

NOTICE OF DECISION

Newberg SAIL Addition and Parking Modifications – 603 S Meridian Street
Code Adjustment and Design Review – ADJC22-0004 / DR222-0007

August 8, 2022

Process Design, LLC
Nick Turrell
504 NE Brazee, Unit 1A
Portland, OR 97212

Sent via email: nick@process-pdx.com

Re: ADJC22-0004 / DR222-0007 – Newberg SAIL Addition

Dear applicant,

The Newberg Community Development Director has approved the proposed code adjustment and design review, ADJC22-0004 / DR222-0007, for the Newberg School District Newberg SAIL (Support Advocacy for Independence in Life) located at 603 S Meridian Street, subject to the conditions listed in the attached report. The decision will become effective on August 22, 2022, unless an appeal is filed.

You may appeal this decision to the Newberg Planning Commission within 14 calendar days of this decision in accordance with Newberg Development Code 15.100.170. All appeals must be in writing on a form provided by the Planning Division. Anyone wishing to appeal must submit the written appeal form together with the required fee of \$547 (plus 5% technology fee) to the Planning Division within 14 days of the date of this decision.

The deadline for filing an appeal is 4:30 pm on August 21, 2022.

At the conclusion of the appeal period, please remove all notices from the site.

The code adjustment and design review approvals are only valid for one year from the effective date above. If building or construction permits are not issued within this time period, then the code adjustment and design review approvals become null, and void and no construction may take place. If you are approaching the expiration date, contact the Planning Division regarding extension opportunities.

Please note that final building plans submitted for building permit review must comply with the attached conditions. You must comply with all conditions required through the design review process before final occupancy will be granted.

If you have any questions, please contact me at ashley.smith@newbergoregon.gov or 503-554-7768.

Sincerely,

A handwritten signature in blue ink that reads "Ashley Smith".

Ashley Smith
Assistant Planner
City of Newberg

DECISION AND FINDINGS

Newberg SAIL Addition and Parking Modifications – 603 S Meridian Street
Code Adjustment and Design Review –ADJC22-0004 / DR222-0007
Newberg School District

FILE NO: ADJC22-0004 / DR222-0007

REQUEST: Addition with setback code adjustment and parking lot modifications.

LOCATION: 603 S Meridian Street

TAX LOT: R3219DA 00800

APPLICANT: Process Design, LLC.

OWNER: Newberg School District

ZONE: R-2 (Medium Density Residential)

PLAN: MDR (Medium Density Residential)

OVERLAY: Airport Inner Horizontal Surface, Marijuana Exclusion Zone

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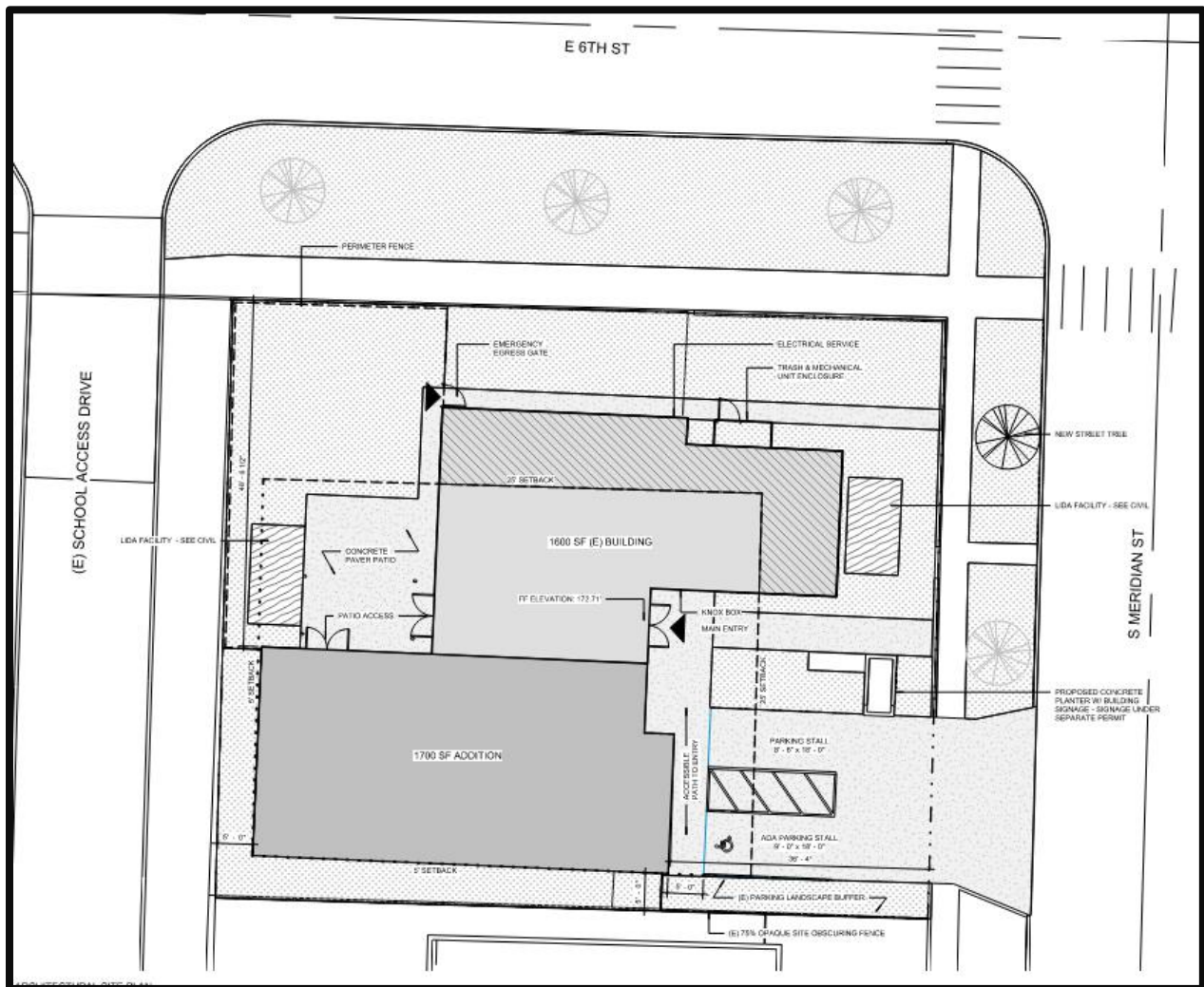
Attachments:

1. Application Material and Supplemental Material
2. Agency Comments

Section I: Application Information

A. DESCRIPTION OF APPLICATION:

This is a proposal of a Type II Design Review to perform modifications to the existing Newberg SAIL (Support Advocacy for Independence in Life) program. The program offers experiences and training for up to 20 students who have recently graduated to gain independent living life skills as well as social skills, healthy living, and develop community awareness. The site modifications include a 1,700 square foot addition, landscaping and parking lot modifications, storm water facilities, pedestrian pathways, and exterior updates to the existing building. In association with the design review application is a code adjustment application requesting a reduction in the required 25-foot setbacks for a school use to be reduced to 5 feet to accommodate the new addition.



B. SITE INFORMATION:

1. Location: The project site is located at the intersection of S Meridian Street and E Sixth Street. The site is in the R-2 / Medium Residential Density zone and the building was originally constructed as a single-family home. In 2007, a design review and code adjustment were approved through the City of Newberg (DR1-07-016 and ADJC-07-006) to convert the residence to classroom use and adjust setback regulations for the S Meridian Street and E Sixth Street fronting yards from the required 25 feet for schools to the existing 15 feet of each yard.



2. Size: Area of work within the 8,399 square foot lot (1,700 addition).
3. Current Land Uses: School
4. Natural Features: None

5. Adjacent Land Uses:
- a. North: Residential
 - b. South: Residential
 - c. East: Residential
 - d. West: Edwards Elementary School

Zoning: The following zoning districts about the subject property.



- a. North: R-2 / Medium Density Residential
- b. East: R-2 / Medium Density Residential
- c. South: R-2 / Medium Density Residential

d. West: R-2 / Medium Density Residential

2. Access and Transportation: Access to the proposed development is provided from S Meridian Street. The site also has frontage on E Sixth Street. Both streets are classified as local residential streets. The south side of E Sixth Street along the project site's frontage is signed as "NO PARKING SCHOOL DAYS 7:00 AM TO 4:30 PM". A private drive serving Edwards Elementary School on the adjacent Newberg School District property is along the western boundary of the project site.
3. Utilities:
 - a. Water: There is a 4-inch water line located on the south side of E Sixth Street along the project site's frontage with a 3/4-inch service lateral serving the property. There is also a 6-inch water line on the east side of S Meridian Street along the project. Fire flow will need to be confirmed by a fire flow test. Fire flow test results to be submitted with permit applications.
 - b. Wastewater: There is a 12-inch wastewater line located on E Sixth Street along the project site's frontage with a 4-inch service lateral serving the property.
 - c. Stormwater: There is an 8-inch storm line located in E Sixth Street along the project site's frontage.
 - d. Overhead Lines: There are overhead utilities running parallel to the project site frontages. Any new connection the property will need to be undergrounded. See NMC 15.430.010 for exception provisions.

C. PROCESS: The Design Review request is a Type II application and follows the procedures in Newberg Development Code 15.100.030. Following a 14-day public comment period, the Community Development Director makes a decision on the application based on the criteria listed in the attached findings. The Director's decision is final unless appealed.

Important dates related to this application are as follows:

1. 06/30/2022: The Community Development Director deemed the application complete.
2. 07/07/2022: The applicant mailed notice to the property owners within 500 feet of the site.
3. 07/08/2022: The applicant posted notice on the site.

4. 07/21/2022: The 14-day public comment period ended.
5. 08/08/2022: The Community Development Director issued a decision on the application.

D. AGENCY COMMENTS: The application was routed to several public agencies for review and comment (Attachment 2). Comments and recommendations from city departments have been incorporated into the findings and conditions. As of the writing of this report, the city received the following agency comments:

1. Building Official: Reviewed, no conflict.
2. City Manager: Reviewed, no conflict.
3. Community Development Director: Reviewed, no conflict.
4. Finance Department: Reviewed, no conflict.
5. Police Department: Reviewed, no conflict.
6. Public Works Director: Comment:
“Appears that they may be adding a commercial or institutional kitchen, which may require a grease trap or interceptor”
7. Public Works Maintenance: Reviewed, no comment.
8. Public Works Maintenance Superintendent: Comment
Please see Attachment 2: for comments.
9. Public Works Maintenance Supervisor: Reviewed, no conflict.
10. Public Works Water Treatment: Reviewed, no conflict.
11. Public Works Wastewater Compliance: Comment.
“All Food Service is required to have a grease removal device. The kitchen will need to install a grease trap. OR Specialty Plumbing Code 1014.0 & NMC 13.10.080 B3, B17 & E.”
12. Zply Fiber: Reviewed; no conflict.

E. PUBLIC COMMENTS:

No public comments were received on the application.

**Section II: Findings – File ADJC22-0004
Code Adjustment –603 S Meridian Street
Newberg SAIL Program – Newberg School District**

15.210.010 Adjustments, powers and duties.

Due to the inherent nature and limitation of the code, it is not possible to encompass all the different situations arising from the various properties treated by this code. The director may grant limited adjustments to the terms of this code when such adjustments are within the limitations and conditions contained in this section. These provisions shall be used sparingly within the purpose and intent of the code and the limitations shall not be exceeded under any circumstances. [Ord. 2451, 12-2-96. Code 2001 § 151.175.]

15.210.020 Type I adjustments and approval criteria.

The director may authorize adjustments from the following requirements through a Type I procedure subject to the following:

B. Interior Yard Setback Requirements in Residential Zones.

- 1. Except for lots designated as “zero lot line lots,” the director may approve an adjustment in the interior yard requirements so that a distance not less than three feet is maintained.***

Finding: The applicant has submitted a code adjustment application (ADJC22-0004) in conjunction to the design review application (DR222-0007) for redevelopment at the Newberg SAIL Program building which includes a 1,700 square foot addition. The project site is located within the R-2 / Medium Density Residential zone and is requesting an interior yard setback adjustment from 25 feet, the required property line setback for school use structures per NMC15.410.040, to 5 feet. The director may approve up to 3 feet however, 5 feet is the required residential setback for interior yards in the R-2 zone and the applicant’s goal is to keep the structures character similar to the single-family homes in the area. The request meets the criteria for the director to review under a Type I Code Adjustment application.

2. Approval Criteria. Approval of an adjustment to the interior yard setback shall be based upon the following:

- a. A site plan is approved by the director prior to issuance of a building permit. In approving a site plan, the director may attach any conditions necessary to fulfill the purpose of this code.***

Finding: A site plan depicting all setbacks must be included with the building permit application, reviewed, and approved prior to building permit issuance. If the aforementioned condition is adhered to, this criterion will be met.

b. Adequate light, air and open space is provided on the lot.

Finding: The applicant’s narrative proposes that adequate light and air will be maintained due

the structure having street frontage on the north and east property lines with no request to reduce these existing setbacks. The request for the setback reduction from 25 feet to 5 feet will be for the south and west property lines. The west property line is shared with a 300-foot-long drive aisle to Edwards Elementary School accessed from E Sixth Street. The south property lines is shared with an established single-family dwelling. The proposed design of the addition lends consideration to the neighboring south property by limiting the addition to one story and orienting the gable roof to provide maximum light to the south. The narrative states that this design footprint will allow for the largest continuous open space for the site. Staff also find that creating the open space in the northwest corner of the lot will maintain the most privacy for the neighbor to the south. This criterion is met.

c. The building is limited to one story.

Finding: The building will continue to be one story. This criterion is met.

d. The building is compatible with physical conditions and adjacent property.

e. The adjustment is consistent with the setbacks, lot area, and/or coverage of buildings or structures previously existing in the immediate vicinity.

