS

BLAZER STANDARD 60" TO TOP

DOOR SIGNAGE

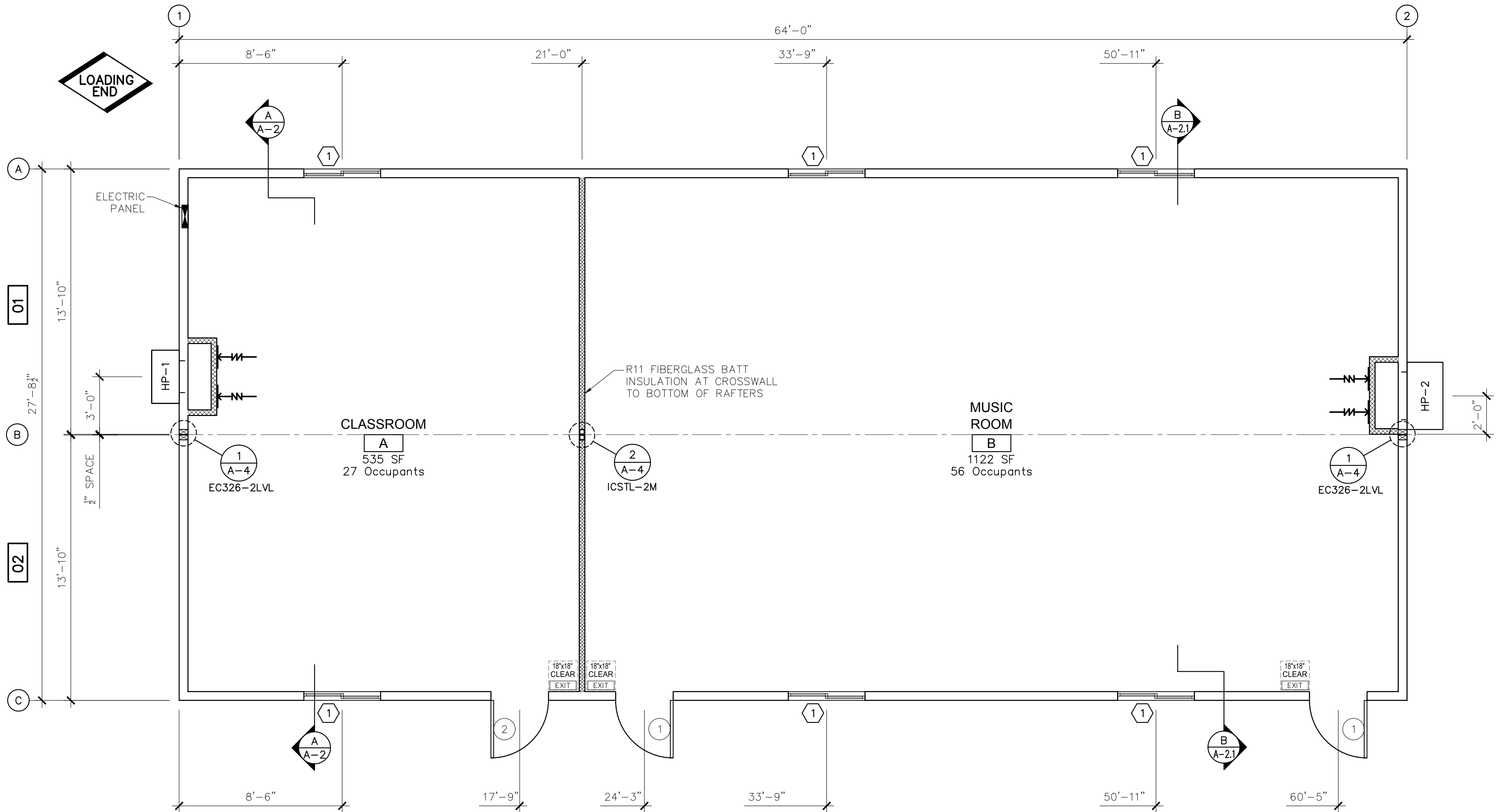
SIGN CENTERED IN CLEAR FLOOR SPACE

18"x18" CLEAR FLOOR SPACE (CAN OVERLAP DOOR OPENING ON PUSH SIDE OF DOOR IF LIMITED WALL SPACE)

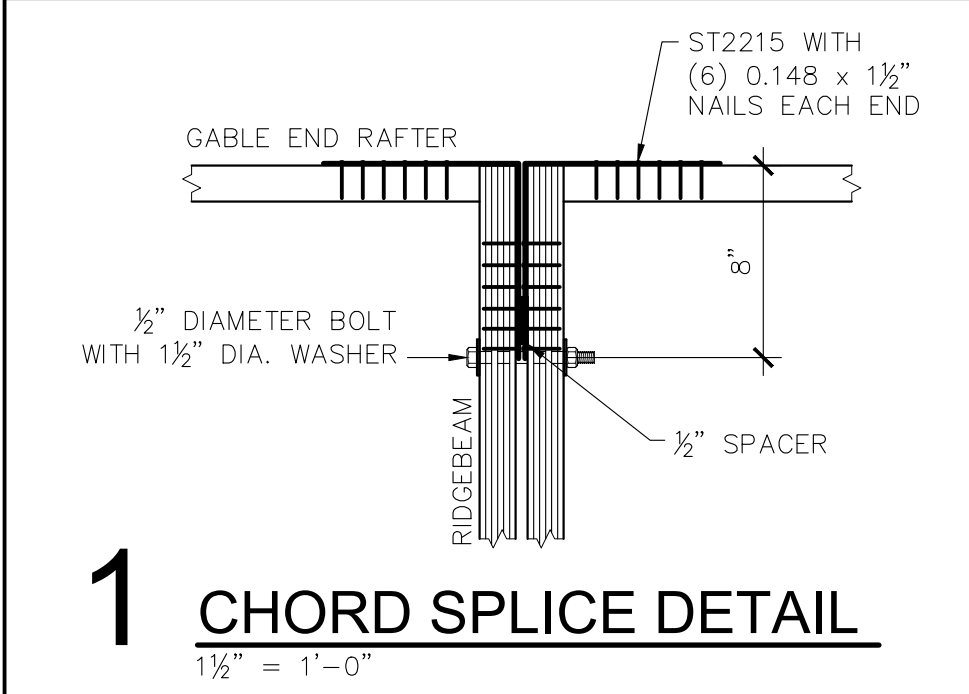
SIGNS AT DOORS: ICC / ANSI A117.1 - 2009 703

TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES (1219 mm) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES (1524 mm) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.

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**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**NOTES:**  
- THE TOP PLATES OF THE INTERIOR WALLS CAN SPAN A MAXIMUM OF 10'-0" BEFORE REQUIRING BRACING TO THE ROOF STRUCTURE OR AN INTERSECTING WALL.

04/12/2022  
REGISTERED PROFESSIONAL ENGINEER  
19300PE  
OREGON  
*Rock M. Shetler*  
ROCK M. SHETLER  
JULY 15, 1991  
EXPIRES: 6/30/2022

DATE	REVISION	BY
3-7-2022	PRELIMINARY REVIEW - BM	TAS
3-28-2022	ENGINEERING - RMS	TAS
3-29-2022	PRE-SUBMITTAL REVIEW - JH	TAS

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MODULAR  
28 x 64  
OR GOLD

CLASSROOM for:  
**VERITAS SCHOOL**  
Pacific Mobile

Newberg, Oregon

Approved for Const:	Job No: 20143
File Copy:	
Drawn By: TAS	
Issue Date: 3-29-2022	

**A-1**

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# FASTENING SCHEDULE

# MATERIAL LIST

**WALLS:**

PLATE-TO-STUD	0.131 x 3" NAILS (3 PER 2x6, 2 PER 2x4)
SHEETROCK-TO-STUD @ INTERIOR	0.091 x 2 1/4" SHEETROCK NAILS @ 16"oc EDGE AND CONSTRUCTION ADHESIVE IN FIELD
BOTTOM PLATE-TO-FLOOR	0.131 x 3" NAILS @ 8"oc (SENCO KC27 OR EQUAL)
PANEL SIDING-TO-STUD AT SIDEWALL	0.113x2 3/8" NAILS @ 6" EDGE, 12" IN FIELD (EXCEPT USE 4"oc @ TOP & BOTTOM). ALL EDGES SUPPORTED BY FRAMING OR BLOCKING.
PANEL SIDING-TO-STUD AT ENDWALL	SEE ENDWALL FASTENING NOTES ON ELEVATIONS
THREE STUD CORNER CONNECTION	0.131 x 3" NAILS @ 12" (SENCO KC27 OR EQUAL)

**AIR BARRIER NOTES:**

THESE KEY AREAS SHALL BE SEALED BY CAULKING, GASKETS, TAPE OR WEATHER-STRIPPING:

- JOINTS AROUND FENESTRATION (WINDOWS AND DOOR FRAMES): USE APPROPRIATELY SIZED BACKER ROD WITH MINIMUM 2" LAP AT ENDS.
- JUNCTIONS BETWEEN WALLS AT:
  - BUILDING CORNERS: USE CAULKING
  - STRUCTURAL FLOORS: USE SILL SEAL OR CAULKING
  - ROOFS (AT RIM): USE SILL SEAL OR CAULKING
- PENETRATIONS OF UTILITY SERVICES THRU THE AIR BARRIER @ ROOFS, WALLS, AND FLOORS: USE CAULKING, SPRAY FOAM, OR AIR BARRIER TAPE.
- BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS: USE BACKER ROD, CAULK, SPRAY FOAM OR AIR BARRIER TAPE.
- JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDANTS: USE CAULK OR APPROVED TAPE.
- RECESSED LIGHTING FIXTURES: USE CAULK OR SPRAY FOAM

**FLOOR:**

2x8 FLOOR JOIST-TO-RIM	MIN. OF (4) 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
CLASS "A" BOTTOM BOARD-TO-JOIST	16ga. x 3/8" WIDE CROWN @ 12" MAX. EDGES ONLY
FLOOR DECKING-TO-2x JOIST	0.113" x 2 3/8" RING SHANK @ 6" EDGE, 12" IN FIELD (SENCO GE-24). USE CONSTRUCTION ADHESIVE (AFG01) ON JOISTS

**ROOF:**

RIM-TO-RAFTERS	MIN. OF (4) 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
FURRING-TO-RAFTERS	MIN. (4) M20 2 x 3 (MIN.) PLATES EACH SIDE
ROOF RIM-TO-TOP PLATE	0.131 x 3" NAILS @ 8" oc. (SENCO KC27 OR EQUAL)
LEDGER-TO-RIDGEBEAM	0.131 x 3" NAILS @ 3" oc & 3 @ BUTT JOINTS (SENCO KC27 OR EQUAL)
RAFTER-TO-RIDGEBEAM	(4) 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
SHEATHING-TO-ROOF MEMBERS	16ga. x 1 3/4" STAPLES @ 6" EDGE, 12" IN FIELD (SENCO N-19) NOTE: SHEATHING TO BE INSTALLED PERPENDICULAR TO RAFTERS. OFFSET SHEATHING 4 ft. BLOCK EDGES OF ANY PIECES LESS THAN 24".

**MARRIAGE LINE CONNECTION:**

NOTE: ALL MARRIAGE LINES (DEFINED AS THE SPACE BETWEEN ADJOINING MODULES) MUST BE INSULATED AT THE ROOF, FLOOR AND WALLS ON SITE.

RIDGEBEAMS	1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 6'-0" oc AND 8" FROM EACH END (MINIMUM 2" EDGE DISTANCE)
RIM JOISTS	1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 4'-0" oc AND 8" FROM EACH END (MINIMUM 2" EDGE DISTANCE)

**ROOF:**

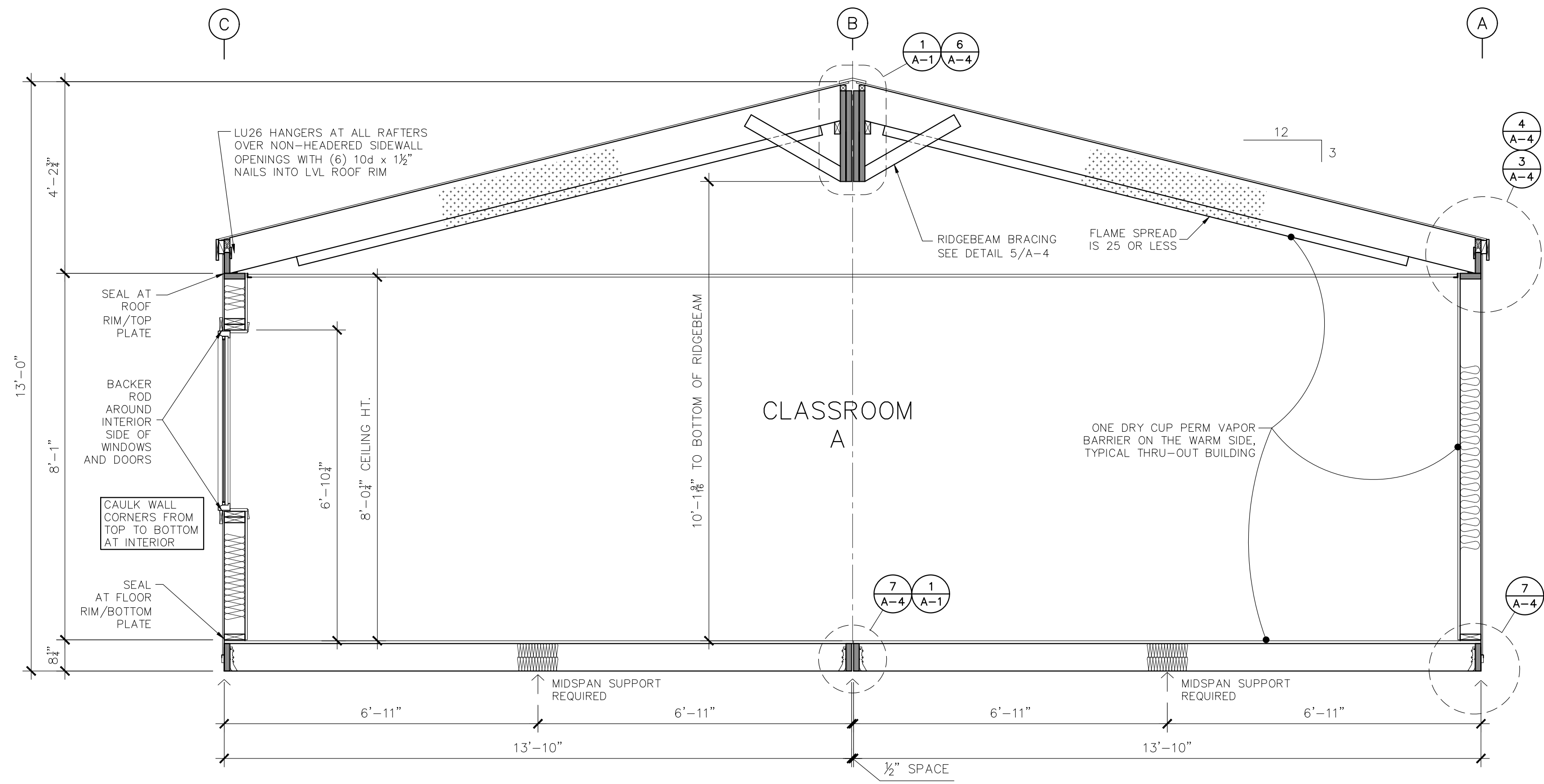
ROOFING	ARCHITECTURAL SHINGLES OVER 2 LAYERS NON-PERF. 15# FELT APPLIED SHINGLE STYLE -HIGH WIND APPLICATION- <b>NOTE:</b> "HIGH TEMP" SELF-ADHERED ROOFING UNDERLAYMENT UNDER SHINGLES FOR 2'-0" FROM EACH EAVE TOWARD RIDGE, TYPICAL @ BOTH EAVES -DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES OF SHINGLE ROOFS (IBC 1507.2.9.3).
SHEATHING	3/8" APA RATED (2 1/2")
FRAMING	2x10 DF #2 RAFTERS @ 24"oc WITH 2x INSULATION FURRING BELOW
RIDGEBEAM	DOUBLE 1 1/2" x 24" LVL 2.0E (CONTINUOUS)
LEDGERS	2x4 TAPER CUT
RIMS	2x6 CONTINUOUS LVL 2.0E w/ 2x4 VENT BLOCKING ABOVE
INSULATION	R38 CELLULOSE BLOW-IN OVER CLASS 'A' MATERIAL (AIR BARRIER COMPONENT) <b>NOTE:</b> MIN. 1" AIR SPACE REQUIRED AT ROOF SHEATHING. USE BAFFLES IF REQUIRED FOR VENT CLEARANCE.
CEILING	HARD-LID AND SUSPENDED T-BAR (PER IBC 808.1) SEE PLAN
VENTING	EAVE AND RIDGE
DRAINAGE	GUTTERS & DOWNSPOUTS PROVIDED & INSTALLED ONSITE BY OTHERS