Finding: Properties to the north, east, and south are single-family dwelling homes. The property to the west is Edwards Elementary School. The proposed renovations state that the overall appearance of the building will continue in style such as a single-family home. The only shared property line is with the neighbor to the south that utilizes a 5 foot setback from this shared line. The applicant's narrative states those properties along S Meridian Street between E Sixth and E Seventh streets appear to maintain similar setbacks between 0 and 5 feet. Utilizing City of Newberg GIS software, staff agree that most homes have similar interior setbacks as the proposed interior setbacks of the Newberg SAIL Program. The applicant has also shared that even though this is a school use and per NMC 15.405.040 are exempt from lot coverage requirements, the site will try to maintain the physical character of a single-family home by complying with the R-2 zoning maximum lot coverage, parking and combine coverage requirements. The narrative states the site will have a 54% percent combined lot coverage which is under the allowable 70% coverage for that zone. Therefore, the physical conditions will be compatible with adjacent properties, as well as considerate to the neighboring south property. The criteria of subsections (d) and (e) are met.

D. Vision Clearance Requirements on Corner Lots.

1. Vision clearance requirements on corner lots may be waived by the director.

Finding: The project site is a corner lot at S Meridian Street and E Sixth Street. However, the

applicant is not requesting a setback adjustment to either yard that has street frontage, only to the interior yards along the west and south property lines. Therefore, the criteria of this section are not applicable.

15.210.030 Conditions may be attached.

The director may attach any condition to the adjustment if such condition relates directly and specifically to the matter being adjusted. [Ord. 2451, 12-2-96. Code 2001 § 151.177.]

15.210.040 Adjustment right must be exercised to be effective.

An adjustment granted under this code shall be effective only when the exercise of the right granted thereunder shall be commenced within one year from the effective date of the decision. The director may authorize an extension of the duration of the decision for an additional six months upon written application. In case such right is not exercised, or extension obtained, the adjustment decision shall be void. Any adjustment granted pursuant to this code is transferable to subsequent owners or contract purchasers of the property unless otherwise provided at the time of granting such adjustment. [Ord. 2451, 12-2-96. Code 2001 § 151.178.]

Finding: A building permit that incorporates the reduction of the interior setback requirements outlined in this decision must be issued within one year from the effective date of this decision.

CONCLUSION:

Based on the above findings, the project meets the criteria required within the Newberg Development Code, subject to completion of the attached conditions.

**Section III: Findings – File DR222-0007
Design Review – 603 S Meridian Street
Newberg SAIL Program – Newberg School District**

Chapter 12.05 Street and Sidewalks

12.05.090 Permits and certificates.

A. Concurrent with the issuance of a building permit for the construction of a building for residential use or business structures or an addition to a dwelling or business structure, the value of which is \$30,000 or more except as the city engineer may require on building permits of lesser value in accordance with NMC 12.05.040, the owner, builder or contractor to whom the building permit is issued shall meet the following requirements:

1. Construct a sidewalk within the dedicated right-of-way for the full frontage in which a sidewalk in good repair does not exist. The sidewalk construction shall be completed within the building construction period or prior to issuance of an occupancy permit, whichever is the lesser.

Finding: The submitted plans show an existing 6-foot-wide Type A sidewalk with planter strip along the project site’s E Sixth Street frontage and an existing 4-foot-wide Type A sidewalk with planter strip along the project site’s S Meridian Street frontage. Because the condition of the existing sidewalks is uncertain, the applicant will be responsible for replacement of any sidewalk panels along the project site’s frontages that are not in good condition or do not meet current ADA standards along the project frontages. This would include the installation of ADA curb ramps at the southwest corner of the E Sixth Street at S Meridian Street intersection. Determination of the limits of sidewalk replacements will be part of the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

2. Dedicate right-of-way in accordance with the city transportation plan.

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. The existing rights-of-way widths for E Sixth Street and S Meridian Street are consistent with the city transportation plan along the project site’s frontages.

This criterion does not apply.

Chapter 15.220 Site Design Review

15.220.020 Site design review applicability.

A. Applicability of Requirements. Site design review shall be required prior to issuance of building permits or commencement of work for all improvements noted below. Site design review permits shall be processed as either Type I or Type II, as noted below.

1. Type I.

- a. Single-family dwellings;*
- b. Duplex dwellings;*
- c. Triplex dwellings;*
- d. Quadplex dwellings;*
- e. Townhouse dwellings;*
- f. Cottage cluster projects;*
- g. Institutional, commercial or industrial additions which do not exceed 1,000 square feet in gross floor area;*
- h. Multifamily additions which do not exceed 1,000 square feet in gross floor area and do not add any new units, or new construction incidental to the main use on an existing developed site which does not exceed 1,000 square feet in gross floor area and does not add any new units;*
- i. Institutional, commercial or industrial interior remodels which do not exceed 25 percent of the assessed valuation of the existing structure;*
- j. Multifamily remodels which do not exceed 25 percent of the assessed valuation of the existing structure and do not add any new units;*
- k. Signs which are not installed in conjunction with a new development or remodel;*
- l. Modifications, paving, landscaping, restriping, or regrading of an existing multifamily, institutional, commercial or industrial parking lot;*
- m. Fences and trash enclosures;*
- n. Accessory dwelling units.*

2. Type II.

- a. Any new development or remodel which is not specifically identified within subsection (A)(1) of this section.*
- b. Telecommunications facilities.*

Finding: This application is for a non-residential, school use, 1,700 square foot addition with site modifications. The site modifications include parking lot adjustments, landscaping, fencing, storm water facilities, and updates to existing building. Due to the size of the addition the project is reviewed under a Type II Design Review application, which the applicant submitted. This criterion is met.

15.220.050 Criteria for design review (Type II process).

B. Type II. The following criteria are required to be met in order to approve a Type II design review request:

- 1. Design compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.**

Finding: The original building was a residential single-family home that through a design review and code adjustment with the City of Newberg (DR1-07-016 and ADJC-07-006) was converted into school use for the Newberg School District SAIL (Support Advocacy for Independence in Life) Program. The structure currently maintains the look of a residence. The proposed building modifications will continue the same gable roof on the one-story addition. Exterior color choices are muted, natural tones, with cedar accents and cement lap siding and paneling. The desire of the applicant is to blend the renovations with the existing single-family neighborhood while still identifying it as a school use. Staff find the applicant has shown through the narrative and submitted elevation drawings depicting the before listed elements, that overall design compatibility to the surrounding area is being met. This criterion is met.

2. Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.

15.440.010 Required off-street parking

A. Off-street parking shall be provided on the lot or development site for all R-1, C-1, M-1, M-2 and M-3 zones. In all other zones, the required parking shall be on the lot or development site or within 400 feet of the lot or development site which the parking is required to serve. All required parking must be under the same ownership as the lot or development site served except through special covenant agreements as approved by the city attorney, which bind the parking to the lot or development site.

Finding: The project site is located in the R-2 zone and per this code section it is acceptable that off street parking be provided at the Newberg School District offices located at 714 E Sixth Street (R3219DA 04200). The Newberg School District office is within 400 feet of the Newberg SAIL Program building and per Yamhill County Assessor data, both lots are under the same ownership of the Newberg School District Number 29J. Therefore, no special covenant agreement is required. This criterion is met.

15.440.020 Parking area and service drive design.

A. All public or private parking areas, parking spaces, or garages shall be designed, laid out and constructed in accordance with the minimum standards as set forth in NMC 15.440.070.

Finding: NMC 15.440.070 directs public or private parking areas in association with non-residential uses. Due to the sites original use as a single-family dwelling, the site has limited parking. A standard two car residential parking area is 20 feet by 18 feet. The proposed parking

area is 23 feet and 6 inches by 30 feet and 8 inches. This space also accommodates a 6-foot-wide ADA access pathway. The parking spaces will be direct pull in and therefore 9 feet by 18 feet is the appropriate stall dimensions. The ADA parking space will be 9 feet by 18 feet, the remaining parking space will be 8 feet and 6 inches by 18 feet, 6 inches smaller than a standard space, but larger than a compact space. Staff find the intent of NMC 15.440.070 to create safe and functional parking spaces is being met and creating additional parking surface is not required to accommodate the 6 additional inches to create a standard space. This criterion is met.

B. Groups of three or more parking spaces, except those in conjunction with a single-family detached dwelling, duplex dwelling, triplex dwelling, quadplex dwelling, townhouse dwelling or cottage cluster project on a single lot, shall be served by a service drive so that no backward movement or other maneuvering of a vehicle within a street, other than an alley, will be required. Service drives shall be designed and constructed to facilitate the flow of traffic, provide maximum safety in traffic access and egress and maximum safety of pedestrian and vehicular traffic on the site, but in no case shall two-way and one-way service drives be less than 20 feet and 12 feet, respectively. Service drives shall be improved in accordance with the minimum standards as set forth in NMC 15.440.060.

Finding: According to the submitted parking lot plan, there will not be more than three spaces that would require backward movement of a vehicle into a street. The parking lot shows two parking spaces that match the surrounding single family home parking requirements and typical layout. Vehicles will pull in headfirst from S Meridian Street and will then be required to reverse out. The narrative states one space will be ADA van accessible and the other will be used as pull in drop off location. No service driveway is proposed with this parking lot configuration. This criterion is met.

C. Gates. A private drive or private street serving as primary access to more than one dwelling unit shall not be gated to limit access, except as approved by variance.

Finding: No gates are proposed. This criterion is not applicable.

D. In the AI airport industrial district and AR airport residential district, taxiways may be used as part of the service drive design where an overall site plan is submitted that shows how the circulation of aircraft and vehicles are safely accommodated, where security fences are located, if required, and is approved by the fire marshal, planning director, and public works director. The following submittal must be made:

Finding: This project is located in an R-2 / Medium Density Residential zone, not within the AI airport industrial district or AR airport residential district. Therefore, this criterion is not applicable.

15.440.030 Parking spaces required.

Schools	High schools, 1-1/2 for each teaching station, plus 8 for every classroom, or 1 for every 28 sq. ft. of seating area where there are no fixed seats in an auditorium or assembly area
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Finding: The Newberg SAIL Program will instruct 20 students with five support staff. This student and staff number would require 8 parking spaces. Per the 2007 design review and code adjustment (DR1-07-016 and ADJC-07-0006) it was noted that all required parking would be supported by Newberg School District (NSD) offices, 714 E Sixth Street, just to the west of this project site. This decision is allowed through NMC 15.440.010. However, the 2007 design review findings do state that if parking were to occur at 603 S Meridian Street that the site would need to support three parking spaces, one which would be an ADA van accessible spot. The current development work is proposing only two off-street parking spaces, one which is an ADA van accessible spot. Staff find that the two parking spots are justifiable, and a third is not required. This is supported by the proximity and clear pedestrian access from the NSD office parking, along with the goal to keep the Newberg SAIL Program building similar in design to the adjacent single-family dwellings by not converting front yard into additional parking. Staff recognize that parking is limited within the neighborhood and highly encourage NSD to ensure participants and staff of the SAIL Program utilize the off-street parking at NSD rather than adjacent neighborhood on street parking. However, the times the Newberg SAIL Program will patronized is during typical business and weekday hours, outside the peak residential use times.

This criterion is met.

15.440.060 Parking area and service drive improvements.

All public or private parking areas, outdoor vehicle sales areas, and service drives shall be improved according to the following:

A. All parking areas and service drives shall have surfacing of asphaltic concrete or Portland cement concrete or other hard surfacing such as brick or concrete pavers. Other durable and dust-free surfacing materials may be approved by the director for infrequently used parking areas. All parking areas and service drives shall be graded so as not to drain stormwater over the public sidewalk or onto any abutting public or private property.

Finding: The applicant's narrative states that the parking will be surfaced with concrete. This criterion is met.

B. All parking areas shall be designed not to encroach on public streets, alleys, and other rights-of-way. Parking areas shall not be placed in the area between the curb and sidewalk or, if there is no sidewalk, in the public right-of-way between the curb and the property line. The director may issue a permit for exceptions for unusual circumstances where the design maintains safety and aesthetics.

Finding: The proposed parking layout does not locate any parking places so that a vehicle would encroach on public streets, alleys, or rights-of-way. This site was originally a single-family dwelling with a standard pull in driveway, the area will continue to be used as parking. No parking is proposed to take place within the right-of-way, between a curb and sidewalk, or outside of the site's property line. This criterion is met.

C. All parking areas, except those required in conjunction with a single-family detached, duplex, triplex, quadplex or townhouse dwelling, or cottage cluster project, shall provide a substantial bumper which will prevent cars from encroachment on abutting private and public property.

Finding: The submitted site plan shows the two parking spaces will be accessed by pulling head in from S Meridian Street and face the Newberg SAIL Program building. No parking will be located that would allow a vehicle to encroach on abutting private or public properties. However, due to the configuration of the parking and the pedestrian path, staff encourage the applicant to place bumpers in the two parking spaces so that vehicles will not encroach on to the ADA accessible entry path to the building. This criterion is met.

D. All parking areas, including service drives, except those required in conjunction with single-family detached, duplex, triplex, quadplex or townhouse dwellings or cottage cluster projects, shall be screened in accordance with NMC 15.420.010(B).

Finding: According to the provided site plan there is an existing 5-foot landscape buffer with 75% opaque screening fence that will be kept through the redevelopment. This criterion is met.

E. Any lights provided to illuminate any public or private parking area or vehicle sales area shall be so arranged as to reflect the light away from any abutting or adjacent residential district.

Finding: Please see findings for NMC 15.425.020.

F. All service drives and parking spaces shall be substantially marked and comply with NMC 15.440.070.

Finding: No service drives are proposed with this development. Two parking spaces are proposed, one which will be ADA. All parking spaces must be striped to length accordingly. This will be verified during the building permit planning final inspection prior to occupancy. If the aforementioned condition is adhered to this criterion will be met.