**WALLS:**

SIDING	.76 SERIES LP SMARTSIDE PANEL WITH GROOVES @ 8"oc, USE 4'x9' SHEETS <b>NOTE:</b> NO HORIZONTAL BREAKS IN SIDING EXCEPT AT ENDWALLS
MOISTURE PROTECTION	WRAP LOWER 12" OF BUILDING WITH MOISTSTOP - WRAP BUILDING w/BUILDING WRAP
FASCIA	1x6
TRIM	1x4 AT CORNERS, WINDOWS, DOORS AND MODLINE <b>NOTE:</b> 2"x2" GALV. FLASHING INSTALLED OVER SIDING AND UNDER CORNER TRIM
FRAMING	EXT: 2x6 DF#3 or BETTER @ 16"oc INT: 2x4 DF @ 16"oc
TOP PLATE	2x CONTINUOUS (DF#2 OR LVL 2.0E)
BOTTOM PLATE	2x DF
INSULATION	EXT: R-21 UNFACED FIBERGLASS BATTS INT: R-11 INSULATION BATTS @ CROSSWALL
INTERIOR FINISH	3/8" VINYLWRAP SHEETROCK <b>NOTE:</b> INSTALL GYPSUM ON GABLE ENDS ABOVE WALL COVER
SKIRTING	PREP ONLY - SKIRTING PROVIDED AND INSTALLED ONSITE BY OTHERS

**FLOOR:**

COVERING	VCT - MUSIC ROOM ONLY CLASSROOM - ON SITE BY OTHERS
DECKING	1st: 2 3/8" A.P.A. RATED STURD-I-FLOOR (AIR BARRIER COMPONENT) 2nd: 1/4" U-PLY X - MUSIC ROOM ONLY
FRAMING	2x8 DF#2 JOISTS @ 16"oc
RIMS	2x8 LVL 2.0E (CONTINUOUS)
JOIST HANGERS	ON ALL RIMS
INSULATION	R-30 (USE TWO LAYERS R15 FIBERGLASS)
BOTTOM COVER	CLASS "A"

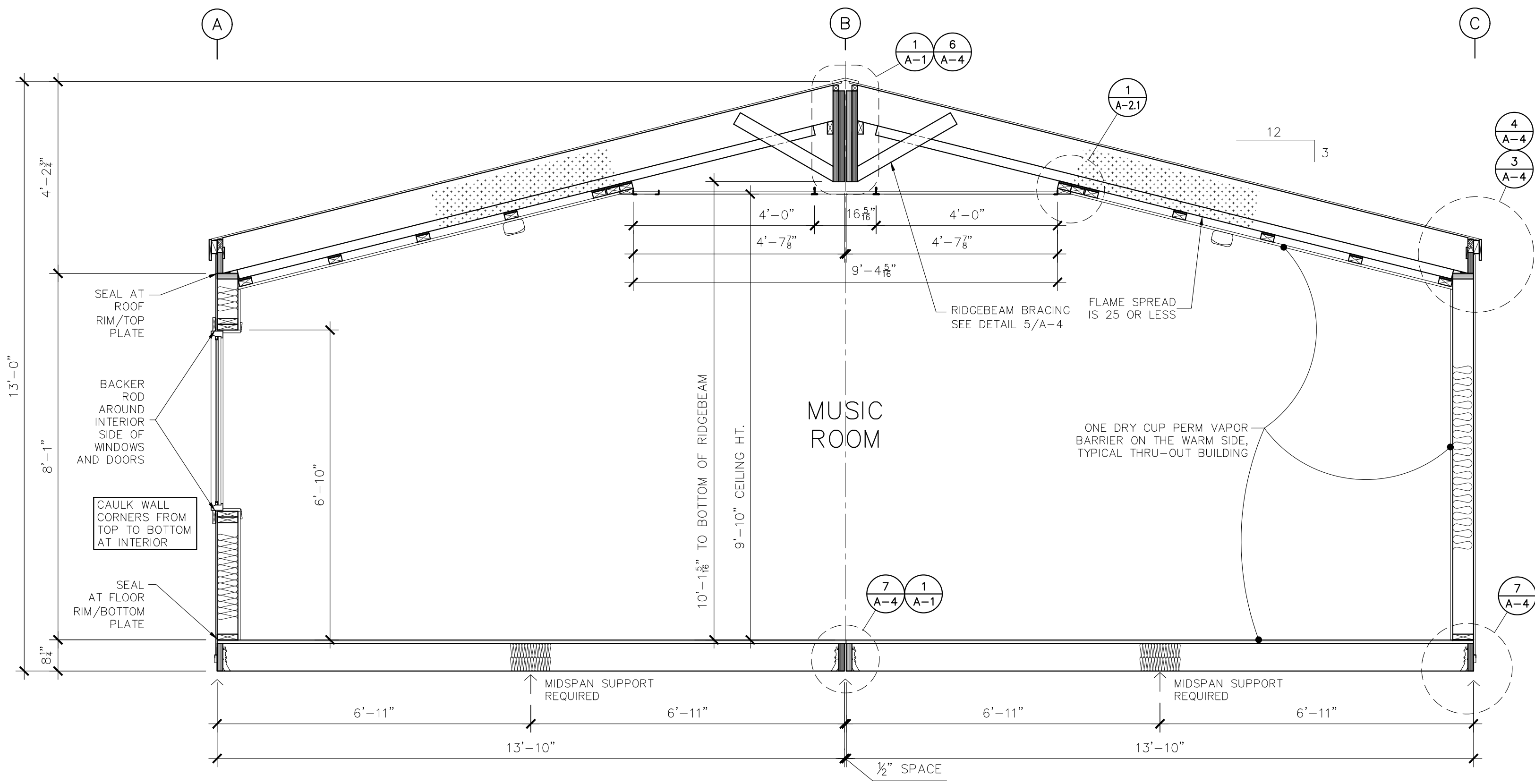
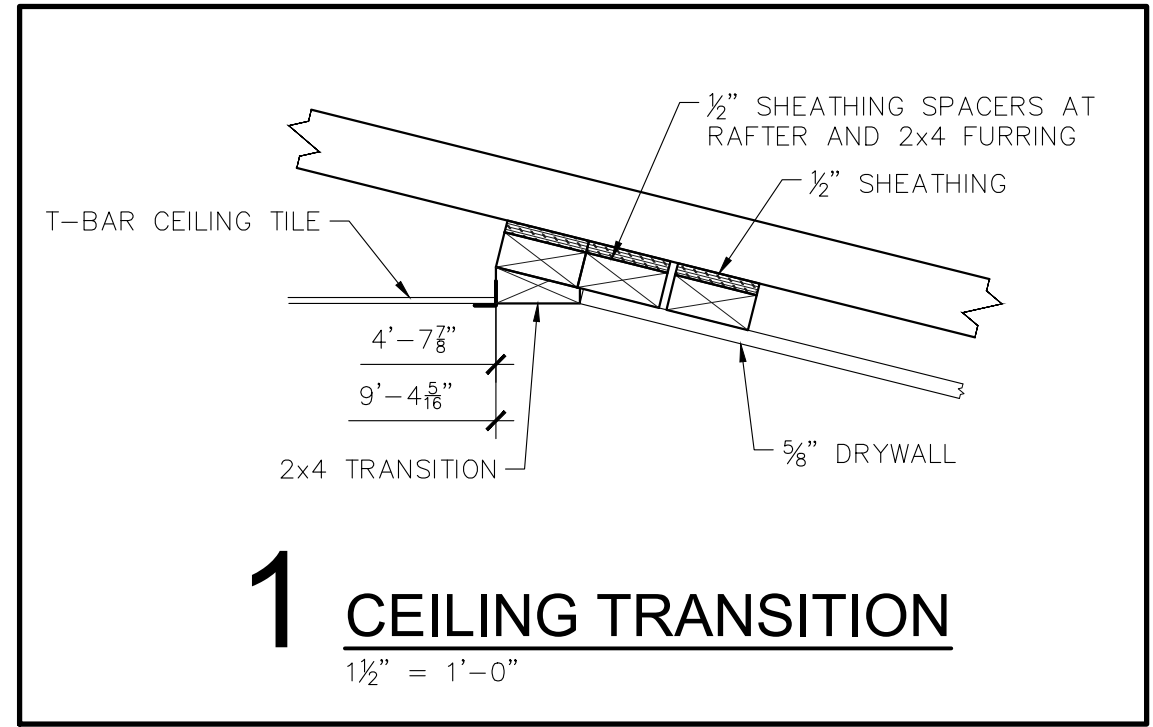


**SECTION - A-A**  
SCALE: 1/2" = 1'-0"

04/12/2022  
 REGISTERED PROFESSIONAL ENGINEER  
 19300PE  
 OREGON  
 JULY 15, 1991  
 ROCK M. SHETLER  
 EXPIRES: 6/30/2022

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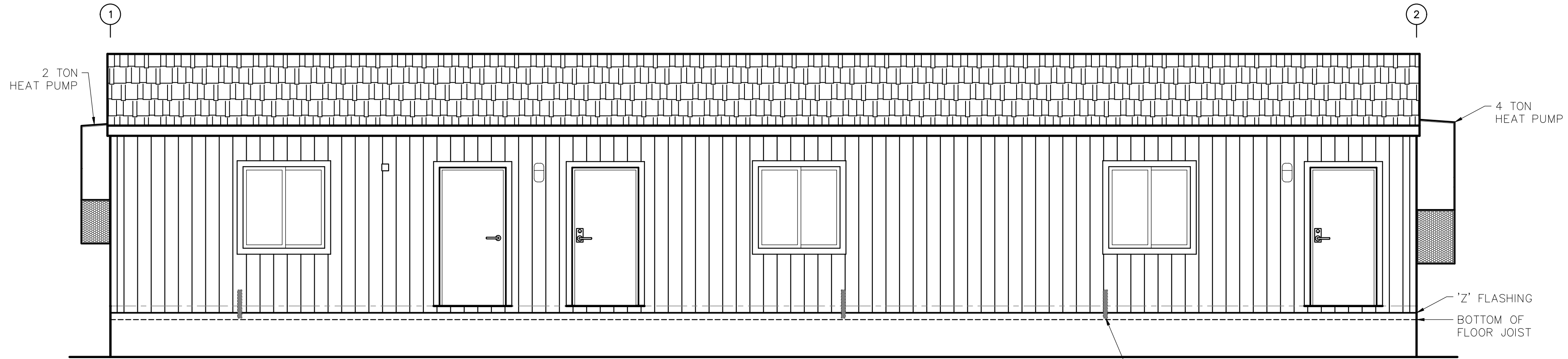
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**SECTION - B-B**  
SCALE: 1/2" = 1'-0"

04/12/2022  
 REGISTERED PROFESSIONAL ENGINEER  
 19300PE  
 OREGON  
*Rock M. Shetler*  
 JULY 15, 1991  
 ROCK M. SHETLER  
 EXPIRES: 6/30/2022

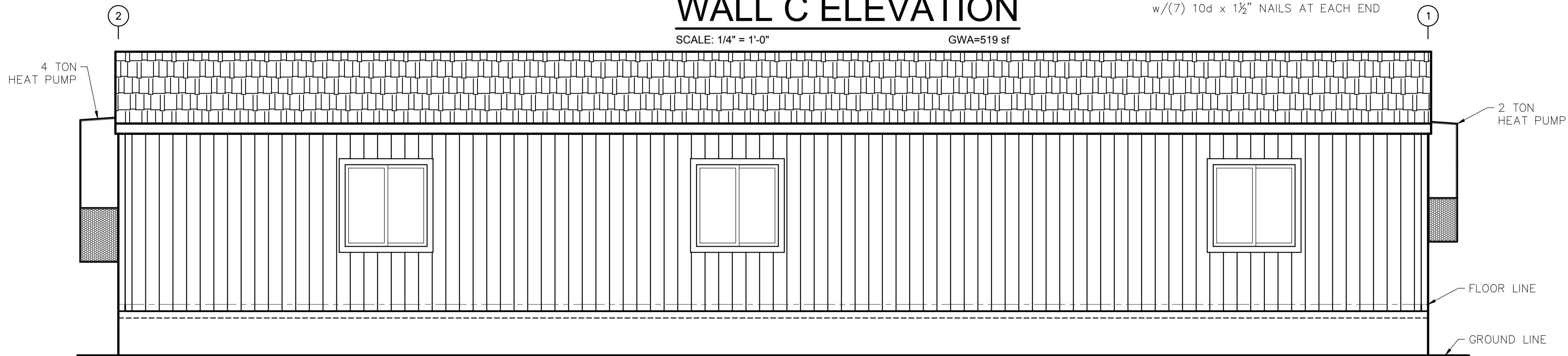
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DATE	REVISION	BY	OR GOLD	Newberg, Oregon				