G. Parking areas for residential uses shall not be located in a required front yard, except as follows:

1. Single-family detached, duplex, triplex, quadplex, and townhouse dwellings: parking is authorized in a front yard on a service drive

which provides access to an improved parking area outside the front yard.

Finding: This project is not associated with a residential use. Therefore, this criterion is not applicable.

H. A reduction in size of the parking stall may be allowed for up to a maximum of 30 percent of the total number of spaces to allow for compact cars. For high turnover uses, such as convenience stores or fast-food restaurants, at the discretion of the director, all stalls will be required to be full-sized.

Finding: No compact spaces are being proposed. This criterion is met.

15.440.080 Off-street loading.

A. Buildings to be built or substantially altered which receive and distribute materials and merchandise by trucks shall provide and maintain off-street loading berths in sufficient number and size to adequately handle the needs of the particular use.

Finding: This is a school use building, materials and merchandise will not be received and distributed from this site. Therefore, this criterion is not applicable.

15.440.100 Facility requirements.

Bicycle parking facilities shall be provided for the uses shown in the following table. Fractional space requirements shall be rounded up to the next whole number.

New commercial, industrial, office, and institutional developments, including additions that total 4,000 square feet or more	One bicycle parking space for every 10,000 square feet of gross floor area . In C-4 districts, two bicycle parking spaces , or one per 5,000 square feet of building area, must be provided, whichever is greater
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Finding: This is an existing facility, and the addition will be less than 4,000 square feet. No bicycle parking is required. Therefore, this criterion is not applicable. However, staff would encourage that bicycle parking be provided given this is an educational facility and the minimal onsite parking. If bicycle parking is provided it must meet all the design standards found in NMC 15.440.110.

15.440.140 Private walkway design.

A. All required private walkways shall meet the applicable building code and Americans with Disabilities Act requirements.

B. Required private walkways shall be a minimum of four feet wide.

Finding: The applicant's narrative does not address private pathways; however, the site plan shows that a more than four-foot-wide access path is being proposed from the parking area to the main door. There is also a main path that is over five feet wide leading from the sidewalk on S Meridian Street to the main building doors. Both paths meet this sections requirement for pathways to be a minimum of four feet wide. The proposed concrete path that runs parallel to E Sixth Street along the north side of the building is less than four feet wide. A revised site plan showing all private pathways meeting the standard of NMC 15.440.140(B) shall be submitted with building permit application plans to be reviewed and approved prior to issuance. If the aforementioned condition is adhered to this criterion will be met.

C. Required private walkways shall be constructed of portland cement concrete or brick.

Finding: The site plan shows that all pathways will be concrete. This criterion is met.

D. Crosswalks crossing service drives shall, at a minimum, be painted on the asphalt or clearly marked with contrasting paving materials or humps/raised crossings. If painted striping is used, it should consist of thermoplastic striping or similar type of durable application.

Finding: The parking area does show a cross hatching in the area between the two proposed parking spaces. If painted striping is used for crosswalk areas in a service drive, it should consist of thermoplastic striping or similar type of durable application. If the aforementioned condition is adhered to this criterion will be met.

E. At a minimum, required private walkways shall connect each main pedestrian building entrance to each abutting public street and to each other.

Finding: The site plan shows a path leading from the public sidewalk on S Meridian Street to the main building entrance that is over five feet wide. This criterion is met.

F. The review body may require on-site walks to connect to development on adjoining sites.

G. The review body may modify these requirements where, in its opinion, the development provides adequate on-site pedestrian circulation, or where lot dimensions, existing building layout, or topography preclude compliance with these standards. [Ord. 2619, 5-16-05; Ord. 2513, 8-2-99. Code 2001 § 151.620.3.]

3. Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and NMC 15.405.010 through 15.405.040 and NMC 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.

Finding: This criterion is addressed in the following findings.

15.415.020 Building height limitation.

A. Residential.

2. In the R-2, AR, and RP districts, no main building shall exceed 35 feet in height.

Finding: The site is located within the R-2 zone. Elevation details show the average roof height of the new addition will be 11 feet and 5 inches. This criterion is met.

15.415.040 Public access required.

No building or structure shall be erected or altered except on a lot fronting or abutting on a public street or having access to a public street over a private street or easement of record approved in accordance with provisions contained in this code. New private streets may not be created to provide access except as allowed under NMC 15.332.020(B)(24), 15.336.020(B)(8), and in the M-4 zone. Existing private streets may not be used for access for new dwelling units, except as allowed under NMC 15.405.030. No building or structure shall be erected or altered without provisions for access roadways as required in the Oregon Fire Code, as adopted by the city.

Finding: This is an addition to an existing building that has access from S Meridian Street. No private streets are being created with this project. This criterion is met.

15.405.040 Lot coverage and parking coverage requirements

B. Residential uses in residential zones shall meet the following maximum lot coverage and parking coverage standards; however, cottage cluster projects shall be exempt from the standards. See the definitions in NMC 15.05.030 and Appendix A, Figure 4.

C. All other districts and uses not listed in subsection (B) of this section shall not be limited as to lot coverage and parking coverage except as otherwise required by this code.

Finding: The subject property is in a residential zone but is a school use which is a use not listed in subsection B. Therefore, per subsection C, lot coverage and parking coverage requirements are not applicable to this project.

15.410.040 Setback and yard restrictions as to schools, churches, public buildings.

A. Building Setback. No buildings shall be erected, used or maintained for a school, church or public or semi-public building or use, institution or similar use under the regulations of this code unless such building is removed at least 25 feet from every boundary line of any property included in any residential district.

Finding: In 2007 a code adjustment (ADJC-07-006) allowed for the non-conforming setbacks along S Meridian Street and E Sixth Street to be accepted for the buildings new use as an educational space. The existing structures has a 15-foot setback from E Sixth Street and 14-foot setback from S Meridian Street and the proposed addition and renovations do not alter these existing setbacks. The proposed addition will be in the southern portion of the site and will be within the 25-foot setback requirement along the west and south property lines. A code adjustment has concurrently been applied for, requesting a reduction of the required 25-foot setback required in this section to a reduced 5-foot setback. Per NMC 15.210.020, 3 feet is the minimum setback the director may reduce the requirement to in a residential district given the project meets all the stated approval criteria. See Section II Findings: Code Adjustment for decision details. This criterion is met.

B. Required Yard. No required front or interior yard of the lot on which such building or use is located shall be used for play or parking purposes. [Ord. 2451, 12-2-96. Code 2001 § 151.553.]

Finding: The applicant is not proposing any additional parking be created or requesting the placement of any play structures within the required yard spaces. This criterion is met.

15.410.060 Vision clearance setback.

The following vision clearance standards shall apply in all zones (see Appendix A, Figure 9).

A. At the intersection of two streets, including private streets, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 50 feet in length.

B. At the intersection of a private drive and a street, a triangle formed by the intersection of the curb lines, each leg of the vision clearance triangle shall be a minimum of 25 feet in length.

C. Vision clearance triangles shall be kept free of all visual obstructions from two and one-half feet to nine feet above the curb line. Where curbs are absent, the edge of the asphalt or future curb location shall be used as a guide, whichever provides the greatest amount of vision clearance.

Finding: The site is located at the intersection of two streets, S Meridian Street and E Sixth Street. Per the submitted site plan, it appears that no objects will be located within the 50-foot vision clearance triangle of the two intersecting streets. The site has a driveway approach from S Meridian Street requiring a 25-foot vision clearance triangle. The submitted site plan shows that a planter box that will double as a sign is located within that 25-foot vision clearance triangle. The narrative states that the sign will be 3 feet tall. Per 15.410.060 (C) the vision clearance triangle shall be kept free of all visual obstructions between the heights of two and one-half feet to nine feet. Therefore, the sign would need to be relocated outside of the driveways vision clearance triangle or reduced in height. At time of building permit application, the applicant shall include a site plan showing that no items between the heights of two and one-half feet and nine

feet are located within the driveways 25-foot vision clearance triangle. If the aforementioned conditions is adhered to this criteria will be met.

15.410.070 Yard exceptions and permitted intrusions into required yard setbacks.

The following intrusions may project into required yards to the extent and under the conditions and limitations indicated:

A. Depressed Areas. In any district, open work fences, hedges, guard railings or other landscaping or architectural devices for safety protection around depressed ramps, stairs or retaining walls may be located in required yards; provided, that such devices are not more than three and one-half feet in height.

B. Accessory Buildings. In front yards on through lots, where a through lot has a depth of not more than 140 feet, accessory buildings may be located in one of the required front yards; provided, that every portion of such accessory building is not less than 10 feet from the nearest street line.

C. Projecting Building Features. The following building features may project into the required front yard no more than five feet and into the required interior yards no more than two feet; provided, that such projections are no closer than three feet to any interior lot line:

- 1. Eaves, cornices, belt courses, sills, awnings, buttresses or other similar features.***
- 2. Chimneys and fireplaces, provided they do not exceed eight feet in width.***
- 3. Porches, platforms or landings which do not extend above the level of the first floor of the building.***
- 4. Mechanical structures (heat pumps, air conditioners, emergency generators and pumps).***

Finding: The proposed plans do not show any depressed areas, new accessory buildings or projecting building features within the required yard setbacks. Therefore, no exceptions or permitted intrusions are proposed and this criterion is not applicable.

D. Fences and Walls.

- 1. In the residential district, a fence or wall shall be permitted to be placed at the property line or within a yard setback as follows:***
 - a. Not to exceed six feet in height. Located or maintained within the required interior yards. For purposes of fencing only, lots that are corner lots or through lots may select one of the street frontages as a front yard and all other yards shall be considered as interior yards, allowing the placement of a six-foot fence on***

the property line. In no case may a fence extend into the clear vision zone as defined in NMC 15.410.060.

b. Not to exceed four feet in height. Located or maintained within all other front yards.

3. If chain link (wire-woven) fences are used, they are manufactured of corrosion-proof materials of at least 11-1/2 gauge.

4. The requirements of vision clearance shall apply to the placement of fences.

Finding: The site plan shows an existing perimeter fence along the west and north property lines and an existing 75% opaque fence along the south property line. The applicant's opening narrative does say fencing modifications will take place. If the existing fence is modified, or a new fence is installed, it must meet the height, material, and location standards addressed in NMC 15.410.070(D). If the aforementioned condition is adhered to this criteria will met.

E. Parking and Service Drives (Also Refer to NMC 15.440.010 through 15.440.080).

2. In any residential district, public or private parking areas and parking spaces shall not be permitted in any required yard except as provided herein:

a. Required parking spaces shall be permitted on service drives in the required front yard in conjunction with any single-family detached dwelling, duplex dwelling, triplex dwelling, quadplex dwelling, or townhouse dwelling on a single lot.

Finding: See response to NMC 15.440.020.

F. Public Telephone Booths and Public Transit Shelters. Public telephone booths and public transit shelters shall be permitted; provided, that vision clearance is maintained for vehicle requirements for vision clearance.

Finding: This criterion is not applicable because the applicant is not proposing any public telephone booths or public transit shelters. The standard is not applicable.

4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.

15.420.010 Required minimum standards.

B. Required Landscaped Area. The following landscape requirements are established for all developments except single-family dwellings:

1. A minimum of 15 percent of the lot area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subsection (B)(3) of this section. Development in the C-3 (central business district) zoning district and M-4 (large lot industrial) zoning district is exempt from the 15 percent landscape area requirement of this section. Additional landscaping requirements in the C-4 district are described in NMC 15.352.040(K). In the AI airport industrial district, only a five percent landscaping standard is required with the goal of “softening” the buildings and making the development “green” with plants, where possible. The existence of the runway, taxiway, and approach open areas already provide generally for the 15 percent requirement. Developments in the AI airport industrial district with a public street frontage shall have said minimum landscaping between the front property line and the front of the building.

Finding: The applicant narrative states that 30% of the site will be landscaped. Landscaping plans did not include calculations of area to be landscaped. At time of building permit a landscape plan showing the landscape area calculations shall be submitted for review and approval prior to issuance of building permits. If the aforementioned condition is adhered to this criterion will be met.

- 2. All areas subject to the final design review plan and not otherwise improved shall be landscaped.*
- 3. The following landscape requirements shall apply to the parking and loading areas:*
 - b. A parking, loading area, or drive aisle which runs adjacent to a property line shall be separate from any lot line adjacent to a street by a landscaped strip at least 10 feet in interior width or the width of the required yard, whichever is greater, and any other lot line by a landscaped strip of at least five feet in interior width. See subsections (B)(3)(c) and (d) of this section for material to plant within landscape strips.*
 - d. A landscaped strip separating a parking area, loading area, or drive aisle from an interior lot line shall contain any combination of trees, shrubs, ground cover or lawn. Plant material shall be selected from at least two different plant material groups (example: trees and shrubs, or lawn and shrubs, or lawn and trees and shrubs).*
 - e. Landscaping in a parking or loading area shall be located in defined landscaped areas which are uniformly distributed throughout the parking or loading area.*

f. Landscaping areas in a parking lot, service drive or loading area shall have an interior width of not less than five feet.

Finding: The applicant notes that the requirement for areas otherwise not improved to be landscaped. The parking area is adjacent to the south interior lot line. An existing 5-foot landscape buffer runs parallel to the parking area separating it from south property line. No other parking areas, service drives, or loading areas are proposed or required. This criterion is met.

4. Trees, Shrubs and Ground Covers. The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.

b. Collector and local street trees shall be spaced approximately 35 to 40 feet on center. These trees shall have a minimum of a one and one-half or one and three-fourths inch tree trunk or stalk and shall be balled and burlapped or boxed.