### WALL C ELEVATION

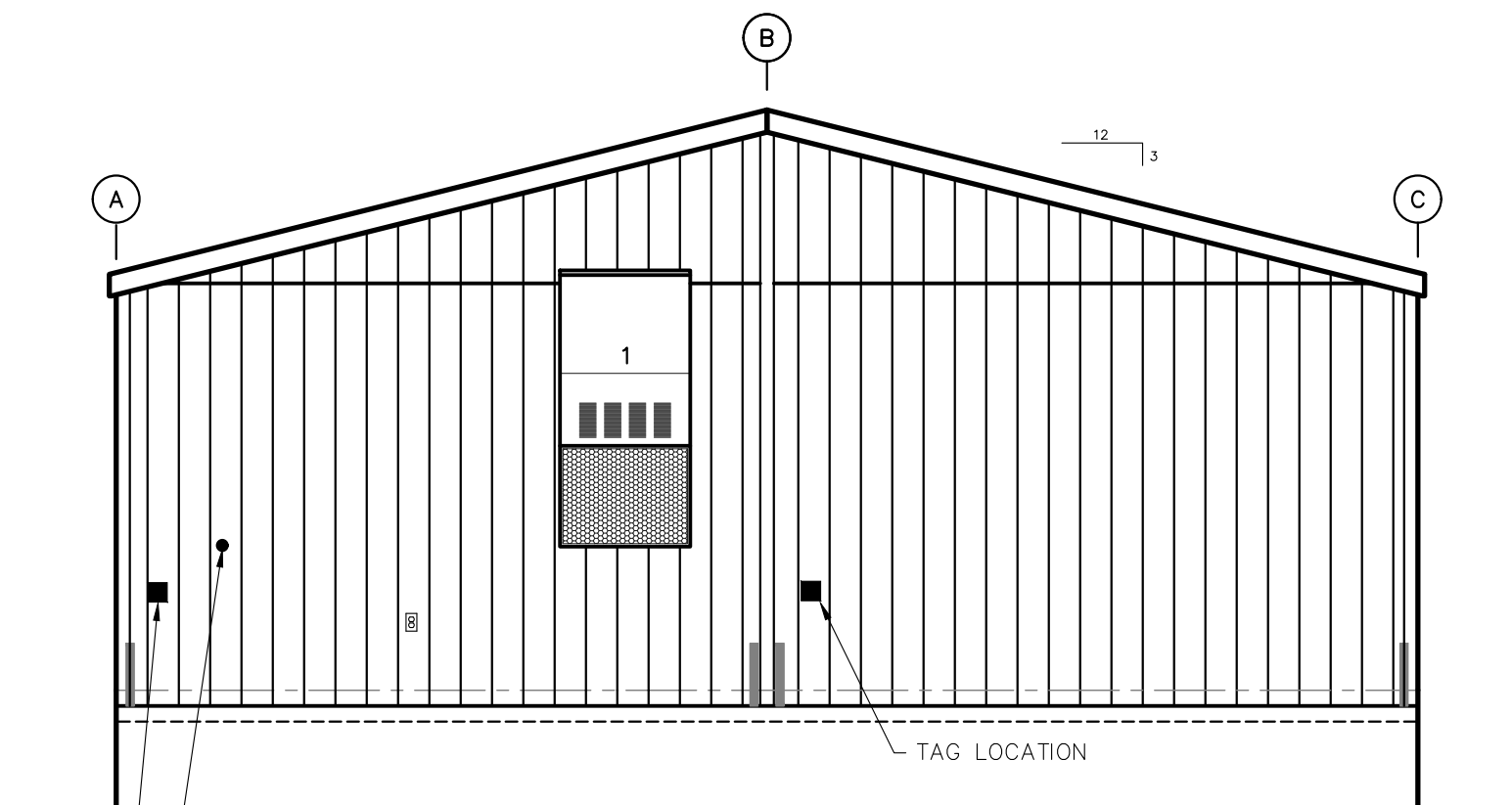
SCALE: 1/4" = 1'-0" GWA=519 sf

ST2215 STRAP WHERE SHOWN  
w/(7) 10d x 1 1/2" NAILS AT EACH END



### WALL A ELEVATION

SCALE: 1/4" = 1'-0" GWA=519 sf



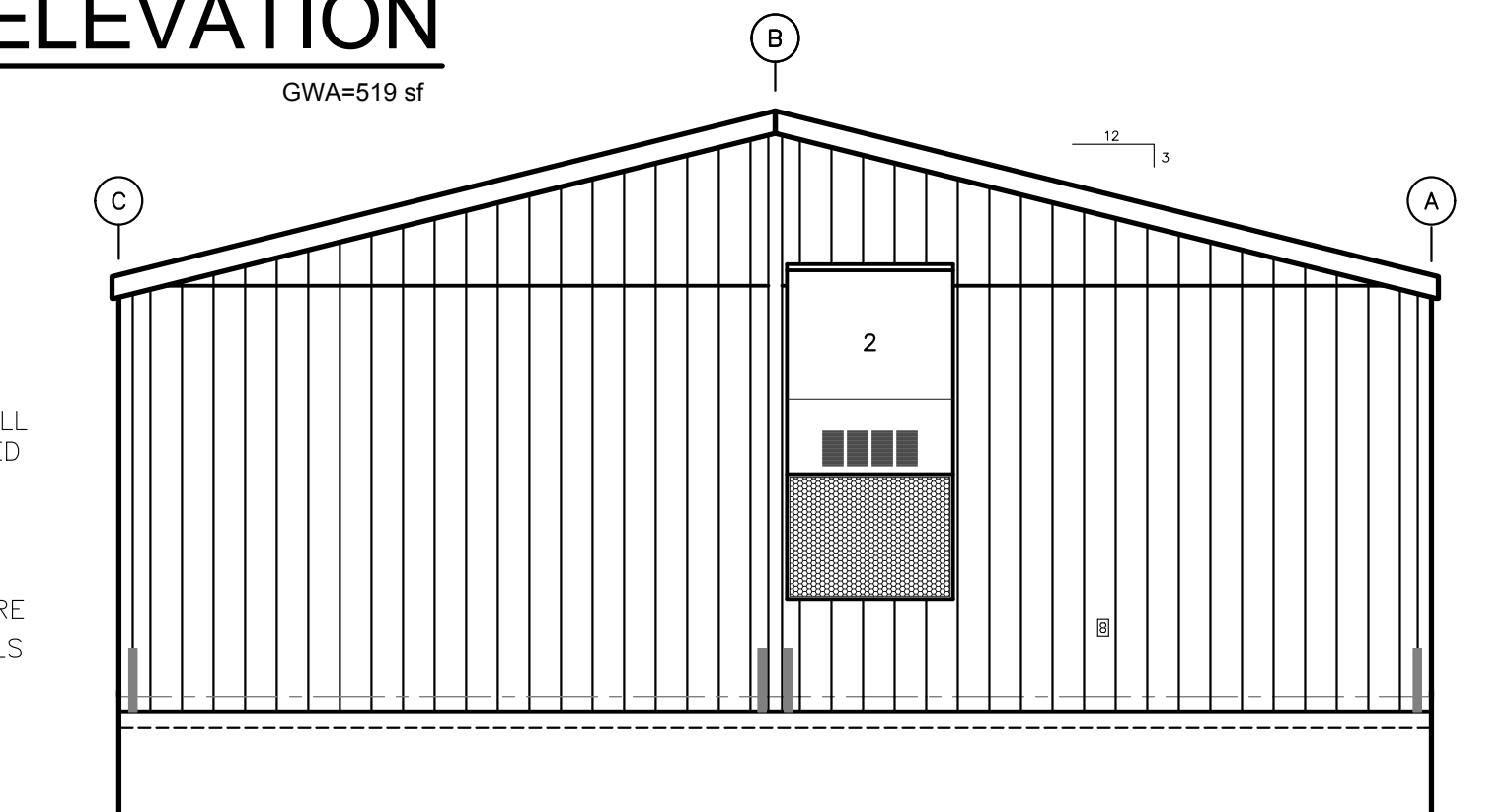
### WALL 1 ELEVATION

SCALE: 1/4" = 1'-0" GWA=250 sf

#### ENDWALL FASTENING:

1. INSTALL PANEL SIDING WITH ALL EDGES SUPPORTED AND FASTENED WITH 0.113 x 2 3/8" NAILS @ 6"oc EDGE, 12"oc FIELD, 4"oc TOP & BOTTOM

2. INSTALL ST2215 STRAPS WHERE SHOWN WITH (8) 10d x 1 1/2" NAILS EACH END OF EACH STRAP



### WALL 2 ELEVATION

SCALE: 1/4" = 1'-0" GWA=250 sf



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**A-3**

Newberg, Oregon

RIDGEBEAM  
DOUBLE CONT. 1 1/2" LVL

EXTEND ONE STUD UP ALONG  
RIDGEBEAM AND FASTEN WITH  
(6) 0.131" x 3" NAILS OR EQUAL

STRAP  
SIMPSON ST2215 OR EQUAL.  
USE (7) 0.148 x 1 1/2" NAILS  
EACH END OF STRAP

END COLUMN

USE TRIPLE 2x6 DF #2.  
FASTEN STUDS TOGETHER WITH  
DOUBLE ROW OF 0.131" x 3"  
NAILS OR EQUAL @ 8"oc.  
NAILS MAY BE ANGLED SLIGHTLY TO  
PREVENT NAIL PENETRATION THRU  
NEXT COLUMN STUD

ADD TIGHT FIT 2x6 BLOCKING  
TO NEXT STUD AT WALL THIRD POINTS

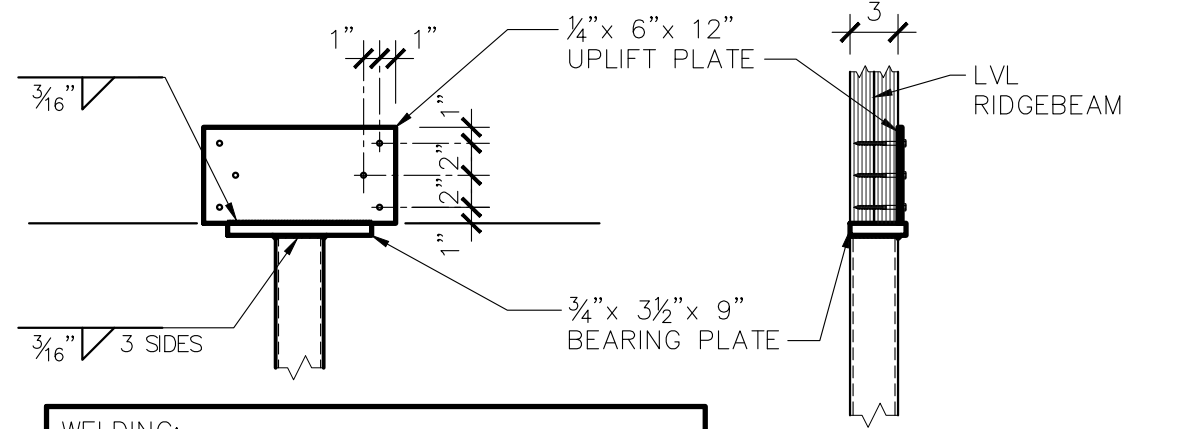
STRAP  
SIMPSON ST2215 OR EQUAL  
USE (7) 0.148 x 1 1/2" NAILS  
EACH END OF STRAP

RIM JOIST  
1 1/2" CONT. LVL

ADD TIGHT FIT BLOCKING UNDER  
COLUMN FOR FULL BEARING

# 1 EC326-2LVL - END COLUMN DETAIL - DBL LVL

1" = 1'-0"



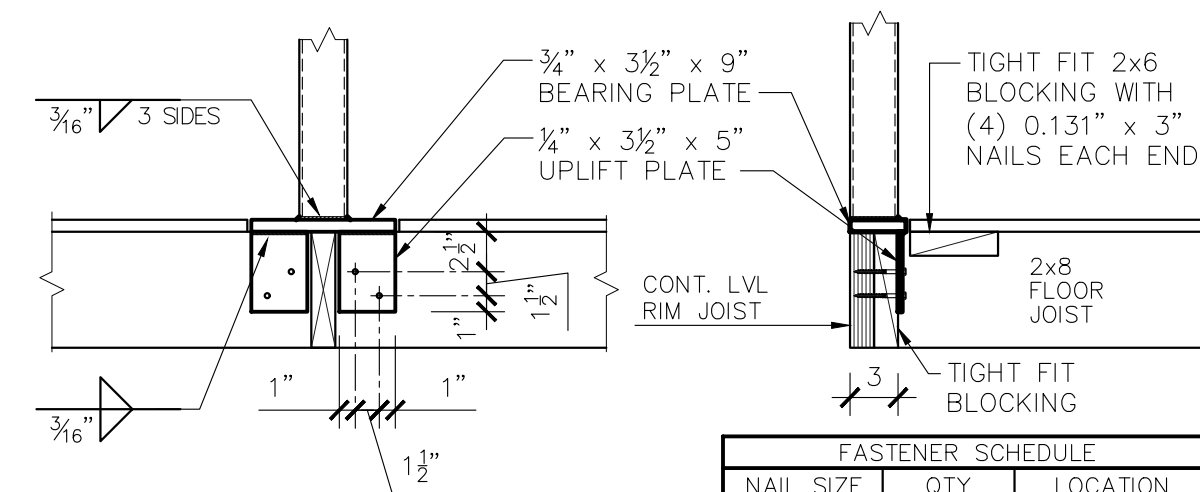
WELDING:  
G.M.A.W. - AWS A5.18  
F.C.A.W. - AWS A5.20

ALL WELDS TO BE SINGLE PASS  
FILLET BY CERTIFIED WELDER TO  
A.W.S. D1.1 CODE.