Finding: Per the applicants submitted site plan a street tree is proposed in the planter strip along the west side of S Meridian Street, 17 feet south of the S Meridian Street Crosswalk. Comments were provided by the Public Works Maintenance Superintendent recommending against planting a tree at this location due to the potential sight line issue it would cause for a driver to see a pedestrian on the west side of S Meridian Street. Staff understands that this could occur and will not require a street tree to be planted at this site. There is an existing street tree 50 feet south from the crosswalk on S Meridian Street, located within the planter strip in front of the development site. This criterion therefore is not applicable.

c. Accent Trees. Accent trees are trees such as flowering cherry, flowering plum, crab-apple, Hawthorne and the like. These trees shall have a minimum one and one-half inch caliper tree trunk or stalk and shall be at least eight to 10 feet in height. These trees may be planted bare root or balled and burlapped. The spacing of these trees should be approximately 25 to 30 feet on center.

Finding: No accent trees are being proposed. This criterion is not applicable.

d. All broad-leafed evergreen shrubs and deciduous shrubs shall have a minimum height of 12 to 15 inches and shall be balled and burlapped or come from a two-gallon can. Gallon-can size shrubs will not be allowed except in ground covers. Larger sizes of shrubs may be required in special areas and locations as specified by the design review board. Spacing of these shrubs

shall be typical for the variety, three to eight feet, and shall be identified on the landscape planting plan.

e. Ground Cover Plant Material. Ground cover plant material such as greening juniper, cotoneaster, minor Bowles, English ivy, hypericum and the like shall be one of the following sizes in specified spacing for that size:

<i>Gallon cans</i>	<i>3 feet on center</i>
<i>4" containers</i>	<i>2 feet on center</i>
<i>2-1/4" containers</i>	<i>18" on center</i>
<i>Rooted cuttings</i>	<i>12" on center</i>

Finding: Landscape plans submitted did not state what species were to be planted or the planting density. At time of building permit a landscape plan addressing NMC 15.420.010 subsections (4), (5), and (6) requirements shall be submitted for review and approval prior to issuance of building permits. If the aforementioned condition is adhered to this criterion will be met.

5. Automatic, underground irrigation systems shall be provided for all areas required to be planted by this section. The director shall retain the flexibility to allow a combination of irrigated and nonirrigated areas. Landscaping material used within nonirrigated areas must consist of drought-resistant varieties. Provision must be made for alternative irrigation during the first year after initial installation to provide sufficient moisture for plant establishment.

Finding: Landscape plans and narrative did not state how landscaping will be irrigated. At time of building permit a landscape plan addressing NMC 15.420.010 subsections (4), (5), and (6) requirements shall be submitted for review and approval prior to issuance of building permits. If the aforementioned condition is adhered to this criterion will be met.

6. Required landscaping shall be continuously maintained.

Finding: Finding: Landscape plans and narrative submitted did not state how landscaping will be continuously maintained. At time of building permit a landscape plan addressing NMC 15.420.010 subsections (4), (5), and (6) requirements shall be submitted for review and approval prior to issuance of building permits. If the aforementioned condition is adhered to this criterion will be met.

7. Maximum height of tree species shall be considered when planting under overhead utility lines.

Finding: The development is not located near any overhead utility lines. Per Engineering standards, all new utility lines will need to be placed underground. This criterion is met.

8. Landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) will apply to development proposals unless the institution has addressed the requirements and standards by an approved site development master plan. With an approved site development master plan, the landscape requirements will be reviewed through an administrative Type I review process.

Finding: The development does not have an approved site development master plan. The landscaping requirements of subsection (B)(3) of this section have been applied to this project. This criterion is met.

9. In the M-4 zone, landscaping requirements and standards for parking and loading areas (subsection (B)(3) of this section) do not apply unless within 50 feet of a residential district.

Finding: This project is in the R-2 / Medium Density Residential zone, not in the M-4 zone. This criterion is not applicable.

C. Installation of Landscaping. All landscaping required by these provisions shall be installed prior to the issuance of occupancy permits, unless security equal to 110 percent of the cost of the landscaping as determined by the director is filed with the city, insuring such installation within six months of occupancy. A security – cash, certified check, time certificates of deposit, assignment of a savings account, bond or such other assurance of completion as shall meet with the approval of the city attorney – shall satisfy the security requirements. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the director, the security may be used by the city to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the city shall be returned to the applicant.

Finding: All landscaping must be completed prior to final occupancy. If landscaping cannot be completed options listed in NMC15.420.010(C) may be applied.

5. Signs. Signs shall comply with NMC 15.435.010 et seq dealing with signs

15.435.030 Permit required.

A. Except as follows, no person or entity shall place any sign within the city without first obtaining a permit from the director.

Finding: A sign is being proposed with this project's modifications but a sign permit application was not included. A sign permit shall be applied for, reviewed, and approved prior to placement of such sign.

6. Manufactured Dwelling, Mobile Home and RV Parks. Manufactured dwelling and mobile home parks shall also comply with the standards listed in NMC 15.445.075 through 15.445.100 in addition to the other clear and objective criteria listed in this section. RV parks also shall comply with NMC 15.445.170 in addition to the other criteria listed in this section.

Finding: A manufactured dwelling or mobile home are not being proposed with this project. This criterion is not applicable.

7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.

Finding: The site is in the R-2 / Medium Density Residential zone and is an educational facility under ownership of the Newberg School District. Per the zoning use table NMC 15.305, schools are a permitted use within the R-2 zone. The criterion is met.

8. Subdistrict Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.

Finding: This property is located within the Airport Overlay subdistrict. The primary zone of R-2 allows schools as a permitted use. Per NMC 15.340.020, uses that are permitted in the primary zone are permitted in this subdistrict as long as no electrical or visual interferences will be generated, bird strike hazards, or endangerment to airport use will occur. The modifications to this site do not generate the previously listed hazards. Furthermore, the site will maintain the overall physical characteristics and similar use to a single-family dwelling which is a permitted use in this subdistrict. This criterion is met.

9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements

Finding: Findings are addressed in following sections.

15.220.030 Site design review requirements

B. Type II The following information is required to be submitted with all Type II applications for a site design review.

9. Buffering and Screening. Buffering and screening of areas, structures and facilities for storage, machinery and equipment, services (mail, refuse, utility

wires, and the like), loading and parking and similar accessory areas and structures shall be shown on the plans.

Finding: The proposed site plan and elevations show a trash enclosure and mechanical screening area along the north side of the property. The enclosure is proposed to be made out of wood, is 30 square feet and approximately 4 feet high with a 3 and half foot by 4-foot-high gate/door. This criterion is met.

11. Exterior Lighting. Exterior lighting within the design review plan shall be indicated on the plans. The direction of the lighting, size and type of fixtures, and an indication of the amount of lighting shall be shown on the plans.

15.425 Exterior Lighting

15.425.020 Applicability and exemptions.

A. Applicability. *Outdoor lighting shall be required for safety and personal security in areas of assembly, parking, and traverse, as part of multifamily residential, commercial, industrial, public, recreational and institutional uses. The applicant for any Type I or Type II development permit shall submit, as part of the site plan, evidence that the proposed outdoor lighting plan will comply with this section. This information shall contain but not be limited to the following:*

- 1. The location, height, make, model, lamp type, wattage, and proposed cutoff angle of each outdoor lighting fixture.*
- 2. Additional information the director may determine is necessary, including but not limited to illuminance level profiles, hours of business operation, and percentage of site dedicated to parking and access.*
- 3. If any portion of the site is used after dark for outdoor parking, assembly or traverse, an illumination plan for these areas is required. The plan must address safety and personal security.*

Finding: Lighting information was not provided with application, however on the east elevation drawing, sheet DR3.01, two exterior lights are noted on the front of the building, and two on the north elevation. Analyzing the site plan there is a new ADA pathway that is being developed from the front door to the south property line where parking will be. If photometrics allow, staff recommend placing an additional light along the southern portion of the ADA path to allow for safe pedestrian travel during winter months. The applicant will need to provide a photometric plan showing that exterior lighting will not exceed one-half-foot candle at the property line as well as manufacture cut sheets for all exterior lighting. This is to be submitted with building permit plans and approved prior to building permit issuance. If the aforementioned condition is adhered to, these criteria will be met.

12. Trash and Refuse Storage. All trash or refuse storage areas, along with appropriate screening, shall be indicated on the plans. Refuse storage areas must be constructed of brick, concrete block or other similar products as approved by the director.

Finding: The proposed site plan and elevations show a trash enclosure and mechanical screening area along the north side of the property. The enclosure is proposed to be made out of wood, is 30 square feet and approximately 4 feet high with a 3 and half foot by 4-foot-high gate/door. The trash enclosure's location and size suggest this will be for residential containers and not accessed by waste management vehicles. This fits with the overall design goal to keep the buildings residential character. Therefore, the requirements for the enclosure to be made of concrete or brick would not be applicable.

13. Roadways and Utilities. The proposed plans shall indicate any public improvements that will be constructed as part of the project, including, but not limited too, roadway and utility improvements.

Findings The applicant's proposed plans show replacement of the driveway approach and associated sidewalks and a stormwater service lateral. Existing water and wastewater service laterals are shown on the submitted plan.

This criterion is met.

14. Traffic Study. A traffic study shall be submitted for any project that generates in excess of 40 trips per p.m. peak hour. This requirement may be waived by the director when a determination is made that a previous traffic study adequately addresses the proposal and/or when off-site and frontage improvements have already been completed which adequately mitigate any traffic impacts and/or the proposed use is not in a location which is adjacent to an intersection which is functioning at a poor level of service. A traffic study may be required by the director for projects below 40 trips per p.m. peak hour where the use is located immediately adjacent to an intersection functioning at a poor level of service. The traffic study shall be conducted according to the City of Newberg design standards. [Ord. 2619, 5-16-05; Ord. 2451, 12-2-96. Code 2001 § 151.192.]

Finding: Estimated trips for the proposed project are less than the threshold of 40 peak pm trips required for a comprehensive traffic study. A comprehensive traffic study will not be required.

This criterion is met.

Chapter 15.430 Underground Utility Installation

15.430.010 Underground utility installation.

A. All new utility lines, including but not limited to electric, communication, natural gas, and cable television transmission lines, shall be placed underground. This does not include surface-mounted transformers, connections boxes, meter cabinets, service cabinets, temporary facilities during construction, and high-capacity electric lines operating at 50,000 volts or above.

B. Existing utility lines shall be placed underground when they are relocated, or when an addition or remodel requiring a Type II design review is proposed, or when a developed area is annexed to the city.

C. The director may make exceptions to the requirement to underground utilities based on one or more of the following criteria:

- 1. The cost of undergrounding the utility is extraordinarily expensive.*
- 2. There are physical factors that make undergrounding extraordinarily difficult.*
- 3. Existing utility facilities in the area are primarily overhead and are unlikely to be changed. [Ord. 2537, 11-6-00. Code 2001 § 151.589.]*

Finding: The submitted narrative and plans do not clearly describe all new utilities installed underground. Because final plans have not been submitted, final plans showing utilities installed underground will be required with permit applications.

This criterion will be met if the aforementioned condition of approval is adhered to.

Chapter 15.505 Public Improvement Standards

15.505.010 Purpose.

This chapter provides standards for public infrastructure and utilities installed with new development, consistent with the policies of the City of Newberg comprehensive plan and adopted city master plans. The standards are intended to minimize disturbance to natural features, promote energy conservation and efficiency, minimize and maintain development impacts on surrounding properties and neighborhoods, and ensure timely completion of adequate public facilities to serve new development. [Ord. 2810 § 2 (Exhs. B, C), 1219-16.]

15.505.020 Applicability.

The provision and utilization of public facilities and services within the City of Newberg shall apply to all land developments in accordance with this chapter. No development shall be approved unless the following improvements are provided for prior to occupancy or operation, unless future provision is assured in accordance with NMC 15.505.030(E).

A. Public Works Design and Construction Standards. The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall comply with the requirements of the most recently adopted Newberg public works design and construction standards.

Finding: All improvements reviewed under this application are identified in the NMC 15.505 section specific to them and are conditioned to comply with the Public Works Design and Construction Standards in those sections.

This criterion is met.

B. Street Improvements. All projects subject to a Type II design review, partition, or subdivision approval must construct street improvements necessary to serve the development.

Finding: E Sixth Street and S Meridian adjacent to the proposed development is already improved.

This criterion is met.

C. Water. All developments, lots, and parcels within the City of Newberg shall be served by the municipal water system as specified in Chapter 13.15 NMC.

Finding: The plans show an existing water service connection to the water line in E Sixth Street. Fire flow test results need to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

This criterion will be met if the aforementioned condition of approval is adhered to.

D. Wastewater. All developments, lots, and parcels within the City of Newberg shall be served by the municipal wastewater system as specified in Chapter 13.10 NMC.

Finding: The submitted plans show an existing wastewater connection to the wastewater line in E Sixth Street.

This criterion is met.

E. Stormwater. All developments, lots, and parcels within the City of Newberg shall manage stormwater runoff as specified in Chapters 13.20 and 13.25 NMC.

Finding: The proposed development will create a net increase of more than 500 square feet of onsite impervious area. The applicant has submitted a preliminary stormwater report. Two private stormwater management facilities are shown on the plans with their outlets routed to a proposed stormwater service lateral to be connected to the stormwater line in E Sixth Street.

This criterion is met.

F. Utility Easements. Utility easements shall be provided as necessary and required by the review body to provide needed facilities for present or future development of the area.

Finding: No new easements are required.

This criterion does not apply.

G. City Approval of Public Improvements Required. No building permit may be issued until all required public facility improvements are in place and approved by the director, or are otherwise bonded for in a manner approved by the review authority, in conformance with the provisions of this code and the Newberg Public Works Design and Construction Standards. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]

Finding: Any required public improvement permit(s) for this project must be submitted, approved and issued prior to building permits being issued.

This criterion will be met if the aforementioned condition of approval is adhered to.

15.505.030 Street standards.

A. Purpose. The purpose of this section is to:

- 1. Provide for safe, efficient, and convenient multi-modal transportation within the City of Newberg.*
- 2. Provide adequate access to all proposed and anticipated developments in the City of Newberg. For purposes of this section, “adequate access” means direct routes of travel between destinations; such destinations may include residential neighborhoods, parks, schools, shopping areas, and employment centers.*
- 3. Provide adequate area in all public rights-of-way for sidewalks, wastewater and water lines, stormwater facilities, natural gas lines, power lines, and other utilities commonly and appropriately placed in such rights-of-way. For purposes of this section, “adequate area” means space sufficient to provide all required public services to standards defined in this code and in the Newberg public works design and construction standards.*

B. Applicability. The provisions of this section apply to:

- 1. The creation, dedication, and/or construction of all public streets, bike facilities, or pedestrian facilities in all subdivisions, partitions, or other developments in the City of Newberg.*
- 2. The extension or widening of existing public street rights-of-way, easements, or street improvements including those which may be proposed by an individual or the city, or which may be required by the city in association with other development approvals.*
- 3. The construction or modification of any utilities, pedestrian facilities, or bike facilities in public rights-of-way or easements.*

4. The designation of planter strips. Street trees are required subject to Chapter 15.420 NMC.

5. Developments outside the city that tie into or take access from city streets.

C. Layout of Streets, Alleys, Bikeways, and Walkways. Streets, alleys, bikeways, and walkways shall be laid out and constructed as shown in the Newberg transportation system plan. In areas where the transportation system plan or future street plans do not show specific transportation improvements, roads and streets shall be laid out so as to conform to previously approved subdivisions, partitions, and other developments for adjoining properties, unless it is found in the public interest to modify these patterns. Transportation improvements shall conform to the standards within the Newberg Municipal Code, the Newberg public works design and construction standards, the Newberg transportation system plan, and other adopted city plans.

D. Construction of New Streets. Where new streets are necessary to serve a new development, subdivision, or partition, right-of-way dedication and full street improvements shall be required. Three-quarter streets may be approved in lieu of full street improvements when the city finds it to be practical to require the completion of the other one-quarter street improvement when the adjoining property is developed; in such cases, three-quarter street improvements may be allowed by the city only where all of the following criteria are met:

1. The land abutting the opposite side of the new street is undeveloped and not part of the new development; and

2. The adjoining land abutting the opposite side of the street is within the city limits and the urban growth boundary.

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. The applicant is not proposing construction of new streets, and none are required. Any modifications of pedestrian facilities such as sidewalks, are to be consistent with section NMC 15.505.030.

This criterion does not apply.

E. Improvements to Existing Streets.

1. All projects subject to partition, subdivision, or Type II design review approval shall dedicate right-of-way sufficient to improve the street to the width specified in subsection (G) of this section.

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. The existing rights-of-way widths for E Sixth Street and S Meridian Street along the project site's frontages are consistent with subsection (G) of this section.

This criterion is met.

2. All projects subject to partition, subdivision, or Type II design review approval must construct a minimum of a three-quarter street improvement to all existing streets adjacent to, within, or necessary to serve the development. The director may waive or modify this requirement where the applicant demonstrates that the condition of existing streets to serve the development meets city standards and is in satisfactory condition to handle the projected traffic loads from the development. Where a development has frontage on both sides of an existing street, full street improvements are required.

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. Due to the existence of the curb, sidewalk, and planter strip along E Sixth Street and S Meridian Street, the applicant will not be required to update those cross-sectional elements to meet NMC 15.505.030(G).

This criterion does not apply.

3. In lieu of the street improvement requirements outlined in NMC 15.505.040(B), the review authority may elect to accept from the applicant monies to be placed in a fund dedicated to the future reconstruction of the subject street(s). The amount of money deposited with the city shall be 100 percent of the estimated cost of the required street improvements (including any associated utility improvements), and 10 percent of the estimated cost for inflation. Cost estimates used for this purpose shall be based on preliminary design of the constructed street provided by the applicant's engineer and shall be approved by the director.

Finding: The applicant is not proposing a fee in lieu of street improvements.

This criterion does not apply.

F. Improvements Relating to Impacts. Improvements required as a condition of development approval shall be roughly proportional to the impact of the development on public facilities and services. The review body must make findings in the development approval that indicate how the required improvements are roughly proportional to the impact. Development may not occur until required transportation facilities are in place or guaranteed, in conformance with the provisions of this code. If required transportation facilities cannot be put in place or be guaranteed, then the review body shall deny the requested land use application.

Finding: There are no street improvements proposed or required for this proposed development.

This criterion does not apply.

G. Street Width and Design Standards.

1. Design Standards. All streets shall conform with the standards contained in Table 15.505.030(G). Where a range of values is listed, the director shall determine the width based on a consideration of the total street section width needed, existing street widths, and existing development patterns. Preference shall be given to the higher value. Where values may be modified by the director, the overall width shall be determined using the standards under subsections (G)(2) through (10) of this section.

Table 15.505.030(G) Street Design Standards

<i>Type of Street</i>	<i>Right-of-Way Width</i>	<i>Curb-to-Curb Pavement Width</i>	<i>Motor Vehicle Travel Lanes</i>	<i>Median Type</i>	<i>Striped Bike Lane (Both Sides)</i>	<i>On-Street Parking</i>
<i>Arterial Streets</i>						
<i>Expressway**</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>	<i>ODOT</i>
<i>Major arterial</i>	<i>95 – 100 feet</i>	<i>74 feet</i>	<i>4 lanes</i>	<i>TWLTL or median*</i>	<i>Yes</i>	<i>No*</i>
<i>Minor arterial</i>	<i>69 – 80 feet</i>	<i>48 feet</i>	<i>2 lanes</i>	<i>TWLTL or median*</i>	<i>Yes</i>	<i>No*</i>
<i>Collectors</i>						
<i>Major</i>	<i>57 – 80 feet</i>	<i>36 feet</i>	<i>2 lanes</i>	<i>None*</i>	<i>Yes</i>	<i>No*</i>
<i>Minor</i>	<i>61 – 65 feet</i>	<i>40 feet</i>	<i>2 lanes</i>	<i>None*</i>	<i>Yes*</i>	<i>Yes*</i>
<i>Local Streets</i>						
<i>Local residential</i>	<i>54 – 60 feet</i>	<i>32 feet</i>	<i>2 lanes</i>	<i>None</i>	<i>No</i>	<i>Yes</i>

Table 15.505.030(G) Street Design Standards

<i>Type of Street</i>	<i>Right-of-Way Width</i>	<i>Curb-to-Curb Pavement Width</i>	<i>Motor Vehicle Travel Lanes</i>	<i>Median Type</i>	<i>Striped Bike Lane (Both Sides)</i>	<i>On-Street Parking</i>
<i>Limited residential, parking both sides</i>	<i>44 – 50 feet</i>	<i>28 feet</i>	<i>2 lanes</i>	<i>None</i>	<i>No</i>	<i>Yes</i>
<i>Limited residential, parking one side</i>	<i>40 – 46 feet</i>	<i>26 feet</i>	<i>2 lanes</i>	<i>None</i>	<i>No</i>	<i>One side</i>
<i>Local commercial/ Industrial</i>	<i>55 – 65 feet</i>	<i>34 feet</i>	<i>2 lanes</i>	<i>None*</i>	<i>No*</i>	<i>Yes*</i>

** May be modified with approval of the director. Modification will change overall curb-to-curb and right-of-way width. Where a center turn lane is not required, a landscaped median shall be provided instead, with turning pockets as necessary to preserve roadway functions.*

*** All standards shall be per ODOT expressway standards.*

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. Due to the existence of the curb, sidewalk, and planter strip along E Sixth Street and S Meridian Street, the applicant will not be required to update those cross-sectional elements to meet NMC 15.505.030(G).

This criterion does not apply.

2. Motor Vehicle Travel Lanes. *Collector and arterial streets shall have a minimum width of 12 feet.*

Finding: No new collector or arterial streets are proposed and none are required.

This criterion does not apply.

3. Bike Lanes. *Striped bike lanes shall be a minimum of six feet wide. Bike lanes shall be provided where shown in the Newberg transportation system plan.*

Finding: E Sixth Street and S Meridian Street are classified as local residential streets. Bike lanes are not proposed, and none are required.

This criterion is met.

4. Parking Lanes. *Where on-street parking is allowed on collector and arterial streets, the parking lane shall be a minimum of eight feet wide.*

Finding: E Sixth Street and S Meridian Street are classified as local residential streets.

This criterion does not apply.

5. Center Turn Lanes. *Where a center turn lane is provided, it shall be a minimum of 12 feet wide.*

Finding: E Sixth Street and S Meridian Street are improved adjacent to the project site. No center turn lanes are proposed and none are required.

This criterion does not apply.

6. Limited Residential Streets. *Limited residential streets shall be allowed only at the discretion of the review authority, and only in consideration of the following factors:*

- a. The requirements of the fire chief shall be followed.*
- b. The estimated traffic volume on the street is low, and in no case more than 600 average daily trips.*
- c. Use for through streets or looped streets is preferred over cul-de-sac streets.*
- d. Use for short blocks (under 400 feet) is preferred over longer blocks.*
- e. The total number of residences or other uses accessing the street in that block is small, and in no case more than 30 residences.*
- f. On-street parking usage is limited, such as by providing ample off-street parking, or by staggering driveways so there are few areas where parking is allowable on both sides.*

Finding: Limited residential streets are not proposed.

These criteria do not apply.

7. Sidewalks. Sidewalks shall be provided on both sides of all public streets. Minimum width is five feet.

Finding: The submitted plans show an existing 6-foot-wide Type A sidewalk with planter strip along the project site's E Sixth Street frontage and an existing 4-foot-wide Type A sidewalk with planter strip along the project site's S Meridian Street frontage. Because the condition of the existing sidewalks is uncertain, the applicant will be responsible for replacement of any sidewalk panels along the project site's frontages that are not in good condition or do not meet current ADA standards along the project frontages. This would include the installation of ADA curb ramps at the southwest corner of the E Sixth Street at S Meridian Street intersection. Determination of the limits of sidewalk replacements will be part of the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

- 8. Planter Strips. Except where infeasible, a planter strip shall be provided between the sidewalk and the curb line, with a minimum width of five feet. This strip shall be landscaped in accordance with the standards in NMC 15.420.020. Curb-side sidewalks may be allowed on limited residential streets. Where curb-side sidewalks are allowed, the following shall be provided:***
- a. Additional reinforcement is done to the sidewalk section at corners.***
 - b. Sidewalk width is six feet.***

Finding: The submitted plans show an existing 6-foot-wide Type A sidewalk with planter strip along the project site's E Sixth Street frontage and an existing 4-foot-wide Type A sidewalk with planter strip along the project site's S Meridian Street frontage.

This criterion is met.

- 9. Slope Easements. Slope easements shall be provided adjacent to the street where required to maintain the stability of the street.***

Finding: The applicant is not proposing a slope easement.

This criterion does not apply.

- 10. Intersections and Street Design. The street design standards in the Newberg public works design and construction standards shall apply to all public streets, alleys, bike facilities, and sidewalks in the city.***

Finding: The applicant is not proposing street improvements, and none are required.

This criterion does not apply.

11. The planning commission may approve modifications to street standards for the purpose of ingress or egress to a minimum of three and a maximum of six lots through a conditional use permit.

Finding: The applicant is not proposing modifications to street standards for the purpose of ingress or egress.

This criterion does not apply.

H. Modification of Street Right-of-Way and Improvement Width. The director, pursuant to the Type II review procedures of Chapter 15.220 NMC, may allow modification to the public street standards of subsection (G) of this section, when the criteria in both subsections (H)(1) and (2) of this section are satisfied:

- 1. The modification is necessary to provide design flexibility in instances where:
 - a. Unusual topographic conditions require a reduced width or grade separation of improved surfaces; or*
 - b. Lot shape or configuration precludes accessing a proposed development with a street which meets the full standards of this section; or*
 - c. A modification is necessary to preserve trees or other natural features determined by the city to be significant to the aesthetic character of the area; or*
 - d. A planned unit development is proposed and the modification of street standards is necessary to provide greater privacy or aesthetic quality to the development.**
- 2. Modification of the standards of this section shall only be approved if the director finds that the specific design proposed provides adequate vehicular access based on anticipated traffic volumes.*

Finding: The applicant has not proposed modifications to these street standards.

This criterion does not apply.

I. Temporary Turnarounds. Where a street will be extended as part of a future phase of a development, or as part of development of an abutting property, the street may be terminated with a temporary turnaround in lieu of a standard street connection or circular cul-de-sac bulb. The director and fire chief shall approve the temporary turnaround. It shall have an all-weather surface, and may include a hammerhead-type turnaround meeting fire apparatus access road standards, a paved or graveled circular turnaround, or a paved or graveled temporary access road. For streets extending less than 150 feet and/or with no significant access, the director may approve the street without a temporary turnaround. Easements or right-of-way may be required as necessary to preserve access to the turnaround.

Finding: The applicant is not proposing a temporary turnaround, and none are required.

This criterion does not apply.

J. Topography. The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of this code.

Finding: The applicant is not proposing new streets, and none are required.

This criterion does not apply.

K. Future Extension of Streets. All new streets required for a subdivision, partition, or a project requiring site design review shall be constructed to be “to and through”: through the development and to the edges of the project site to serve adjacent properties for future development.

Finding: There are no possible future street extensions as part of this project.

This criterion does not apply.

L. Cul-de-Sacs.

1. Cul-de-sacs shall only be permitted when one or more of the circumstances listed in this section exist. When cul-de-sacs are justified, public walkway connections shall be provided wherever practical to connect with another street, walkway, school, or similar destination.

a. Physical or topographic conditions make a street connection impracticable. These conditions include but are not limited to controlled access streets, railroads, steep slopes, wetlands, or water bodies where a connection could not be reasonably made.

b. Buildings or other existing development on adjacent lands physically preclude a connection now or in the future, considering the potential for redevelopment.

c. Where streets or accessways would violate provisions of leases, easements, or similar restrictions.

d. Where the streets or accessways abut the urban growth boundary and rural resource land in farm or forest use, except where the adjoining land is designated as an urban reserve area.