ASTM A500 GRADE C STEEL TUBE  
ASTM A36 STEEL PLATE

(6) SIMPSON SDS1/4x3" SCREWS (TOP)  
(4) SIMPSON SDS1/4x2 1/2" SCREWS (BOTTOM)  
(DRILL 3/16" HOLES)

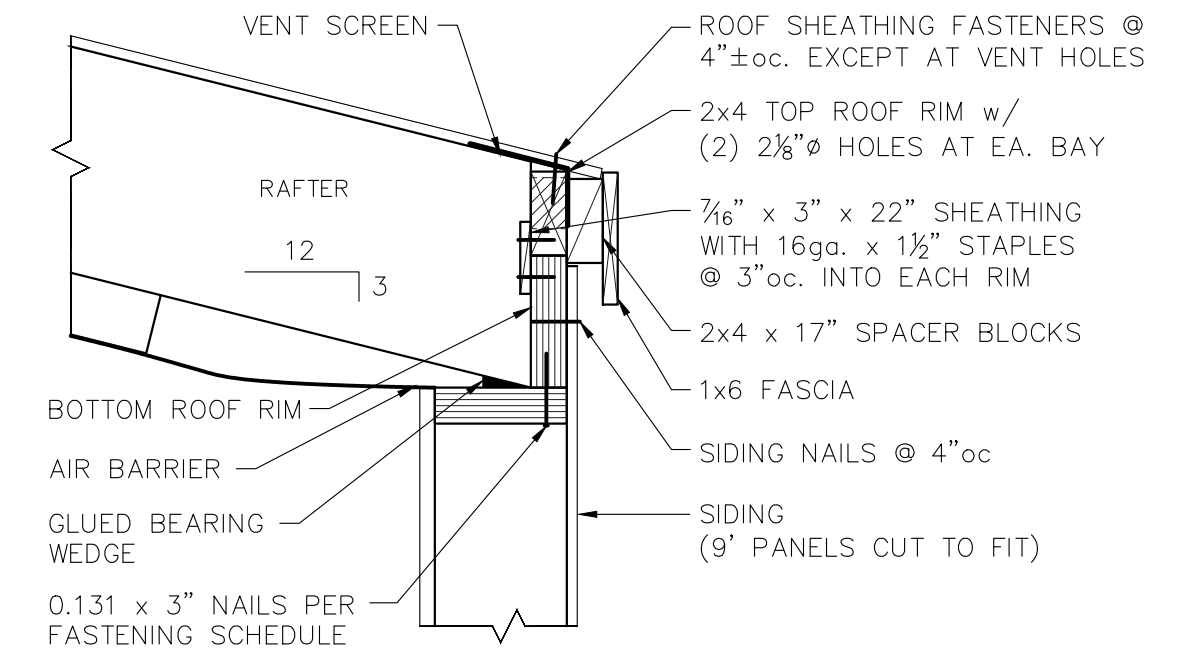
HSS3x3x3/16 COLUMN



FASTENER SCHEDULE		
NAIL SIZE	QTY	LOCATION
0.131" x 3"	5	EACH END
0.131" x 3"	2 ROWS AT 4"oc.	TO RIM

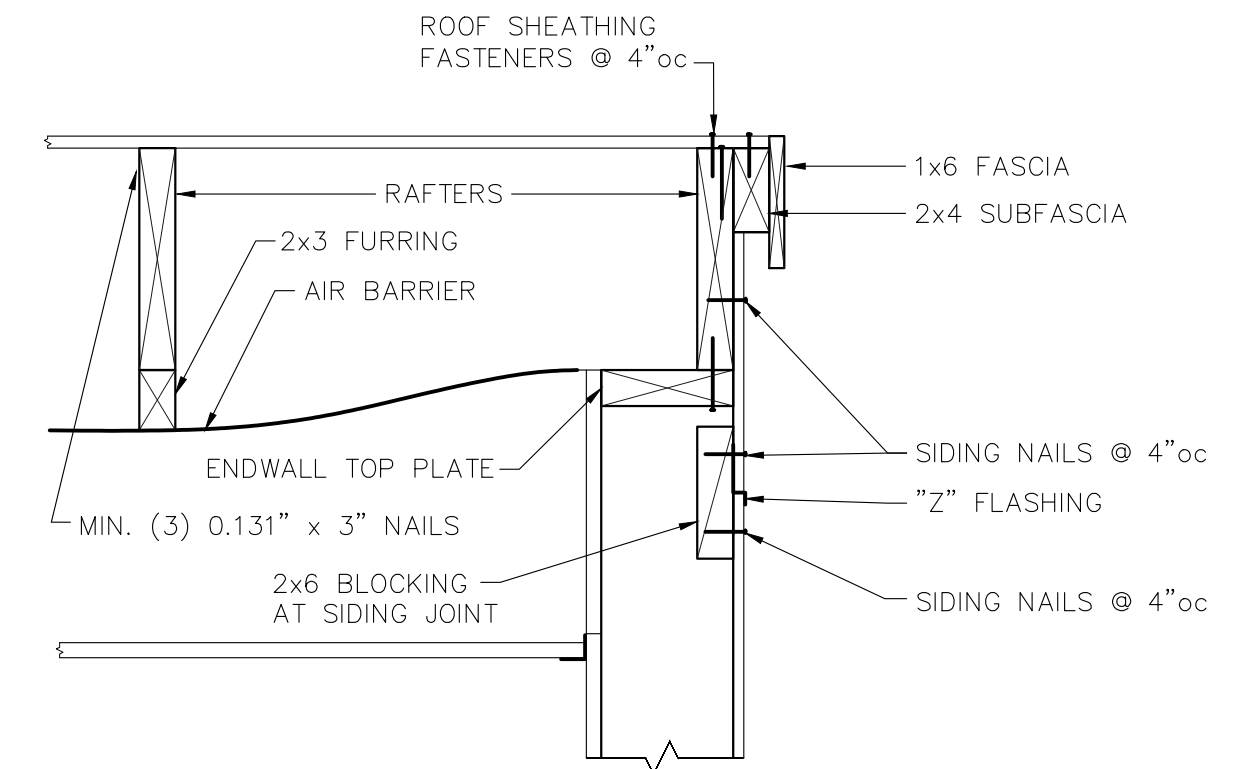
# 2 ICSTL-2M: INTERIOR COLUMN DETAIL- STEEL

1" = 1'-0"



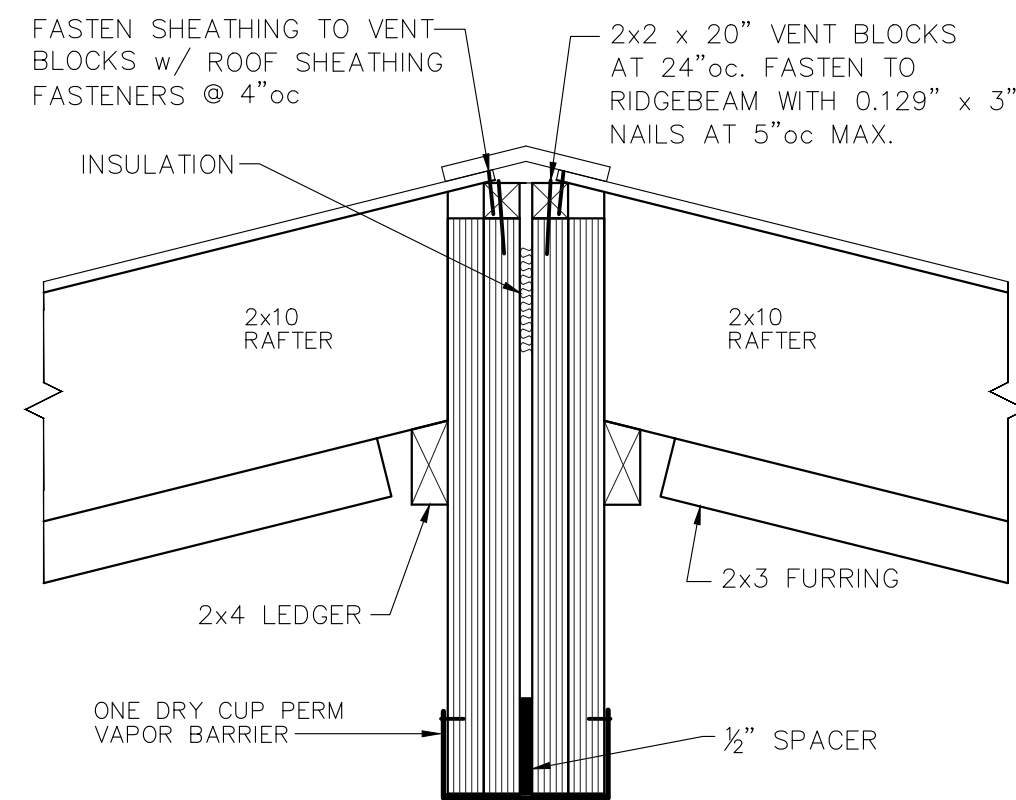
# 3 EAVE DETAIL

1 1/2" = 1'-0"



# 4 ENDWALL ROOF DETAIL

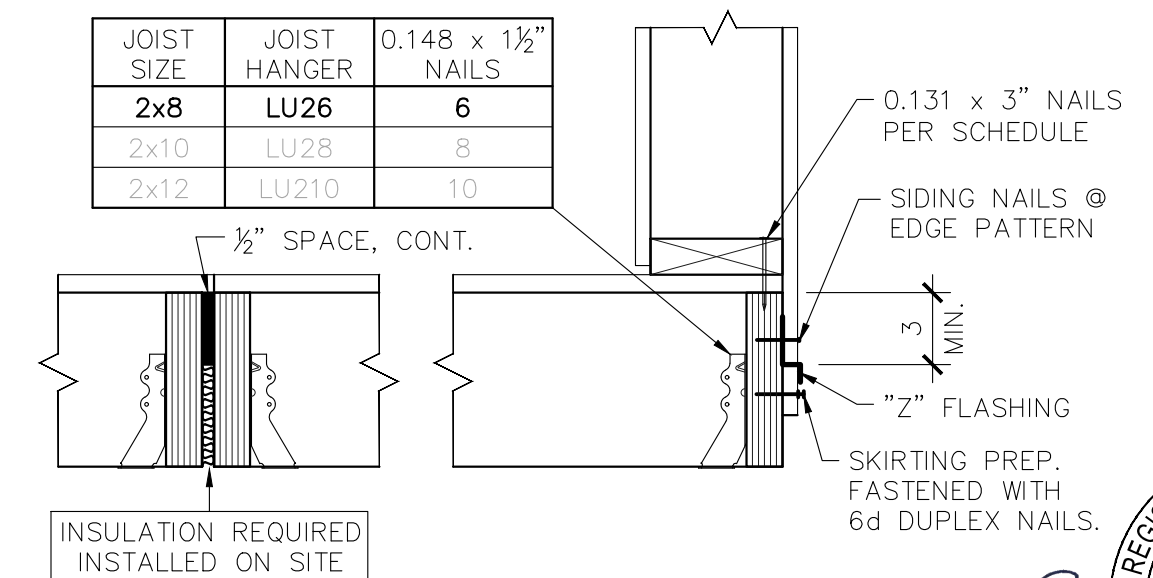
1 1/2" = 1'-0"



SITE WORK:  
1. INSTALL RIDGEVENT WITH 1" GALV. SCREWS AT 12"oc. EACH SIDE.  
2. INSTALL INSULATION AT MARRIAGE LINE.  
3. INSTALL VAPOR BARRIER ACROSS MARRIAGE LINE, 2 MIL. MIN. (CLOSE-UP PLASTIC SUPPLIED WITH BUILDING MAY BE USED).

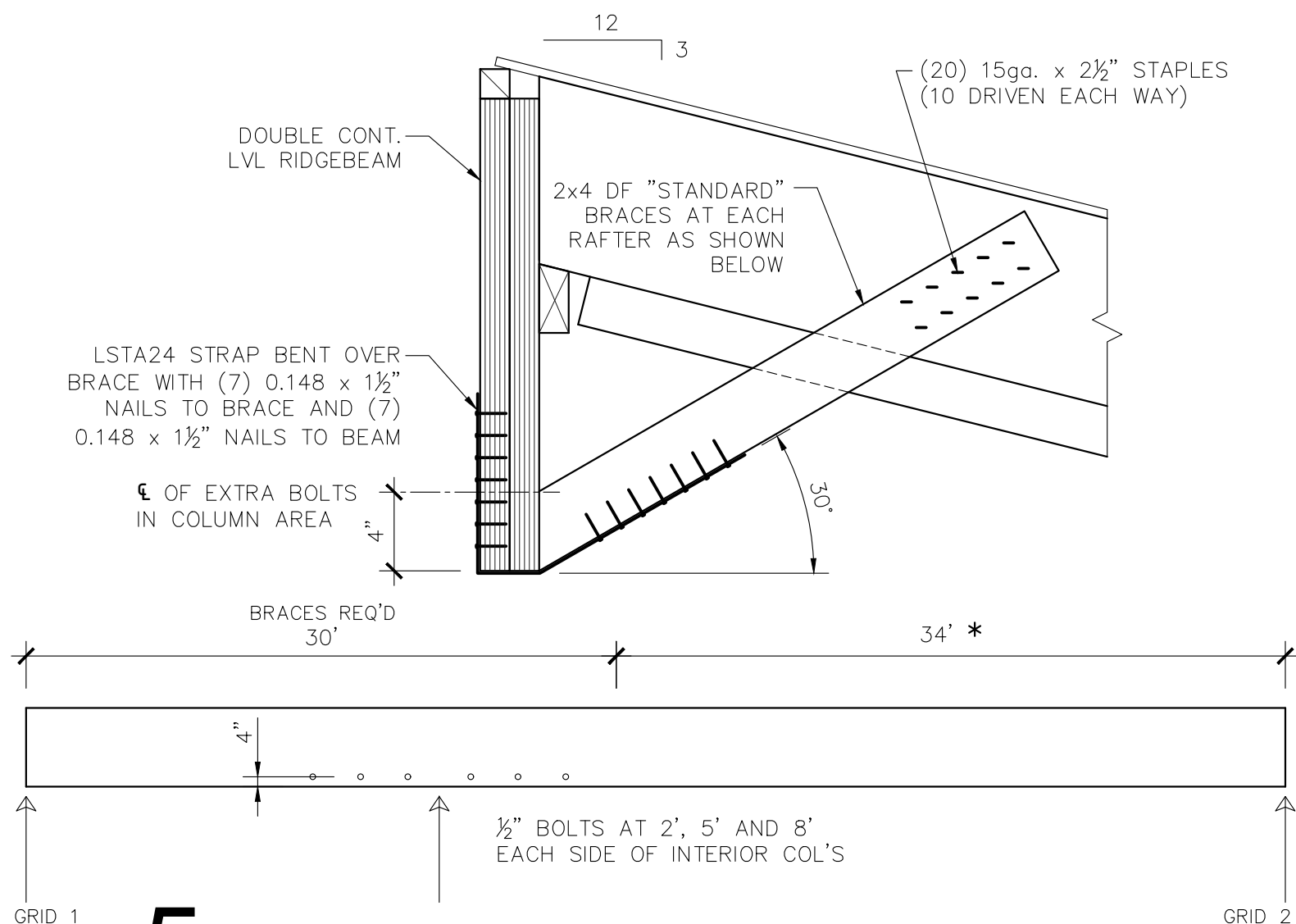
# 6 RIDGE DETAIL

1 1/2" = 1'-0"