2. Cul-de-sacs shall be no more than 400 feet long (measured from the centerline of the intersection to the radius point of the bulb).

3. Cul-de-sacs shall not serve more than 18 single-family dwellings.

Each cul-de-sac shall have a circular end with a minimum diameter of 96 feet, curb-to-curb, within a 109-foot minimum diameter right-of-way. For residential uses, a 35-foot radius may be allowed if the street has no parking, a mountable

curb, curbside sidewalks, and sprinkler systems in every building along the street.

Finding: The applicant is not proposing a cul-de-sac, and none are required.

These criteria are not applicable.

M. Street Names and Street Signs. Streets that are in alignment with existing named streets shall bear the names of such existing streets. Names for new streets not in alignment with existing streets are subject to approval by the director and the fire chief and shall not unnecessarily duplicate or resemble the name of any existing or platted street in the city. It shall be the responsibility of the land divider to provide street signs.

Finding: The applicant is not naming streets.

This criterion does not apply.

N. Platting Standards for Alleys.

- 1. An alley may be required to be dedicated and constructed to provide adequate access for a development, as deemed necessary by the director.*
- 2. The right-of-way width and paving design for alleys shall be not less than 20 feet wide. Slope easements shall be dedicated in accordance with specifications adopted by the city council under NMC 15.505.010 et seq.*
- 3. Where two alleys intersect, 10-foot corner cut-offs shall be provided.*
- 4. Unless otherwise approved by the city engineer where topographical conditions will not reasonably permit, grades shall not exceed 12 percent on alleys, and centerline radii on curves shall be not less than 100 feet.*
- 5. All provisions and requirements with respect to streets identified in this code shall apply to alleys the same in all respects as if the word "street" or "streets" therein appeared as the word "alley" or "alleys" respectively.*

Finding: The applicant is not proposing alleys, and none are required.

These criteria do not apply.

O. Platting Standards for Blocks.

- 1. Purpose. Streets and walkways can provide convenient travel within a neighborhood and can serve to connect people and land uses. Large, uninterrupted blocks can serve as a barrier to travel, especially walking and biking. Large blocks also can divide rather than unite neighborhoods. To promote connected neighborhoods and to shorten travel distances, the following minimum standards for block lengths are established.*
- 2. Maximum Block Length and Perimeter. The maximum length and perimeters of blocks in the zones listed below shall be according to the following*

table. The review body for a subdivision, partition, conditional use permit, or a Type II design review may require installation of streets or walkways as necessary to meet the standards below.

<i>Zone(s)</i>	<i>Maximum Block Length</i>	<i>Maximum Block Perimeter</i>
<i>R-1</i>	<i>800 feet</i>	<i>2,000 feet</i>
<i>R-2, R-3, RP, I</i>	<i>1,200 feet</i>	<i>3,000 feet</i>

3. Exceptions.

- a. If a public walkway is installed mid-block, the maximum block length and perimeter may be increased by 25 percent.*
- b. Where a proposed street divides a block, one of the resulting blocks may exceed the maximum block length and perimeter standards provided the average block length and perimeter of the two resulting blocks do not exceed these standards.*
- c. Blocks in excess of the above standards are allowed where access controlled streets, street access spacing standards, railroads, steep slopes, wetlands, water bodies, preexisting development, ownership patterns or similar circumstances restrict street and walkway location and design. In these cases, block length and perimeter shall be as small as practical. Where a street cannot be provided because of these circumstances but a public walkway is still feasible, a public walkway shall be provided.*
- d. Institutional campuses located in an R1 zone may apply the standards for the institutional zone.*
- e. Where a block is in more than one zone, the standards of the majority of land in the proposed block shall apply.*
- f. Where a local street plan, concept master site development plan, or specific plan has been approved for an area, the block standards shall follow those approved in the plan. In approving such a plan, the review body shall follow the block standards listed above to the extent appropriate for the plan area.*

Finding: The applicant is not proposing blocks, and none are required.

This criterion does not apply.

P. Private Streets. New private streets, as defined in NMC 15.05.030, shall not be created, except as allowed by NMC 15.240.020(L)(2).

Finding: The applicant is not proposing private streets.

This criterion does not apply.

Q. Traffic Calming.

1. The following roadway design features may be required in new street construction where traffic calming needs are anticipated:

a. Serpentine alignment.

b. Curb extensions.

c. Traffic diverters/circles.

d. Raised medians and landscaping.

e. Other methods shown effective through engineering studies.

2. Traffic-calming measures such as speed humps should be applied to mitigate traffic operations and/or safety problems on existing streets. They should not be applied with new street constructions.

Finding: The applicant is not proposing traffic calming, and none are required.

This criterion does not apply.

R. Vehicular Access Standards.

1. Purpose. The purpose of these standards is to manage vehicle access to maintain traffic flow, safety, roadway capacity, and efficiency. They help to maintain an adequate level of service consistent with the functional classification of the street. Major roadways, including arterials and collectors, serve as the primary system for moving people and goods within and through the city. Access is limited and managed on these roads to promote efficient through movement. Local streets and alleys provide access to individual properties. Access is managed on these roads to maintain safe maneuvering of vehicles in and out of properties and to allow safe through movements. If vehicular access and circulation are not properly designed, these roadways will be unable to accommodate the needs of development and serve their transportation function.

2. Access Spacing Standards. Public street intersection and driveway spacing shall follow the standards in Table 15.505.R below. The Oregon Department of Transportation (ODOT) has jurisdiction of some roadways within the Newberg city limits, and ODOT access standards will apply on those roadways.

Table 15.505.R. Access Spacing Standards

<i>Roadway Functional Classification</i>	<i>Area¹</i>	<i>Minimum Public Street Intersection Spacing (Feet)²</i>	<i>Driveway Setback from Intersecting Street³</i>
<i>Expressway</i>	<i>All</i>	<i>Refer to ODOT Access Spacing Standards</i>	<i>NA</i>
<i>Major arterial</i>	<i>Urban CBD</i>	<i>Refer to ODOT Access Spacing Standards</i>	
<i>Minor arterial</i>	<i>Urban CBD</i>	<i>500 200</i>	<i>150 100</i>
<i>Major collector</i>	<i>All</i>	<i>400</i>	<i>150</i>
<i>Minor collector</i>	<i>All</i>	<i>300</i>	<i>100</i>

¹ *“Urban” refers to intersections inside the city urban growth boundary outside the central business district (C-3 zone).*

“CBD” refers to intersections within the central business district (C-3 zone).

“All” refers to all intersections within the Newberg urban growth boundary.

² *Measured centerline to centerline.*

³ *The setback is based on the higher classification of the intersecting streets. Measured from the curb line of the intersecting street to the beginning of the driveway, excluding flares. If the driveway setback listed above would preclude a lot from having at least one driveway, including shared driveways or driveways on adjoining streets, one driveway is allowed as far from the intersection as possible.*

Finding: The applicant is proposing replacement of the existing access driveway on S Meridian Street, which is a local residential street. This access driveway is located as far as possible from the intersection of S Meridian Street with E Sixth Street. These criteria are met.

3. Properties with Multiple Frontages. Where a property has frontage on more than one street, access shall be limited to the street with the lesser classification.

Finding: This property does have multiple frontages. Both E Sixth Street and S Meridian Street are classified as local residential streets. The existing and proposed access is from S Meridian Street.

This criterion is met.

4. Driveways. *More than one driveway is permitted on a lot accessed from either a minor collector or local street as long as there is at least 40 feet of lot frontage separating each driveway approach. More than one driveway is permitted on a lot accessed from a major collector as long as there is at least 100 feet of lot frontage separating each driveway approach.*

Finding: This proposal does not add a second driveway to the site.

This criterion does not apply.

5. Alley Access. *Where a property has frontage on an alley and the only other frontages are on collector or arterial streets, access shall be taken from the alley only. The review body may allow creation of an alley for access to lots that do not otherwise have frontage on a public street provided all of the following are met:*

- a. The review body finds that creating a public street frontage is not feasible.*
- b. The alley access is for no more than six dwellings and no more than six lots.*
- c. The alley has through access to streets on both ends.*
- d. One additional parking space over those otherwise required is provided for each dwelling. Where feasible, this shall be provided as a public use parking space adjacent to the alley.*

Finding: The applicant's property does not have alley access.

These criteria do not apply.

6. Closure of Existing Accesses. *Existing accesses that are not used as part of development or redevelopment of a property shall be closed and replaced with curbing, sidewalks, and landscaping, as appropriate.*

Finding: The access existing on this property is currently used.

This criterion does not apply.

7. Shared Driveways.

- a. The number of driveways onto arterial streets shall be minimized by the use of shared driveways with adjoining lots where feasible. The city shall require shared driveways as a condition of land division or site design review, as applicable, for traffic safety and access management purposes. Where there is an abutting developable property, a shared driveway shall be provided as appropriate. When shared driveways are required, they shall be stubbed to adjacent developable parcels to indicate future extension. "Stub"*

means that a driveway temporarily ends at the property line, but may be accessed or extended in the future as the adjacent parcel develops.

“Developable” means that a parcel is either vacant or it is likely to receive additional development (i.e., due to infill or redevelopment potential).

b. Access easements (i.e., for the benefit of affected properties) and maintenance agreements shall be recorded for all shared driveways, including pathways, at the time of final plat approval or as a condition of site development approval.

c. No more than four lots may access one shared driveway, with the exception of cottage dwellings on individual lots that are part of a cottage cluster.

d. Shared driveways shall be posted as no parking fire lanes where required by the fire marshal.

e. Where three or more lots share one driveway, one additional parking space over those otherwise required shall be provided for each dwelling. Where feasible, this shall be provided as a common use parking space adjacent to the driveway. However, duplex, triplex, quadplex, townhouse and cottage dwellings with shared driveways shall be exempt from this standard.

Finding: The project site does not have a shared driveway and none are proposed.

This criterion does not apply.

*8. **Frontage Streets and Alleys.** The review body for a partition, subdivision, or design review may require construction of a frontage street to provide access to properties fronting an arterial or collector street.*

Finding: No new frontage street is proposed.

This criterion does not apply.

*9. **ODOT or Yamhill County Right-of-Way.** Where a property abuts an ODOT or Yamhill County right-of-way, the applicant for any development project shall obtain an access permit from ODOT or Yamhill County.*

Finding: The property does not abut ODOT or Yamhill County right-of-way.

This criterion does not apply.

*10. **Exceptions.** The director may allow exceptions to the access standards above in any of the following circumstances:*

- a. Where existing and planned future development patterns or physical constraints, such as topography, parcel configuration, and similar conditions, prevent access in accordance with the above standards.*
- b. Where the proposal is to relocate an existing access for existing development, where the relocated access is closer to conformance with the standards above and does not increase the type or volume of access.*
- c. Where the proposed access results in safer access, less congestion, a better level of service, and more functional circulation, both on street and on site, than access otherwise allowed under these standards.*

Finding: The applicant is not requesting an exception.

These criteria do not apply.

11. Where an exception is approved, the access shall be as safe and functional as practical in the particular circumstance. The director may require that the applicant submit a traffic study by a registered engineer to show the proposed access meets these criteria.

Finding: The applicant is not proposing any exceptions.

This criterion does not apply.

S. Public Walkways.

- 1. Projects subject to Type II design review, partition, or subdivision approval may be required to provide public walkways where necessary for public safety and convenience, or where necessary to meet the standards of this code. Public walkways are meant to connect cul-de-sacs to adjacent areas, to pass through oddly shaped or unusually long blocks, to provide for networks of public paths according to adopted plans, or to provide access to schools, parks or other community destinations or public areas. Where practical, public walkway easements and locations may also be used to accommodate public utilities.*
- 2. Public walkways shall be located within a public access easement that is a minimum of 15 feet in width.*
- 3. A walk strip, not less than 10 feet in width, shall be paved in the center of all public walkway easements. Such paving shall conform to specifications in the Newberg public works design and construction standards.*
- 4. Public walkways shall be designed to meet the Americans with Disabilities Act requirements.*
- 5. Public walkways connecting one right-of-way to another shall be designed to provide as short and straight of a route as practical.*

6. *The developer of the public walkway may be required to provide a homeowners' association or similar entity to maintain the public walkway and associated improvements.*
7. *Lighting may be required for public walkways in excess of 250 feet in length.*
8. *The review body may modify these requirements where it finds that topographic, preexisting development, or similar constraints exist.*

Finding: No public walkway is proposed or required.

These criteria do not apply.

T. Street Trees. Street trees shall be provided for all projects subject to Type II design review, partition, or subdivision. Street trees shall be installed in accordance with the provisions of NMC 15.420.010(B)(4).

Finding: See previous finding NMC 15.420.010(B)(4).

U. Street Lights. All developments shall include underground electric service, light standards, wiring and lamps for street lights according to the specifications and standards of the Newberg public works design and construction standards. The developer shall install all such facilities and make the necessary arrangements with the serving electric utility as approved by the city. Upon the city's acceptance of the public improvements associated with the development, the street lighting system, exclusive of utility-owned service lines, shall be and become property of the city unless otherwise designated by the city through agreement with a private utility.

Finding: It is unclear if the street lighting along E Sixth Street and S Meridian Street meet current City standards. Because final plans have not been submitted, final plans which include an analysis of street lighting on E Sixth Street and S Meridian Street demonstrating that the existing lighting along the project site's frontages meet city standards or plans to install any additional PGE Option A street lights necessary to meet City standards to be submitted with the permit application. Street lighting analysis is to extend to the center line of the E Sixth Street and S Meridian Street frontages.

The criterion will be met if the aforementioned condition of approval is adhered to.

V. Transit Improvements. Development proposals for sites that include or are adjacent to existing or planned transit facilities, as shown in the Newberg transportation system plan or adopted local or regional transit plan, shall be required to provide any of the following, as applicable and required by the review authority:

- 1. Reasonably direct pedestrian connections between the transit facility and building entrances of the site. For the purpose of this section, “reasonably direct” means a route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for users.*
- 2. A transit passenger landing pad accessible to disabled persons.*
- 3. An easement of dedication for a passenger shelter or bench if such facility is in an adopted plan.*
- 4. Lighting at the transit facility.*

Finding: The applicant is not proposing transit improvements and the site is not adjacent to existing or planned transit facilities.

This criterion does not apply.

15.505.040 Public utility standards.

A. Purpose. The purpose of this section is to provide adequate services and facilities appropriate to the scale and type of development.

B. Applicability. This section applies to all development where installation, extension or improvement of water, wastewater, or private utilities is required to serve the development or use of the subject property.

C. General Standards.

1. The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall conform to the Newberg public works design and construction standards and require a public improvements permit.

2. The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site. Installation of all proposed public and private utilities shall be coordinated by the developer and be approved by the city to ensure the orderly extension of such utilities within public right-of-way and easements.

D. Standards for Water Improvements. All development that has a need for water service shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary wastewater and stormwater facilities, as applicable.

1. All developments shall be required to be linked to existing water facilities adequately sized to serve their intended area by the construction of water distribution lines, reservoirs and pumping stations which connect to such water service facilities. All necessary easements required for the construction of these

facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.

2. Specific location, size and capacity of such facilities will be subject to the approval of the director with reference to the applicable water master plan. All water facilities shall conform with city pressure zones and shall be looped where necessary to provide adequate pressure and fire flows during peak demand at every point within the system in the development to which the water facilities will be connected. Installation costs shall remain entirely the developer's responsibility.

3. The design of the water facilities shall take into account provisions for the future extension beyond the development to serve adjacent properties, which, in

4. Design, construction and material standards shall be as specified by the director for the construction of such public water facilities in the city. The judgment of the city, cannot be feasibly served otherwise.

Finding: The plans show an existing water service connection to the water line in E Sixth Street. Fire flow test results need to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

This criterion will be met if the aforementioned condition of approval is adhered to.

E. Standards for Wastewater Improvements. All development that has a need for wastewater services shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary water services and stormwater facilities, as applicable.

1. All septic tank systems and on-site sewage systems are prohibited. Existing septic systems must be abandoned or removed in accordance with Yamhill County standards.

2. All properties shall be provided with gravity service to the city wastewater system, except for lots that have unique topographic or other natural features that make gravity wastewater extension impractical as determined by the director. Where gravity service is impractical, the developer shall provide all necessary pumps/lift stations and other improvements, as determined by the director.

3. All developments shall be required to be linked to existing wastewater collection facilities adequately sized to serve their intended area by the construction of wastewater lines which connect to existing adequately sized wastewater facilities. All necessary easements required for the construction of these facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.

4. Specific location, size and capacity of wastewater facilities will be subject to the approval of the director with reference to the applicable wastewater master plan. All wastewater facilities shall be sized to provide adequate capacity during

peak flows from the entire area potentially served by such facilities. Installation costs shall remain entirely the developer's responsibility.

5. Temporary wastewater service facilities, including pumping stations, will be permitted only if the director approves the temporary facilities, and the developer provides for all facilities that are necessary for transition to permanent facilities.

6. The design of the wastewater facilities shall take into account provisions for the future extension beyond the development to serve upstream properties, which, in the judgment of the city, cannot be feasibly served otherwise.

7. Design, construction and material standards shall be as specified by the director for the construction of such wastewater facilities in the city.

Finding: The submitted plans show an existing wastewater connection to a wastewater line in E Sixth Street.

This criterion is met.

F. Easements. Easements for public and private utilities shall be provided as deemed necessary by the city, special districts, and utility companies. Easements for special purpose uses shall be of a width deemed appropriate by the responsible agency. Such easements shall be recorded on easement forms approved by the city and designated on the final plat of all subdivisions and partitions. Minimum required easement width and locations are as provided in the Newberg public works design and construction standards.

Finding: No new easements are required.

This criterion does not apply

15.505.050 Stormwater system standards.

A. Purpose. The purpose of this section is to provide for the drainage of surface water from all development; to minimize erosion; and to reduce degradation of water quality due to sediments and pollutants in stormwater runoff.

B. Applicability. The provisions of this section apply to all developments subject to site development review or land division review and to the reconstruction or expansion of such developments that increases the flow or changes the point of discharge to the city stormwater system. Additionally, the provisions of this section shall apply to all drainage facilities that impact any public storm drain system, public right-of-way or public easement, including but not limited to off-street parking and loading areas.

C. General Requirement. All stormwater runoff shall be conveyed to a public storm wastewater or natural drainage channel having adequate capacity to

carry the flow without overflowing or otherwise causing damage to public and/or private property. The developer shall pay all costs associated with designing and constructing the facilities necessary to meet this requirement.

Finding: The proposed development will create a net increase of more than 500 square feet of onsite impervious area. The applicant has submitted a preliminary stormwater report. Two private stormwater management facilities are shown on the plans with their outlets routed to a proposed stormwater service lateral to be connected to the stormwater line in E Sixth Street. The connection to the public stormwater line will require a public works improvement permit. Because final plans have not been submitted, final plans showing the connection to the public stormwater system will be required for the public works improvement permit application.

This criterion will be met if the aforementioned condition of approval is adhered to.

D. Plan for Stormwater and Erosion Control. No construction of any facilities in a development included in subsection (B) of this section shall be permitted until an engineer registered in the State of Oregon prepares a stormwater report and erosion control plan for the project. This plan shall contain at a minimum:

- 1. The methods to be used to minimize the amount of runoff, sedimentation, and pollution created from the development both during and after construction.*
- 2. Plans for the construction of stormwater facilities and any other facilities that depict line sizes, profiles, construction specifications, and other such information as is necessary for the city to review the adequacy of the stormwater plans.*
- 3. Design calculations shall be submitted for all drainage facilities. These drainage calculations shall be included in the stormwater report and shall be stamped by a licensed professional engineer in the State of Oregon. Peak design discharges shall be computed based upon the design criteria outlined in the public works design and construction standards for the city.*

Finding: The proposed project will disturb less than 1 acre and will require a City of Newberg Erosion Control Permit. Because the applicant has not provided documentation of an erosion and sedimentation control permit for the development site, the applicant will be required to obtain a City of Newberg Erosion Control Permit prior to any ground disturbing activity.

The criterion will be met if the aforementioned condition of approval is adhered to.

E. Development Standards. Development subject to this section shall be planned, designed, constructed, and maintained in compliance with the Newberg public works design and construction standards.

Finding: The applicant has submitted a preliminary stormwater report. This report describes the use of two flow through planters to comply with City of Newberg requirements for stormwater management. Because the applicant has not provided construction plans and a final stormwater report, the applicant will be required to provide detailed construction plans and stormwater facility sizing report that address requirements outlined in the Public Works Design and Construction Standards in accordance with NMC 13.25 Stormwater Management.

A private maintenance agreement for the stormwater facilities will be required. Because a private maintenance agreement for the stormwater facilities has not been recorded, the applicant is required to submit a private maintenance agreement for the onsite stormwater facilities and have the approved agreement recorded.

The criterion will be met if the aforementioned condition of approval is adhered to.

CONCLUSION:

Based on the above findings, the project meets the criteria required within the Newberg Development Code, subject to completion of the attached conditions.

**Section IV: Conditions – File ADJC22-0004 and DR222-0007
Code Adjustment and Design Review – 603 S Meridian Street
Newberg SAIL Program – Newberg School District**

A. THE FOLLOWING MUST BE COMPLETED BEFORE THE CITY WILL ISSUE A BUILDING PERMIT:

1. **Permit Submittal:** Submit a building permit application and two (2) complete working drawing sets of the proposed project. Show all the features of the plan approved through design review, including the following:
 - a. Any required public improvement permit(s) for this project must be submitted, approved, and issued prior to building permits being issued.
2. **Conditions of Approval:** Either write or otherwise permanently affix the conditions of approval contained within this report onto the first page of the plans submitted for building permit review.
3. **Code adjustment:**
 - a. A site plan depicting all setbacks must be included with the building permit application, reviewed, and approved prior to building permit issuance.
 - b. A building permit that incorporates the reduction of the interior setback requirements outlined in this decision must be issued within one year from the effective date of this decision.
4. **Sidewalks:**
 - a. The applicant will be responsible for replacement of any sidewalk panels along the project site's frontages that are not in good condition or do not meet current ADA standards along the project frontages. This would include the installation of ADA curb ramps at the southwest corner of the E Sixth Street at S Meridian Street intersection. Determination of the limits of sidewalk replacements will be part of the permit plan review process
5. **Parking, Bicycle Parking and Private Walkways:**
 - a. All parking spaces must be striped to length accordingly. This will be verified during the building permit planning final inspection prior to occupancy.
 - b. If bicycle parking is provided it must meet all the design standards found in NMC 15.440.110.
 - c. A revised site plan showing all private pathways meeting the standard of NMC 15.440.140(B) shall be submitted with building permit application plans to be reviewed and approved prior to issuance.
 - d. If painted striping is used for crosswalk areas in services drives, it should consist of thermoplastic striping or similar type of durable application.

6. **Vision Clearance:**
 - a. At time of building permit application, the applicant shall include a site plan showing that no items between the heights of two and one-half feet and nine feet are located within the driveways 25-foot vision clearance triangle.

7. **Fences:**
 - a. If the existing fence is modified, or a new fence is installed, it must meet the height, material, and location standards addressed in NMC 15.410.070(D).

8. **Landscaping:**
 - a. At time of building permit a landscape plan showing the landscape area calculations shall be submitted for review and approval prior to issuance of building permits
 - b. At time of building permit a landscape plan addressing NMC 15.420.010 subsections (4), (5), and (6) requirements shall be submitted for review and approval prior to issuance of building permits.
 - c. All landscaping must be completed prior to final occupancy. If landscaping cannot be completed options listed in NMC15.420.010(C) may be applied.

9. **Signs:**
 - a. A sign permit shall be applied for, reviewed, and approved prior to placement of such sign.

10. **Exterior Lighting:**
 - a. The applicant will need to provide a photometric plan showing that the exterior lighting will not exceed one-half-foot candle at the property line as well as manufacture cut sheets for all exterior lighting. This is to be submitted with building permit plans and approved prior to building permit issuance.

11. **Underground Utilities:**
 - a. Final plans showing utilities installed underground will be required with permit applications.

12. **Fire Flow:**
 - a. Fire flow test results need to be submitted with permit applications to be reviewed by the Fire Marshall for approval.

13. **Permits:**
 - a. Any required public improvement permit(s) for this project must be submitted, approved and issued prior to building permits being issued.

14. **Street Standards:**
 - a. Any modifications of pedestrian facilities such as sidewalks, are to be consistent with section NMC 15.505.030.

15. **Street Lighting:**
 - a. Final plans which include an analysis of street lighting on E Sixth Street and S Meridian Street demonstrating that the existing lighting along the project site's frontages meet city standards or plans to install any additional PGE Option A street lights necessary to meet City standards to be submitted with the permit application. Street lighting analysis is to extend to the center line of the E Sixth Street and S Meridian Street frontages.

16. **Stormwater**
 - a. Final plans showing the connection to the public stormwater system will be required for the public works improvement permit application.
 - b. The applicant will be required to provide detailed construction plans and stormwater facility sizing report that address requirements outlined in the Public Works Design and Construction Standards in accordance with NMC 13.25 Stormwater Management.
 - c. The applicant is required to submit a private maintenance agreement for the onsite stormwater facilities and have the approved agreement recorded.

17. **Erosion Control:**
 - a. The applicant will be required to obtain a City of Newberg Erosion Control Permit prior to any ground disturbing activity.

B. THE FOLLOWING MUST BE ACCOMPLISHED PRIOR TO OCCUPANCY

1. **Fire Department Requirements:** This project is subject to compliance with all Fire Department (TVF&R) standards relating to access and fire protection.
2. **Design Review Conditions:** Contact the Planning Division (503-537-1240) to verify that all design review conditions have been completed.
3. **Site Inspection:** Contact the Building Division (503-537-1240) for Building, Mechanical, and Plumbing final inspections. Contact the TVF&R (503-649-8577) for Fire Safety final inspections. Contact Yamhill County (503-538-7302) for electrical final inspections. Contact the Planning Division (503-537-1240) for landscaping final inspections.

C. DEVELOPMENT NOTES

1. Systems development charges (SDCs) will be collected when building permits are issued. For questions regarding SDCs please contact the Engineering Division.