# 7 FLOOR DETAIL

1 1/2" = 1'-0"



# 5 RIDGEBEAM BRACING DETAIL- 24"

1 1/2" = 1'-0"

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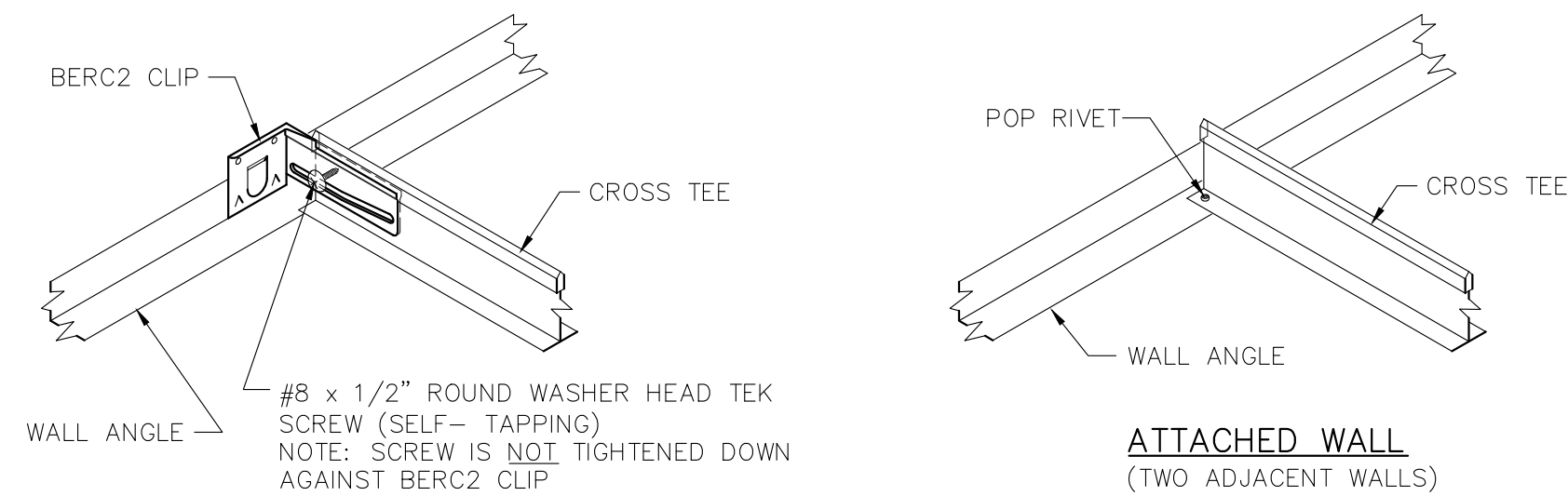
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Pacific Mobile

Newberg, Oregon

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**A-4**



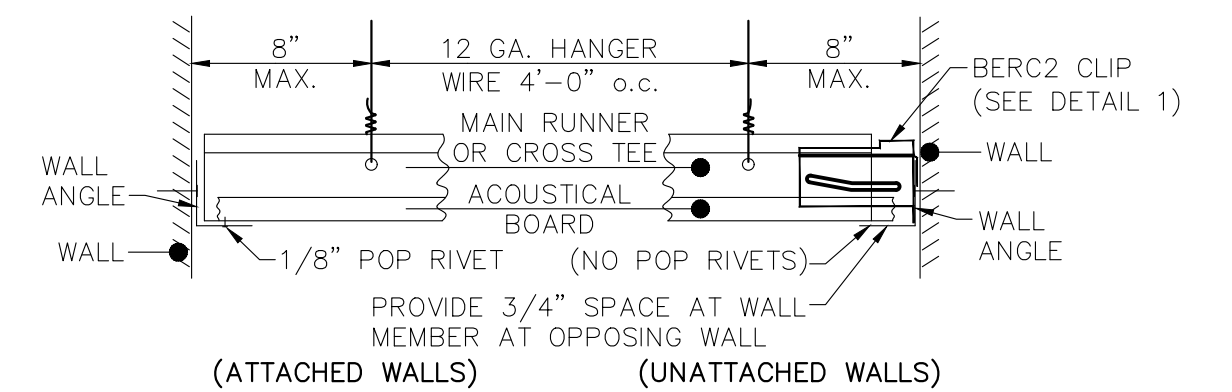


**UNATTACHED WALL**  
(TWO ADJACENT WALLS)

**SEISMIC BERC2 CLIP**  
-FACTORY INSTALLED AT TWO ADJACENT WALLS.  
-SCREW TIGHTENED FOR SHIPPING IN ROOMS WHERE CEILING CROSSES MOD LINE, LOOSEN SCREW ON SITE BY SET UP CREW  
-NOT REQUIRED FOR CEILINGS LESS THAN OR EQUAL TO 144 SF AND SURROUNDED BY WALLS CONNECTED TO THE STRUCTURE ABOVE.  
-SOURCES: ASCE 7-16 SECTION 13.5.6 EXCEPTION 1, ASTM E580 SECTION 1.4

# 1 SEISMIC ATTACHMENT AT WALLS

N.T.S. [ARMSTRONG SEISMIC 'Rx' SUSPENSION SYSTEM (ESR 1308)]



**NOTE:**  
HANGER AND PERIMETER WIRES MUST BE PLUMB WITHIN 1:6 UNLESS COUNTER SLOPING WIRES ARE PROVIDED

**LATERAL-FORCE BRACING:**

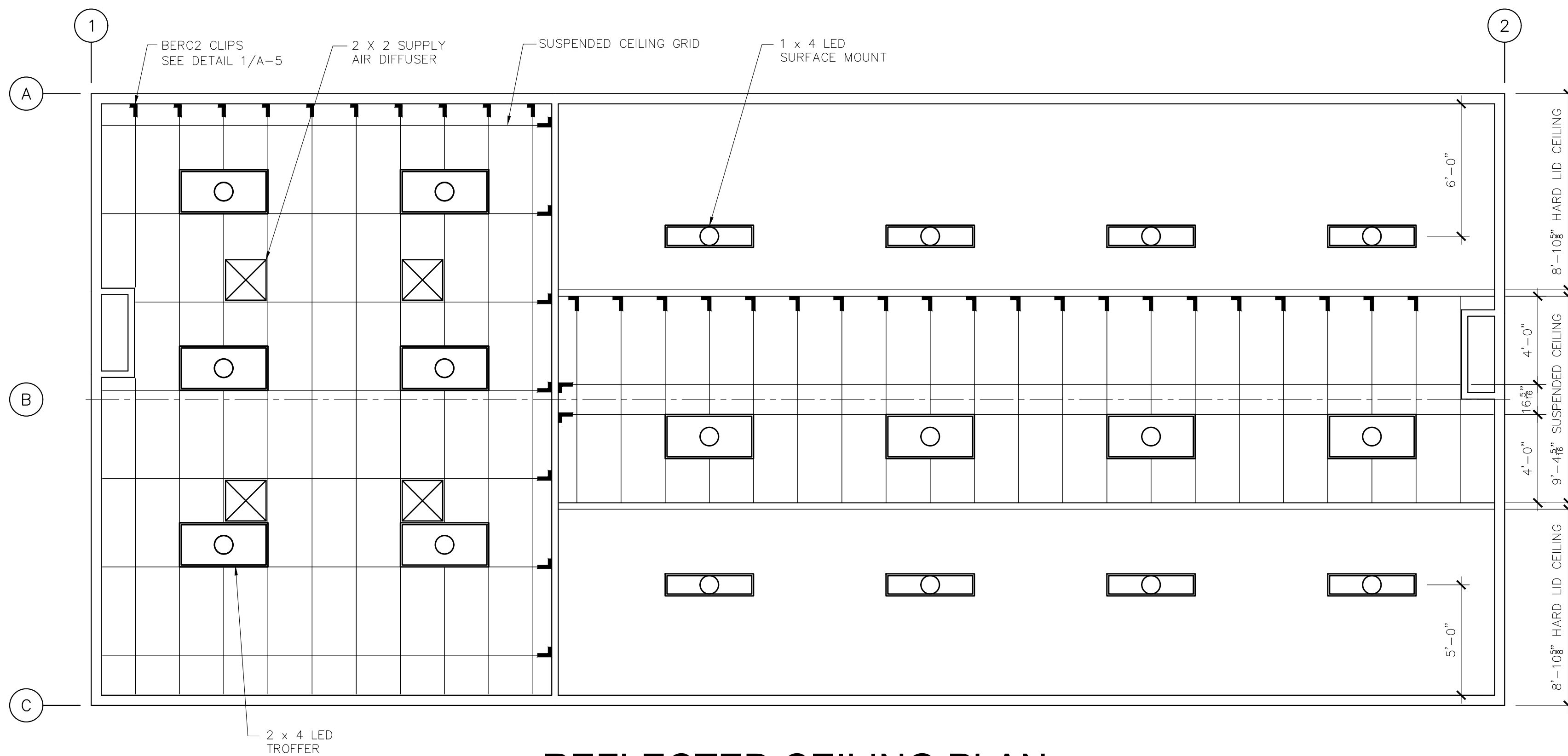
- IS THE USE OF VERTICAL STRUTS AND SPLAY WIRES.
- CEILING AREAS OF 1000 SQ.FT. OR LESS SHALL BE EXEMPT FROM LATERAL-FORCE BRACING REQUIREMENTS.
- CEILINGS WITH INTERSTITIAL SPACE LESS THAN 12" TO FRAMING ARE NOT REQUIRED TO HAVE LATERAL-FORCE BRACING.

**SEISMIC SEPARATION JOINTS:**

- ALL CONTINUOUS CEILING AREAS EXCEEDING 2500 SQ.FT. SHALL HAVE A SEISMIC SEPARATION JOINT.

# 2 STANDARD T-BAR DETAIL

N.T.S.



## REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

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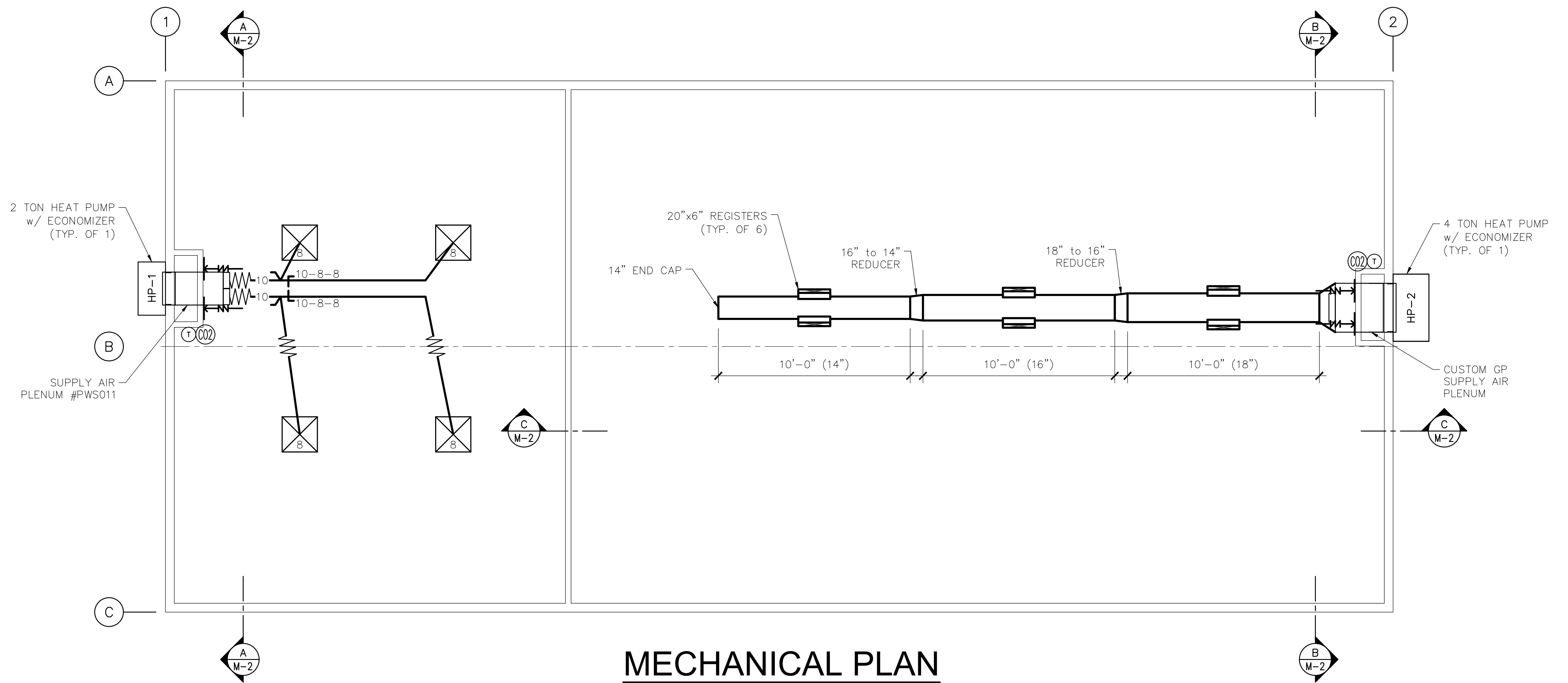
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# A-5

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# MECHANICAL PLAN

SCALE: 1/4" = 1'-0"

### MECHANICAL NOTES:

- MECHANICAL EQUIPMENT INSTALLATION IN OR ON THIS BUILDING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF OMSC CHAPTER 6.
- DUCT MATERIAL IS 26 GA. GALV. AND FLEX DUCT. DUCTWORK SHALL BE SUPPORTED PER OMSC SECTION 603.
- MATERIAL IN DUCTS SHALL HAVE A FLAME SPREAD INDEX OF LESS THAN 25, SMOKE DEVELOPMENT OF 50. [OMSC SECTION 602]
- ROUND FLEX DUCT SHALL BE U.L. LISTED CLASS 1, STANDARD 181 – FACTORY MADE AIR DUCTS AND AIR CONNECTORS. MEASURED IN ACCORDANCE TO ASTM C 518 OR ASTM C 177 AT 75DEG F MEAN TEMPERATURE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.
- LOW PRESSURE DUCT SYSTEMS SHALL HAVE LONGITUDINAL AND TRANSVERSE JOINTS, SEAMS AND CONNECTIONS OF SUPPLY AND RETURN DUCTS AND PLENUMS SECURELY FASTENED AND SEALED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS EMBEDDED-FABRIC SYSTEMS OR APPROVED TAPES INSTALLED IN ACCORDANCE WITH OMSC SECTION 603.9.
- WHEN ISOLATION SLEEVES ARE USED AT LINE CONNECTIONS TO PLENUMS, THEN THEY SHALL COMPLY WITH OMSC CHAPTER 6.
- IF DIFFUSERS HAVE NO MANUAL DAMPERS, USE FLOW CONTROLS AT WYES. TYPICAL AS NOTED ON PLAN.
- MINIMUM OUTSIDE AIR VENTILATION PER OMSC TABLE 403.3.1.1.
- OUTSIDE AIR DAMPERS SHALL COMPLY WITH OEESC SECTION 6.4.3.4.
- ALL NEW SYSTEMS WITH A COOLING CAPACITY EQUAL TO OR GREATER THAN 54,000 BTU/H, REQUIRE ECONOMIZERS IN ACCORDANCE WITH 2021 OEESC SECTION 6.5.1.
- MECHANICAL DRAWINGS SHOW DUCTWORK SIZES TO BE CLEAR INSIDE DIMENSION.
- DUCT INSULATION SHALL COMPLY WITH OMSC SECTION 604.
- ELECTRICIAN MUST VERIFY ALL ELECTRICAL REQUIREMENTS AND LOCATIONS.
- THERMOSTAT SCHEDULING TO BE PERFORMED ON SITE BY OTHERS.
- ALL HVAC EQUIPMENT LEAVES FACTORY WIRED FOR 240 VOLT OPERATION. THE ACCEPTABLE OPERATING RANGE FOR THE 240V & 208V TAPS ARE:

TAP	RANGE
240	253 – 216
208	220 – 187
- SITE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THE RIGHT TAP IS CONNECTED FOR THE APPLIED SITE VOLTAGE.
- AIR FILTERS IN HVAC UNITS OR SYSTEMS ARE TO BE CHANGED EVERY 30 DAYS BY OTHERS ON SITE.
- REGISTER AIR FLOW TEST AND SYSTEM BALANCING OF HVAC SYSTEM, WHEN REQUIRED, WILL BE PROVIDED AND PERFORMED BY OTHERS ON SITE. [OMSC SECTION 403.3.1.5] [SYSTEM BALANCING OEESC 6.7.3.3]

MECHANICAL SYMBOLS	
SYMBOL	DESCRIPTION
	2'x2' SUPPLY AIR DIFFUSER
	FLEX DUCT
	SUPPLY DUCT WITH DIAMETER INDICATOR
	DAMPER IN SUPPLY DUCT AT WYE
	SUPPLY WYE w/DUCT CONNECTION SIZES INDICATED
	THERMOSTAT
	CO2 SENSOR

DATE	REVISION	BY
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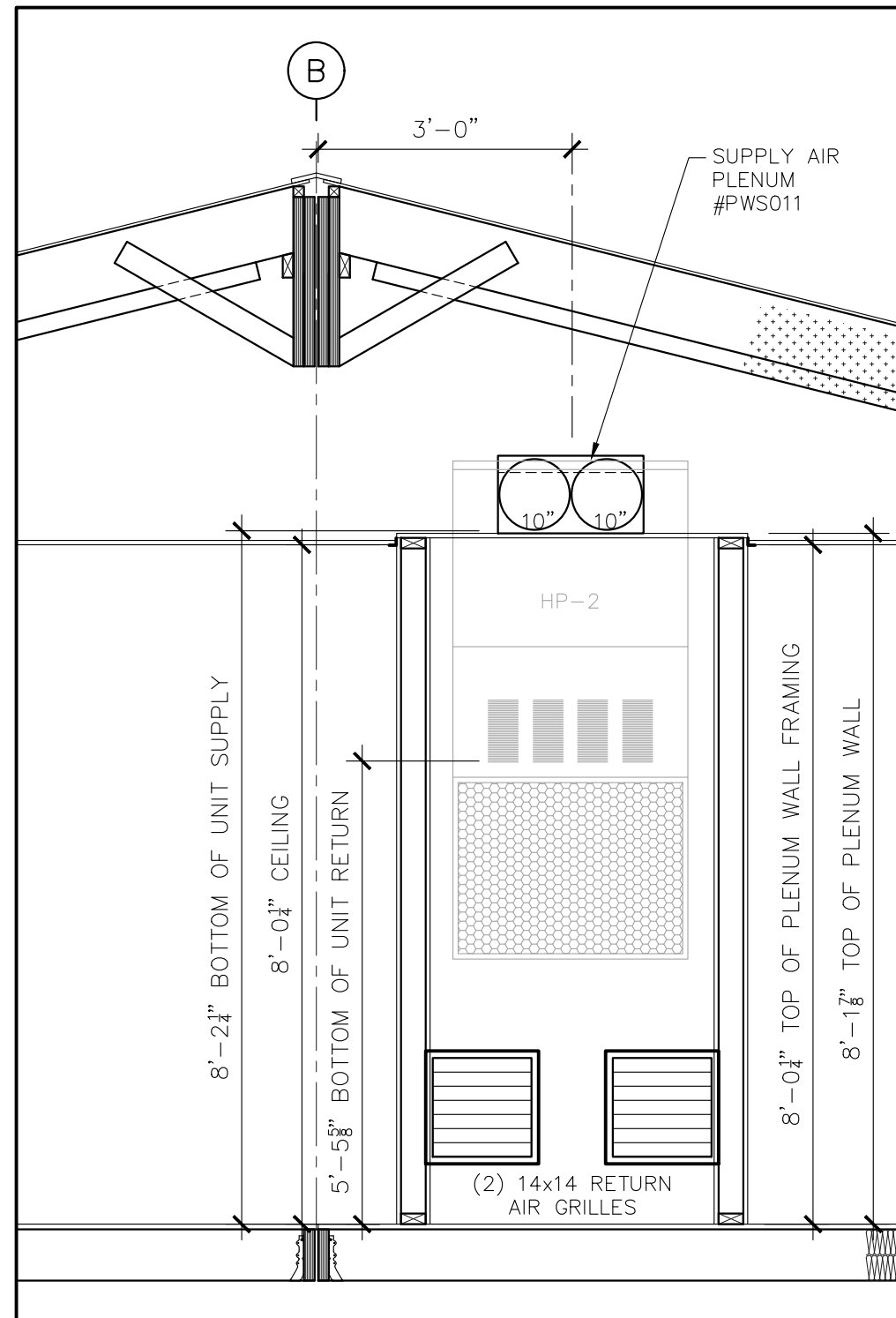
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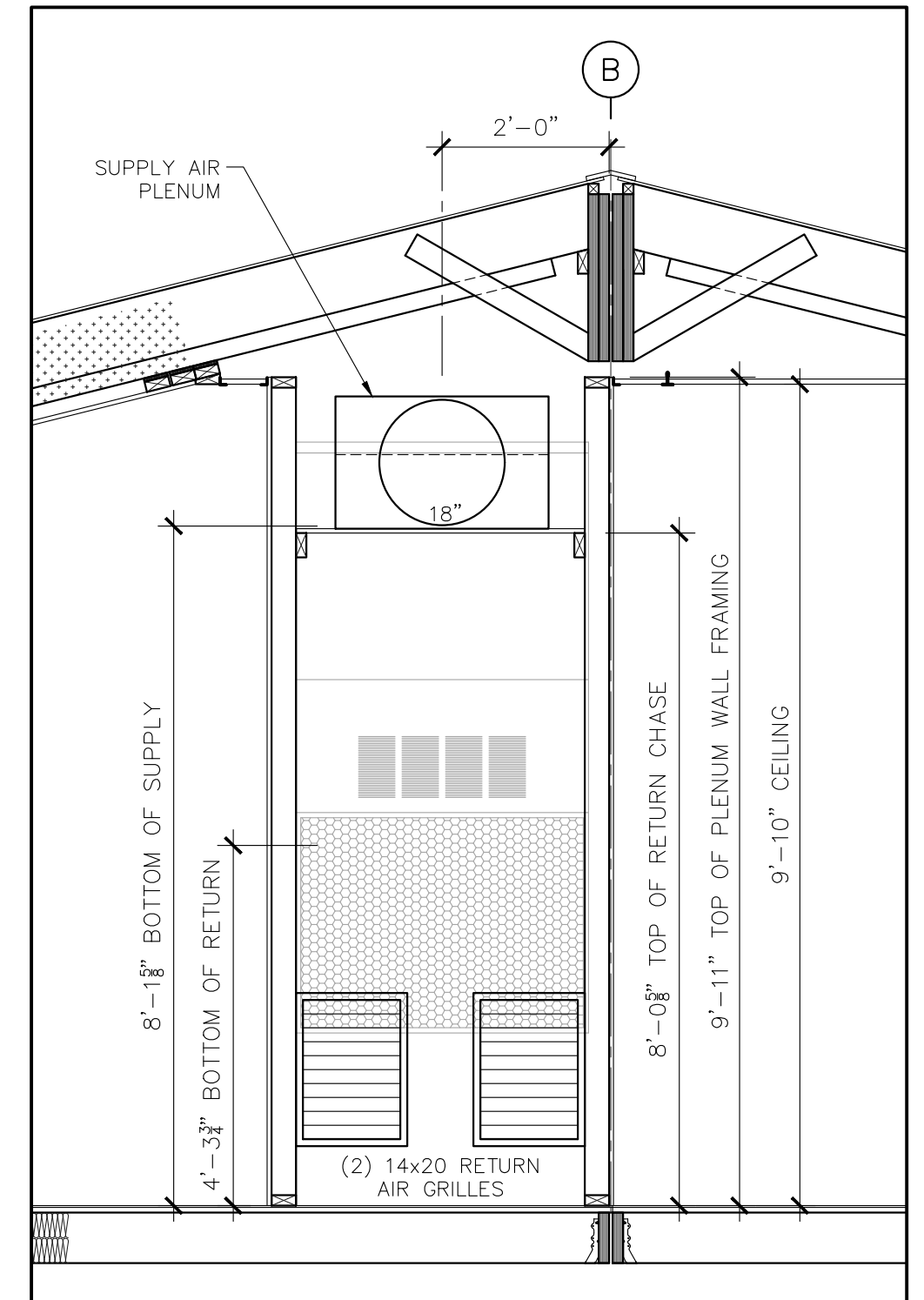
**M-1**



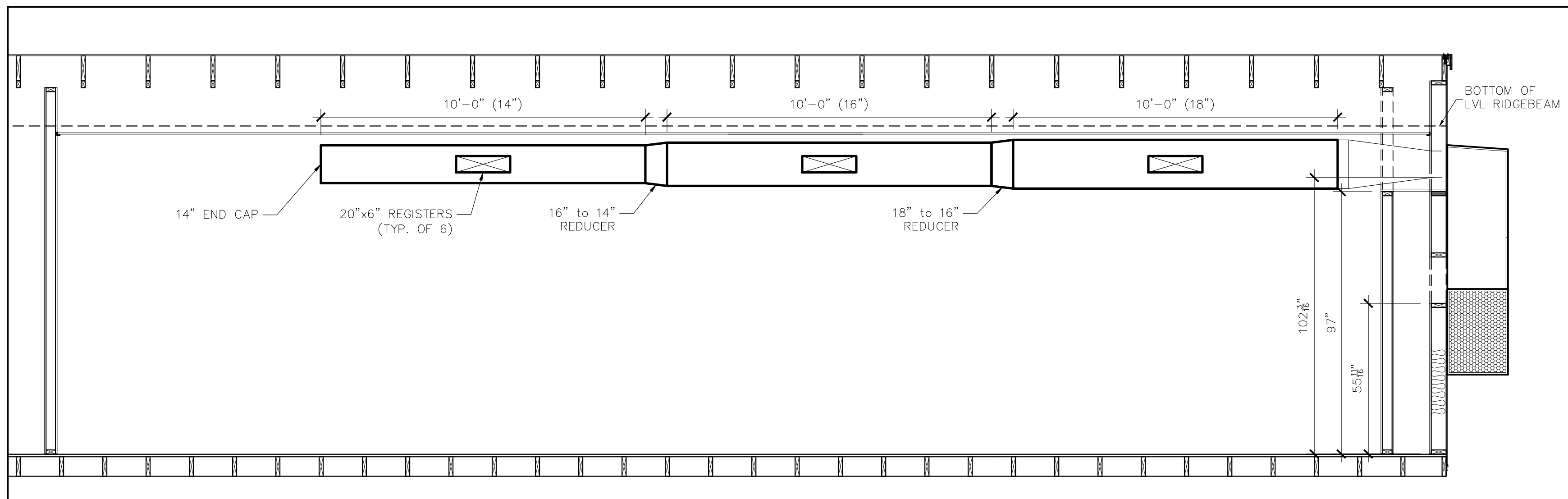
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**SECTION A-A AT PLENUM**  
SCALE: 1/2" = 1'-0"



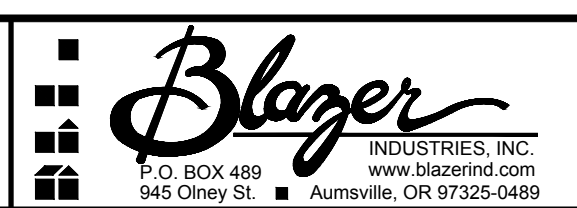
**SECTION B-B AT PLENUM**  
SCALE: 1/2" = 1'-0"



**SECTION C-C AT PLENUM**  
SCALE: 1/2" = 1'-0"

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Job No: 20143  
**M-2**

Newberg, Oregon

# PACKAGE \*SPVU\* HIGH EFFICIENCY WALL MOUNT HEAT PUMP – SCHEDULE

UNIT TAG	BARD UNIT MODEL NUMBER	UNIT SIZE	UNIT QTY	BLOWER MOTOR TYPE	AIRFLOW CFM	DD BLOWER SPEED SETTING	BLOWER HP	FAN EFFICIENCY GRADE (FEG)	VENTIL. DEVICE	VENTIL. (FA) CFM	FILTER TYPE	EER	OUTDOOR (DB) TEMP	ENTERING (DB) TEMP	ENTERING (WB) TEMP	COOLING CAPACITY BTUH	SENSIBLE COOLING CAPACITY BTUH	HEATING CAPACITY 47degs BTUH	HEATING COP 47degs	HERTZ	UNIT VOLTS	UNIT PHASE	HEAT STRIPS KW	HEAT STRIPS OUTPUT BTUH	SINGLE POINT CONNECTION		UNIT WGT	ADDITIONAL NOTES
																									MCA AMPS	MOCAP AMPS		
HP-1	W24HB-A08ZP4XXR	2.0	1	ECM	800	LOW	1/3	----	ECON	----	MERV-8	11.30	95	80	67	23,500	17,900	22,400	3.3	60	240	1	08	27,304	62	70	335	1,2,3,4,5,6,7,8,9,10,
HP-2	W48HC-A15ZP4XXR	4.0	1	ECM	1686	MED	3/4	----	ECON	----	MERV-8	11	95	80	67	48,330	37,679	41,378	3.3	60	240	1	15	51,195	87	90	505	1,2,3,4,5,6,7,8,9,10,

**ADDITIONAL NOTES:**

1 – CAPACITY LISTED ABOVE ARE IN ACCORDANCE WITH ANS/ARI STANDARD 390-2003 FOR SPVU (SINGLE PACKAGE VERTICAL UNITS)  
 2 – COMPLIES WITH EFFICIENCY REQUIREMENTS OF ANSI/ASHRAE/IESNA 90.1-2016  
 3 – BARD THERMOSTAT (8403-060), 7-DAY PROGRAMMABLE  
 4 – BARD INDOOR REMOTE SENSOR. (8403-062)  
 5 – BARD CO2 SENSOR, (S8403-069)  
 6 – HEAT STRIPS KIT WITH CIRCUIT BREAKER  
 7 – ECONOMIZER, FULL FLOW, WITH JADE CONTROLLER, ENTHALPY/TEMP SENSOR  
 8 – 2" PLEATED FILTER, MERV-8  
 9 – UNIT COLOR IS \*BUCKEYE GRAY\*  
 10 – OUTDOOR THERMOSTAT SET AT 40DEG'S OR LOWER & LAC CONTROL (R) OPT.  
 11 – SMOKE DETECTOR, SM501N (SUPPLY) DUCT MOUNTED  
 12 – (BSDTIMER) KIT – PROVIDES A MEANS ON SHUTTING DOWN OF THE MECHANICAL COOLING AND HEATING SYSTEM, VENTILATION CONTINUES TO OPERATE, VIA EXTERIOR DOOR SWITCH (OPTIONAL)


Sequence of operation:

1- Upon a Cooling call from the room thermostat the unit will be in economizer or mechanical cooling mode or both depending on the economizer jade controller setpoints.  
 2- Upon a heating call from the room thermostat the unit will be in mechanical heating and the economizer will be disable, 2nd stage heat strips will come on if the room temperature drops below its setpoint and during defrost.  
 3- CO2 Sensor to control the ventilation mode through the Occupy connection as required by its set points  
 4- These modes with keep repeating and required by the thermostat.  
 5- If this unit is equipped with a exterior door shut down kit the unit mechanical system will be shut down after the exterior has been open for 5+ minutes. The ventilation portion will keep operating. Once the door closes the unit will restart if there is still a call from the thermostat.

\*\* M.C. TO REFER TO INSTALLATION INSTRUCTIONS FOR START UP AND EQUIPMENT SET  
 \*\* M.C. TO CHECK SITE VOLTAGE AND SET CORRECT TAP ON TRANSFORMER  
 \*\* M.C. TO SET AND PROGRAM THERMOSTAT PER CUSTOMERS REQUIREMENTS  
 \*\* M.C. TO SET AND CHECK ECONOMIZER AND VENTILATION PRE PROJECT REQUIREMENTS

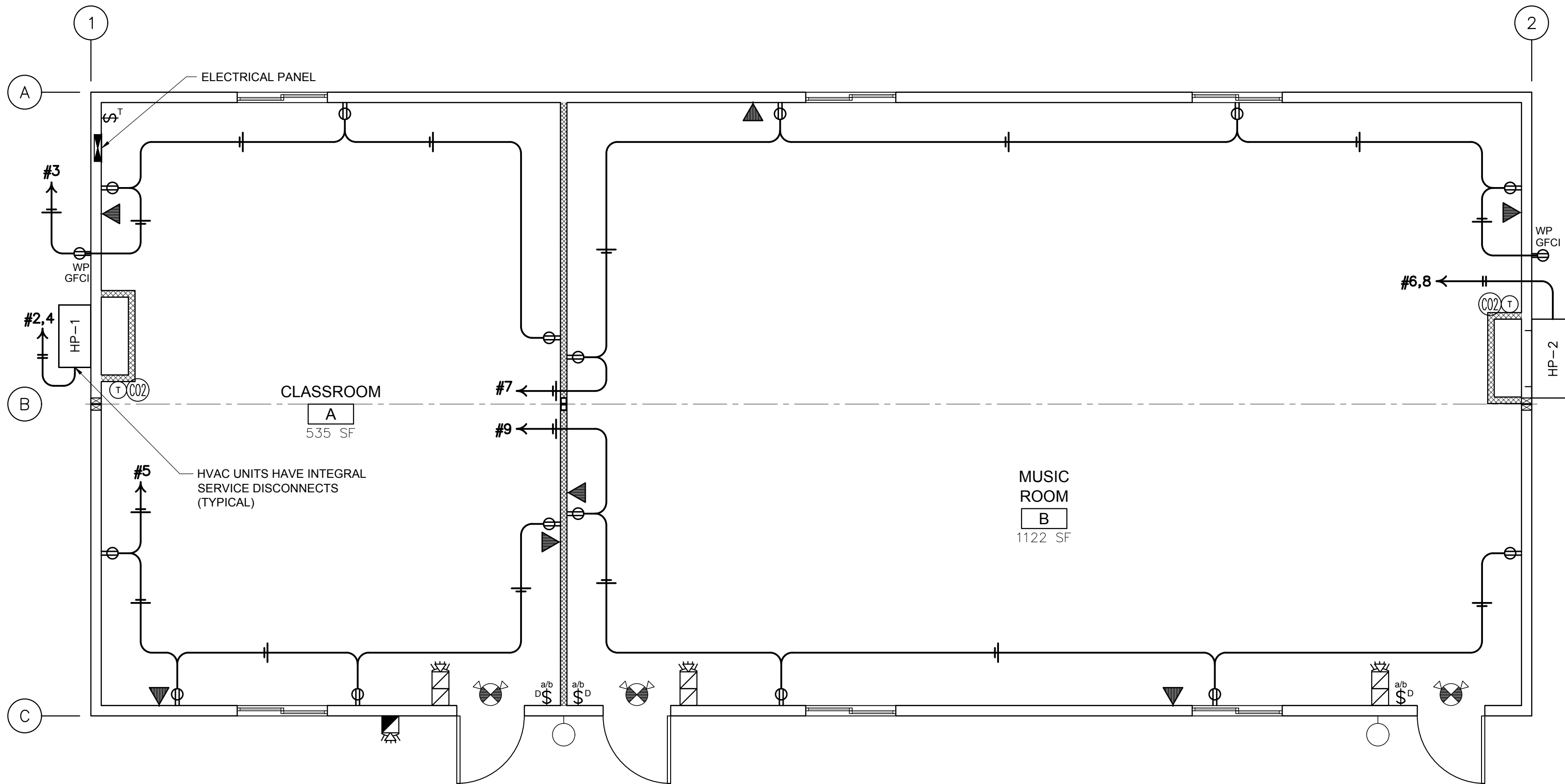
MINIMUM VENTILATION RATES PER WA-2018 IMC WAC & OR-2019 OMSC TABLE 403.3.1.1											
room #	name	Az (sf)	sf/1000	Occ. Dens	Pz (calc)	Pz (used)	Rp (cfm/person)	Ra (cfm/sf)	Vbz (cfm)	Ez (effect)	Voz (cfm)
	Music Room	1122	1.122	35	40	40	10	0.12	535	1.0	535
	Classroom A	535	0.535	35	19	19	10	0.12	254	1.0	254
					0	0			0	1.0	0
											789 cfm

Az = room area (sf)  
 Occ. Dens = occupant density (from Table 403.3)  
 Pz (calc) = zone population or occupant quantity (calculated)  
 Pz (used) = zone population or occupant quantity (user can override the calculation-increase only)  
 Rp = people outdoor airflow rate in breathing zone (cfm/person)  
 Ra = area outdoor airflow rate in breathing zone (cfm/sf)  
 Vbz = Breathing zone outdoor air flow rate per eq. 4-1 ( Rp\*Pz+Ra\*Az)  
 Ez = zone air distribution effectiveness (from Table 403.3.1.1.1.2)  
 Voz = zone outdoor airflow per equation 4-2 (Vbz/Ez)

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# ELECTRICAL POWER PLAN



ars 3/18/2022

OREGON STATE  
GENERAL SUPERVISING ELECTRICIAN

SMITH, AARON R

LICENSE NO: 5726S  
ISSUE DATE: 09/10/2019  
EXPIRE DATE: 10/01/2022

BLAZER INDUSTRIES, INC.  
OREGON CCB #0050106  
ELECTRICAL LICENSE #24-197C

SIGNATURE:

QTY.	SIZE	DESCRIPTION
1	200 AMP	SINGLE PHASE - STUB THRU - 120/240 VOLT
		METALLIC RACEWAY SYSTEM - EMT, MC CABLE AND/OR FLEX CONDUIT
1	2 TON	BARD 8 kW WALL HUNG HEAT PUMP w/ECONOMIZER - 11 EER
1	4 TON	BARD 15 kW WALL HUNG HEAT PUMP w/ECONOMIZER - 11 EER
2		THERMOSTAT - BARD #8403-060
10	2 x 4	LED VOLUMETRIC TROFFER-nLIGHT AIR ENABLED-6000 LUMEN-48 WATTS-4000K -LITHONIA-2BLT4 60L ADPT EZ1 LP840 NLTAIR2 RES7 PWS1836
8	1 x 4	BLWP SURFACE MOUNTED LED-nLIGHT AIR ENABLED-6000 LUMEN-49 WATTS -4000K LITHONIA-BLWP4 60L ADPT EZ1 LP840 NLTAIR2 RES7
2		14 WATT VANDAL RESISTANT LED PORCH LIGHT w/PHOTOCELL LITHONIA OVWPLED40K120PEDDBHP17M4

ELECTRICAL SYMBOLS							
SYMBOL	DESCRIPTION	AFF TO TOP	REMARKS	SYMBOL	DESCRIPTION	AFF TO TOP	REMARKS
	ELECTRICAL PANEL	72"			CO2 SENSOR	48"	4" SQUARE BOX w/ SINGLE GANG MR 18AWG STAT WIRE
	DUPLEX RECEPTACLE	20"	180 VA EACH		nLIGHT ENABLED LED TROFFER w/ INTEGRAL SENSORS	T-BAR CEILING	48 VA EACH 6000 LUMEN EACH
	WEATHER RESISTANT GFCI RECEPTACLE	20"	180 VA EACH		BLWP nLIGHT ENABLED 1x4 LED SURFACE MOUNTED w/INTEGRAL SENSOR	HARD-LID CEILING	49 VA EACH 6000 LUMEN EACH
	nLIGHT DIMMING CONTROL	48"	2 ZONE DIMMING CONTROL. LOWER CASE LETTERS DESIGNATE ZONING		LED WALL PACK	84"	14 VA EACH
	PHONE/DATA ROUGH IN 4" SQ BOX w/ SINGLE GANG MR	20"	3/4" FLEX STUBBED UP AND DOWN		EXIT / EMERGENCY COMBO RED LETTERS	ABOVE DOOR	90 MINUTE BATTERY BACK UP
	WALL HUNG HVAC UNIT 1	AS REQUIRED	SEE MECH SCHEDULE AND CALCS		PULL STATION	48"	
	WALL HUNG HVAC UNIT 2	AS REQUIRED	SEE MECH SCHEDULE AND CALCS		FIRE ALARM HORN/STROBE	84"	3/4" RACEWAY ONLY STUB UP AND DOWN. PAINT RACEWAY AND BACK BOX SUBSTANTIALLY RED IN COLOR
	HVAC THERMOSTAT	48"	4" SQUARE BOX w/ SINGLE GANG MR 18AWG STAT WIRE		EXT FIRE ALARM HORN/STROBE	84"	

DATE	REVISION	TAS	BY
3-15-2022	PRELIMINARY REVIEW - BM	TAS	
3-18-22	ELECTRICAL ENGINEERING	ARS	
3-29-2022	PRE-SUBMITTAL REVIEW - JH	TAS	

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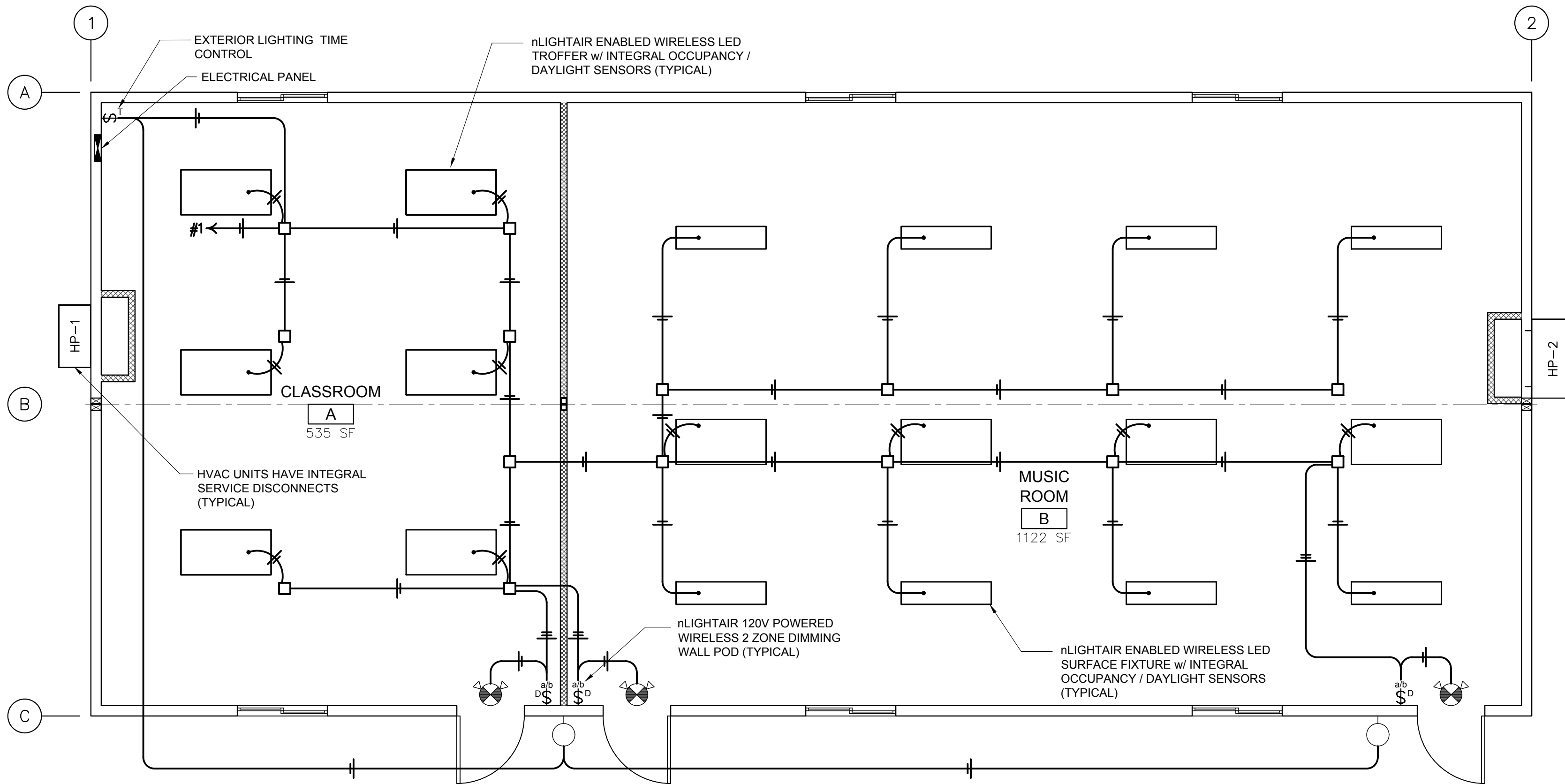
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OR GOLD

CLASSROOM for:  
**VERITAS SCHOOL**  
Pacific Mobile

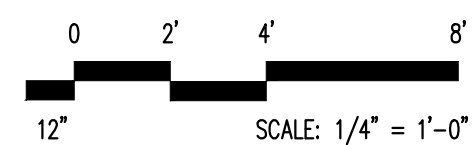
Approved for Const:	Job No: 20143
File Copy:	
Drawn By: TAS	
Issue Date: 3-29-2022	

**E-1**

Newberg, Oregon



# ELECTRICAL LIGHTING PLAN



ars 3/18/2022

OREGON STATE  
GENERAL SUPERVISING ELECTRICIAN  
  
SMITH, AARON R  
  
LICENSE NO: 5726S  
ISSUE DATE: 09/10/2019  
EXPIRE DATE: 10/01/2022  
  
BLAZER INDUSTRIES, INC.  
OREGON CCB #0050106  
ELECTRICAL LICENSE #24-197C  
  
SIGNATURE.

QTY.	SIZE	DESCRIPTION
1	200 AMP	SINGLE PHASE - STUB THRU - 120/240 VOLT
		METALLIC RACEWAY SYSTEM - EMT, MC CABLE AND/OR FLEX CONDUIT
1	2 TON	BARD 8 kW WALL HUNG HEAT PUMP w/ECONOMIZER - 11 EER
1	4 TON	BARD 15 kW WALL HUNG HEAT PUMP w/ECONOMIZER - 11 EER
2		THERMOSTAT - BARD #8403-060
10	2 x 4	LED VOLUMETRIC TROFFER-nLIGHT AIR ENABLED-6000 LUMEN-48 WATTS-4000K -LITHONIA-2BLT4 60L ADPT EZ1 LP840 NLTAIR2 RES7 PWS1836
8	1 x 4	BLWP SURFACE MOUNTED LED-nLIGHT AIR ENABLED-6000 LUMEN-49 WATTS -4000K LITHONIA-BLWP4 60L ADPT EZ1 LP840 NLTAIR2 RES7
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	HVAC THERMOSTAT	48"	4" SQUARE BOX w/ SINGLE GANG MR 18AWG STAT WIRE		EXT FIRE ALARM HORN/STROBE	84"	

DATE	REVISION	TAS	ARS	TAS	BY
3-15-2022	PRELIMINARY REVIEW - BM	TAS			
3-18-22	ELECTRICAL ENGINEERING	ARS			
3-29-2022	PRE-SUBMITTAL REVIEW - JH	TAS			

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Newberg, Oregon

Approved for Const:	Job No: 20143
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Issue Date: 3-29-2022	

**E-2**

**PANEL SCHEDULE**

PANEL DESIGNATION: PANEL A  
 MOUNTING: FLUSH  
 ENCLOSURE TYPE: NEMA 1  
 VOLTS: 120/240  
 PHASE: 1  
 AIC RATING: 22,000  
 BUSS RATING: 200 AMP  
 MCB RATING: 200 AMP

CKT	CIRCUIT DESCRIPTION	TRIP	WIRE SIZE	CONNECTED LOAD (VA)		WIRE SIZE	TRIP	DESCRIPTION	CKT
				A	B				
1	LIGHTING	20	12	900	5212	4	70	HVAC #1	2
3	RECEPTACLES	20	12		720	/	/	/	4
5	RECEPTACLES	20	12	720	7872	3	90	HVAC #2	6
7	RECEPTACLES	20	12		900	/	/	/	8
9	RECEPTACLES	20	12	720				SPACE	10
11	SPACE							SPACE	12
13	SPACE							SPACE	14
15	SPACE							SPACE	16
17	SPACE							SPACE	18
19	SPACE							SPACE	20
<b>CONNECTED LOAD</b>		<b>TOTAL LOAD:</b>		<b>15424.0</b>	<b>14704.0</b>				
		<b>TOTAL AMPS:</b>		<b>128.5</b>	<b>122.5</b>				

ELECTRICAL PLAN REVIEW LOAD CALCULATION CALC BY: AARON SMITH

PROJECT INFO: 20143 VERITAS SCHOOL DATE: 3/18/2022

PANEL: PANEL A VOLTAGE: 120/240 PHASE: 1 AMPACITY: 200  
 FED FROM: EXISTING SERVICE AIC RATING: 22,000

DESCRIPTION	VA LOAD	DEMAND FACTOR	PHASE A	PHASE B	NEUTRAL A	NEUTRAL B	NOTES
<b>LIGHTING</b>							
EXTERIOR LIGHTING	28	1.25	35		35		
INTERIOR LIGHTING	872	1.25	1090		1090		
<b>RECEPTACLES</b>							
TOTAL	3060	1.00	1440	1620	1440	1620	
<b>HVAC (MOTORS)</b>							
TOTAL	3168	1.00	1584	1584			1
LARGEST	3840	0.25	480	480			3
<b>HEATING</b>							
TOTAL	23000	1.00	11500	11500			2
<b>TOTALS</b>							
			PHASE A	PHASE B	NEUTRAL A	NEUTRAL B	
	VA		16129.0	15184.0	2565.0	1620.0	
	AMPS		134.4	126.5	21.4	13.5	
<b>LARGEST POWER PHASE</b>	16129.0 VA		<b>LARGEST NEUTRAL PHASE</b>		2565.0 VA		
	134.4 AMPS				21.4 AMPS		

**NOTES:**  
 1. HVAC #2 THE MAX THAT CAN OPERATE WITH THE HEAT PUMP IS 10KW. 15 KW CAN OPERATE IN EMERGENCY HEAT CALC INCLUDES HVAC #1 COMP, OUTDOOR FAN, BLOWER / HVAC #2 BLOWER.  
 2. CALC INCLUDES HVAC #1 HEAT STRIPS 8KW / HVAC #2 HEAT STRIPS 15KW  
 3. HVAC #2 COMPRESSOR IS USED AS THE LARGEST MOTOR FOR CALCULATION

OREGON - SPACE BY SPACE LIGHTING POWER DENSITY PER 2021 OEESC

SPACE DESIGNATION	SQ. FT.	SPACE TYPE	WATTS SQ. FT. ALLOWANCE	TOTAL ALLOWED
CLASSROOM A	535	CLASSROOM	0.71	379.85
MUSIC ROOM	1122	CLASSROOM	0.71	796.62
TOTAL SQ. FT.	1657			1176.5
				TOTAL INSTALLED
				872.0
				PASS OR FAIL
				PASS

TOTAL ALLOWED = SQ. FT. x ALLOWED WATTS PER SQ. FT. - TABLE 9.6.1  
 BASED ON 2019 ASHRAE 90.1

**BARD 2 TON - 8KW - 11EER WH UNIT**

**HVAC** (MOTOR, COMPRESSOR, HEATER SIZES)

OPERATION VOLTAGE	197 MIN.	253 MAX.
COMPRESSOR	8.3 RLA	58 LRA
OUTDOOR FAN	1.1 FLA	1/6 HP
INDOOR BLOWER FAN	.7 FLA	1/3 HP
HEAT STRIP	8 KVA	240 VOLT
MINIMUM CIRCUIT AMPS	<b>62 AMPS</b>	
MAXIMUM OVERCURRENT PROTECTION	<b>70 AMPS</b>	

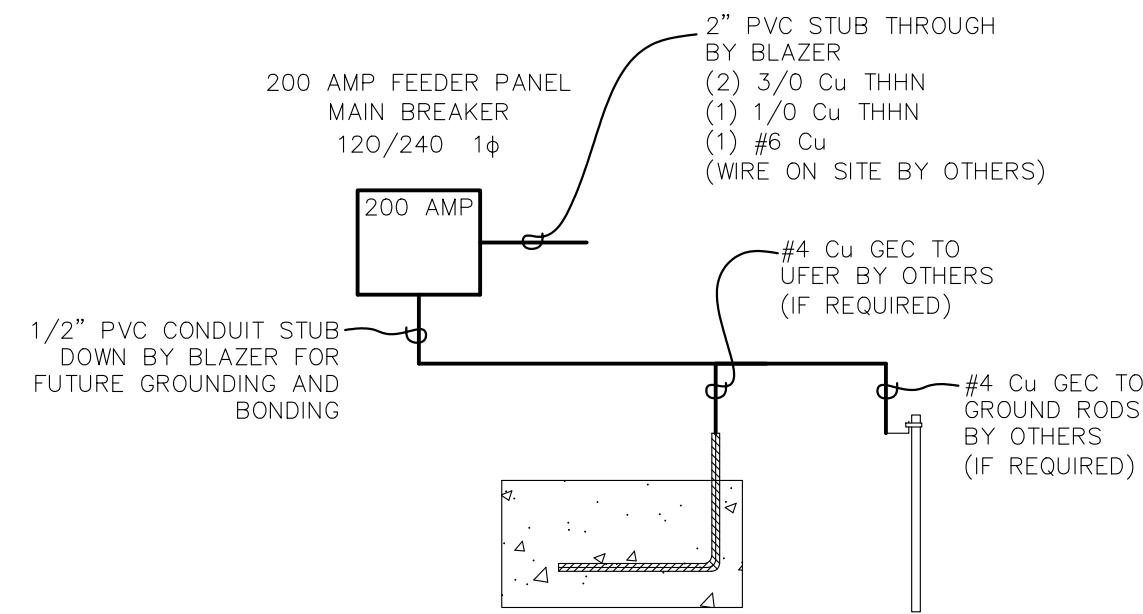
OVERCURRENT PROTECTION SHALL BE DUAL ELEMENT TIME DELAY FUSE OR HACR CIRCUIT BREAKER  
 INTERNAL SERVICE DISCONNECTS PROVIDED.

**BARD 4 TON - 15KW - 11EER WH UNIT**

**HVAC** (MOTOR, COMPRESSOR, HEATER SIZES)

OPERATION VOLTAGE	197 MIN.	253 MAX.
COMPRESSOR	16 RLA	117 LRA
OUTDOOR FAN	1.6 FLA	1/3 HP
INDOOR BLOWER FAN	3.1 FLA	3/4 HP
HEAT STRIP	15 KVA	240 VOLT
MINIMUM CIRCUIT AMPS	<b>87 AMPS</b>	
MAXIMUM OVERCURRENT PROTECTION	<b>90 AMPS</b>	

OVERCURRENT PROTECTION SHALL BE DUAL ELEMENT TIME DELAY FUSE OR HACR CIRCUIT BREAKER  
 INTERNAL SERVICE DISCONNECTS PROVIDED.



FORM A COMPLETE GROUNDING ELECTRODE SYSTEM PER 2020 NEC 250.53. PROVIDED AND INSTALLED ON SITE BY OTHERS

**GENERAL NOTES:**

- WHEN STRANDED WIRE IS USED, ALL TERMINATIONS ARE MADE BY A PRESSURE TERMINAL, BY TAILING OFF WITH SOLID CONDUCTORS OR OTHER APPROVED MEANS OF TERMINATION.
- ALL CONDUCTORS ARE COPPER; TYPE THHN / THWN
- RATING OF STANDARD PANEL IS 22,000 A.I.C.
- WIRING METHOD IN METALLIC CONDUIT OR M.C. CABLE.
- HVAC DISCONNECTS SHALL BE LABELED WITH AN IDENTIFICATION PLATE SHOWING CIRCUIT SOURCE PANEL BOARDS, CIRCUIT NUMBER AND EQUIPMENT SERVED.
- EXTERIOR WEATHER PROOF GFCI SHALL HAVE A "HEAVY DUTY" WEATHER PROOF "IN USE" COVER. 2020 NEC 406.9(B)(1)
- THIS PLAN IS NOT AN "AS-BUILT" CIRCUITS MAY BE RUN DIFFERENT THAN SHOWN BASED ON OBSTACLES ENCOUNTERED.

**2021 OEESC / 2018 IECC / 51-11C WAC 2018 WSEC:**

- A MINIMUM OF 90% OF LIGHTING FIXTURES HAVE EMBEDDED OCCUPANCY AND DAYLIGHT SENSORS FOR INCREASED ENERGY SAVINGS, AND ARE INDIVIDUALLY ADDRESSABLE.
- A MINIMUM OF 90% OF LIGHTING IS SET FOR CONTINUOUS DIMMING AND IS ADJUSTABLE BY OCCUPANTS, FOR OCCUPANT COMFORT, VIA WALL PODS.
- 50% OF RECEPTACLES IN CLASSROOMS, PRIVATE OFFICES, OPEN OFFICES, CONFERENCE ROOMS, COPY ROOMS, AND INDIVIDUAL WORKSTATIONS, ARE CONTROLLED BY LOCAL OCCUPANCY SENSORS
- FUNCTIONAL PERFORMANCE TESTING SHALL BE PERFORMED
- THE MAXIMUM VOLTAGE DROP ACROSS FEEDERS AND BRANCH CIRCUITS TO BE DETERMINED ON SITE AND SHALL NOT EXCEED 3%

OREGON STATE  
 GENERAL SUPERVISING ELECTRICIAN

SMITH, AARON R

LICENSE NO: 5726S  
 ISSUE DATE: 09/10/2019  
 EXPIRE DATE: 10/01/2022

BLAZER INDUSTRIES, INC.  
 OREGON CCB #0050106  
 ELECTRICAL LICENSE #24-197C

SIGNATURE:

3-18-22	ELECTRICAL ENGINEERING	ARS
3-29-2022	PRE-SUBMITTAL REVIEW - JH	TAS
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DATE	REVISION	BY

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**E-3**