Attachment 1: Application Material



Type I Application (Administrative Review)

File #: _____

TYPES – PLEASE CHECK ONE:

- Code Adjustment
- Final Plat
- Minor Design Review
- Property Line Adjustment
- ADU or Cottage Cluster Design Review
- Property Line Consolidation
- Type I Extension or Type I Minor/Major Modification
- Type II or Type III Extension or Minor Modification
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Process Design, LLC

ADDRESS: 504 NE Brazee, Unit 1A Portland, OR 97212

EMAIL ADDRESS: nick@process-pdx.com

PHONE: (971)267-0872 MOBILE: _____ FAX: _____

OWNER (if different from above): Newberg School District PHONE: (503) 554-5000

ADDRESS: 714 E 6TH ST, Newberg, OR, 97132

ENGINEER/SURVEYOR: Ironmark, LLC PHONE: (503)765-8755

ADDRESS: PO Box 38, St Paul, OR 97137

GENERAL INFORMATION:

PROJECT NAME: Support Advocacy for Independence in Life Facility PROJECT LOCATION: 603 S Meridian St

PROJECT DESCRIPTION/USE: Education PROJECT VALUATION: _____

MAP/TAX LOT NO. (i.e.3200AB-400): R3219DA 00800 ZONE: R-2 SITE SIZE: 8,396 SQ. FT. ACRE

COMP PLAN DESIGNATION: MDR TOPOGRAPHY: _____

CURRENT USE: Residential - Previously approved and used as educational

SURROUNDING USES:

NORTH: Residential SOUTH: Residential

EAST: Residential WEST: Educational

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

Code Adjustment	p. 4
Final Plat	p. 6
Minor Design Review	p. 10
Property Line Consolidation.....	p. 11
Property Line Adjustment.....	p. 12

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

Nick Turrell May 25, 2022
 Applicant Signature Date

Nick Turrell - Process Design
 Print Name

Nikki L. Fowler May 18, 2022
 Owner Signature Date

Nikki L. Fowler
 Print Name

TYPE I APPLICATION

Final Audit Report

2022-05-19

Created:	2022-05-18
By:	Casey Cunningham (ccunningham@cornerstonemgi.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAo90rXBVGNBv-Xn4jutE0eR7W44hZrJL5

"TYPE I APPLICATION" History

-  Document created by Casey Cunningham (ccunningham@cornerstonemgi.com)
2022-05-18 - 10:54:12 PM GMT- IP address: 73.157.185.41
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-  Email viewed by Nikki L. Fowler (fowlern@newberg.k12.or.us)
2022-05-19 - 0:52:52 AM GMT- IP address: 66.249.84.67
-  Document e-signed by Nikki L. Fowler (fowlern@newberg.k12.or.us)
Signature Date: 2022-05-19 - 0:53:12 AM GMT - Time Source: server- IP address: 50.53.128.109
-  Agreement completed.
2022-05-19 - 0:53:12 AM GMT



TYPE II APPLICATION – LAND USE

File #: _____

TYPES – PLEASE CHECK ONE:

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance _____
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Process Design, LLC
 ADDRESS: 504 NE Brazee, Unit 1A Portland, OR 97212
 EMAIL ADDRESS: nick@process-pdx.com
 PHONE: 971-267-0872 MOBILE: _____ FAX: _____
 OWNER (if different from above): Newberg School District PHONE: (503) 554-5000
 ADDRESS: 714 E 6TH ST, Newberg, OR, 97132
 ENGINEER/SURVEYOR: Ironmark, LLC PHONE: (503)765-8755
 ADDRESS: PO Box 38, St Paul, OR 97137

GENERAL INFORMATION:

PROJECT NAME: Support Advocacy for Independence in Life Facility PROJECT LOCATION: 603 S Meridian St
 PROJECT DESCRIPTION/USE: Education PROJECT VALUATION: \$500,000
 MAP/TAX LOT NO. (i.e.3200AB-400): R3219DA 00800 ZONE: R-2 SITE SIZE: 8,396 SQ. FT. ACRE
 COMP PLAN DESIGNATION: MDR TOPOGRAPHY: _____
 CURRENT USE: Residential - Previously approved and used as educational
 SURROUNDING USES:
 NORTH: Residential SOUTH: Residential
 EAST: Residential WEST: Educational

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Public Notice Information Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

- Design Reviewp. 12
- Partition Tentative Platp. 14
- Subdivision Tentative Platp. 17
- Variance Checklistp. 20

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

Nick Turrell May 25, 2022
 Applicant Signature Date

Nikki L. Fowler May 18, 2022
 Owner Signature Date

Nick Turrell - Process Design
Print Name

Nikki L. Fowler
Print Name

TYPE II APPLICATION (LAND USE)

Final Audit Report

2022-05-19

Created:	2022-05-18
By:	Casey Cunningham (ccunningham@cornerstonemgi.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAACKW53aUCPL9LpE_9ZVqPcRt53YwhM8k0

"TYPE II APPLICATION (LAND USE)" History

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2022-05-19 - 0:53:25 AM GMT- IP address: 66.249.84.73
-  Document e-signed by Nikki L. Fowler (fowlern@newberg.k12.or.us)
Signature Date: 2022-05-19 - 0:53:48 AM GMT - Time Source: server- IP address: 50.53.128.109
-  Agreement completed.
2022-05-19 - 0:53:48 AM GMT



Community Development Department

P.O. Box 970 ▪ 414 E First Street ▪ Newberg, Oregon 97132

503-537-1240. Fax 503-537-1272 www.newbergoregon.gov

WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to convert and add onto existing building for the Newberg School District Support Advocacy for Independence in Life Facility. You are invited to take part in the City's review of this project by sending in your written comments. For more details about giving comments, please see the back of this sheet.

The development would include the renovation of the existing 1600 sf building, the addition of 1700 sf, reconfiguration of parking area, and associated sitework.

APPLICANT: Process Design, LLC
TELEPHONE: 775-846-4793

PROPERTY OWNER: Newberg School District

LOCATION: 603 S Meridian St

TAX LOT NUMBER: R3219DA 00800



Working Together For A Better Community-Serious About Service"

We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

Written Comments:
City of Newberg
Community Development Department
PO Box 970
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on ***TBD***. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***TBD***

LAND USE NOTICE

FILE # TBD

PROPOSAL:

The proposed project includes renovating the existing building as well as the construction of a 1700 sf addition to relocate the Newberg School District Support Advocacy for Independence in Life Program.

FOR FURTHER INFORMATION PLEASE CONTACT

City of Newberg
Community Development Department
414 E First Street
Phone: 503-537-1240

NEWBERG SCHOOL DISTRICT

SAIL PROGRAM FACILITY

TYPE 1 – CODE ADJUSTMENT

TYPE 2 – MINOR DESIGN REVIEW



NEWBERG
PUBLIC SCHOOLS

PREPARED FOR:

NEWBERG SCHOOL DISTRICT 29J

714 E. SIXTH STREET

NEWBERG, OR 97132

PREPARED BY:

PROCESS DESIGN, LLC

240 N BROADWAY

PORTLAND, OR 97227

Project Location and Identification

Address: 603 S Meridian St, Newberg, OR 97132

Zoning: R-2

Taxlot: R3219DA 00800

Proposal

The Newberg School District (NSD) is proposing an addition and renovation to an existing single-family structure to relocate its SAIL program. The Support Advocacy for Independence in Life (SAIL) program provides vocational training, independence living skills, social skills, sensory experiences, healthy living and community involvement and awareness. Students who attend the program will have recently graduated from the Newberg School District and age ranges are anticipated to be between 17 and 21 years old. The proposed facility will allow for a maximum of 20 students and 5 support staff.

The project proposes to renovate the existing 1-story, 1,600 SF structure and add 1,700 additional square footage. The site has previously been approved with the education use as well as an adjustment to allow for the existing 15' setbacks. This proposal would also include adjusting the parking area, adding freestanding signage, modifying fencing, adding required storm facilities, and recladding the existing building. The following sections will demonstrate the project's compliance with applicable standards of the development code.

Applicable Standards

The following Standards and Regulations have been addressed within this narrative:

Title 15 Development Code

Chapter 15.210 Code adjustments

15.210.020 Type I adjustments and approval criteria.

Chapter 15.220 Site Design Review

15.220.050 Criteria for design review.

Chapter 15.405 Lot requirements

15.405.040 Lot coverage and parking coverage requirements.

Chapter 15.410 Yard setback requirements

15.410.020 Front yard setback.

15.410.030 Interior yard setback.

15.410.040 Setback and yard restrictions as to schools, churches, public buildings.

Chapter 15.420 Landscaping

15.420.010 Required minimum standards.

Chapter 15.435 Signs

15.435.050 Major freestanding signs.

Chapter 15.440 Off-street parking, bicycle parking, and private walkways

15.440.010 Required off-street parking.

15.440.060 Parking area and service drive improvements.

Chapter 15.210 Code Adjustments

15.210.020 Type I adjustments and approval criteria.

The director may authorize adjustments from the following requirements through a Type I procedure subject to the following:

B. Interior Yard Setback Requirements in Residential Zones.

1. *Except for lots designated as "zero lot line lots," the director may approve an adjustment in the interior yard requirements so that a distance not less than three feet is maintained.*

RESPONSE: We are requesting that the 25' setback requirement for schools on the West and South property lines be reduced to 5'.

2. *Approval Criteria. Approval of an adjustment to the interior yard setback shall be based upon the following:*

- a. *A site plan is approved by the director prior to issuance of a building permit. In approving a site plan, the director may attach any conditions necessary to fulfill the purpose of this code.*

RESPONSE: See included site plan.

- b. *Adequate light, air and open space will be provided on the lot.*

RESPONSE: As the lot has street frontage on the North, East, and West, light and air will not be affected along those property lines by reducing the setbacks. This adjustment allows for the largest possible outdoor open space on the Northwest corner of the property with the required program. Existing open space is maintained on the East and North side of the property. To reduce affect of the proposed addition to the South neighbor, the building will be limited to one story and the gable is oriented to provide maximum light into the neighboring building.

- c. *The building is limited to one story.*

RESPONSE: The building will remain one story.

- d. *The building is compatible with physical conditions and adjacent property.*

RESPONSE: The building will maintain the scale and appearance of a single-family home in a single-family neighborhood. Because of this, reducing the setbacks on the South and West property line to the allowable setbacks of a single-family home in this neighborhood is compatible with adjacent properties. The neighboring building is built up to 5' from the property line on the North and less than 1' from the South and West. The proposed addition will maintain a larger setback than the neighboring property provides to its Southern neighbor.

- e. *The adjustment is consistent with the setbacks, lot area, and/or coverage of buildings or structures previously existing in the immediate vicinity.*

RESPONSE: In general, properties along S Meridian St between 6th & 7th have 1 to 2 facades between 0 and 5' of the property line. The proposed building would provide the 5' setbacks on 2 facades and retain the setbacks of the existing building on the North and East.

Chapter 15.220 Site Design Review

15.220.050 Criteria for design review.

B. Type II. The following criteria are required to be met in order to approve a Type II design review request:

1. *Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.*

RESPONSE: The design of the addition maintains the character of the existing building and neighborhood through the small scale of the structure and continuation of the gable form. The exterior materials include a mix of light-colored fiber cement lap siding, darker colored fiber cement panel and cedar accents. This mix retains some of the single-family home aesthetic while incorporating materials that elevate it to its proposed use as a school facility.

2. *Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.*

RESPONSE: Due to site constraints, parking will be limited to 2 parking spaces, one of which will be van accessible. Other users will utilize street parking and adjacent school parking lot per previous agreement with City of Newberg. With such a limited parking count, the users will back into Meridian St the same as the surrounding properties with a driveway. Per previous file numbers DR1-070-016 and ADJC 07-006, 1 van accessible parking stall was required. See section NMC15.440.010 responses below.

3. *Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and*

NMC15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.

RESPONSE: Setbacks will be reduced to 5' on South and West with Code Adjustment. Required school 25' setbacks on North and East will be provided for proposed addition. See specific sections with responses below.

4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.

RESPONSE: See specific sections with responses below.

5. Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.

RESPONSE: See specific sections with responses below.

7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.

RESPONSE: School use is a permitted use in the zoning district.

8. Subdistrict Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.

RESPONSE: This project is not located within a subdistrict.

9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.

RESPONSE: Sidewalks already exist on both the North and East of the site but will be replaced as needed in damaged areas affected by tree root disturbance. No other improvements are proposed.

10. *Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director. 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.*

RESPONSE: Per PRE22-0008, the students using the facility are not new students and no new trips will be generated. A traffic study will not be required.

CHAPTER 15.405 LOT REQUIREMENTS

15.405.040 Lot coverage and parking coverage requirements.

B. Residential uses in residential zones shall meet the following maximum lot coverage and parking coverage standards; however, cottage cluster projects shall be exempt from the standards. See the definitions in NMC 15.05.030 and Appendix A, Figure 4.

RESPONSE: While this project is not a residential use and does not have a lot coverage limitation, it is in a residential zone and will appear as a single-family home. To fit with the context, we are showing compliance with the regulations below.

1. *Maximum Lot Coverage.*

b. R-2 and RP: 60 percent.

RESPONSE: Lot coverage of existing building and addition combined is 39% and meets this requirement.

2. *Maximum Parking Coverage. R-1, R-2, R-3, and RP: 30 percent.*

RESPONSE: Parking coverage is 15% which meets this requirement.

3. *Combined Maximum Lot and Parking Coverage.*

b. R-2, R-3, RP and townhouse dwellings in R-1: 70 percent.

RESPONSE: Combined coverage is 54%.

C. All other districts and uses not listed in subsection (B) of this section shall not be limited as to lot coverage and parking coverage except as otherwise required by this code.

CHAPTER 15.410 YARD SETBACK REQUIREMENTS

15.410.020 Front yard setback.

A. *Residential (see Appendix A, Figure 10).*

1. *AR, R-1 and R-2 districts shall have a front yard of not less than 15 feet. Said yard shall be landscaped and maintained.*

RESPONSE: With previous code adjustment DR1-07-016, 15' setbacks were approved for the existing building. The proposed addition will provide greater than 25' setbacks on the front yards and will meet the setback requirements for a school listed below.

15.410.030 Interior yard setback.

A. *Residential.*

1. *All lots or development sites in the AR, R-1, R-2 and R-3 districts shall have interior yards of not less than five feet, except that where a utility easement is recorded adjacent to a side lot line, there shall be a side yard no less than the width of the easement.*

RESPONSE: With the code adjustment detailed above, we would be meeting the 5' setback requirements of the surrounding neighborhood.

15.410.040 Setback and yard restrictions as to schools, churches, public buildings.

A. *Building Setback. No buildings shall be erected, used or maintained for a school, church or public or semi-public building or use, institution or similar use under the regulations of this code unless such building is removed at least 25 feet from every boundary line of any property included in any residential district.*

RESPONSE: The code adjustment detailed above would allow for reduced setbacks to 5' on the South and West property lines. Our addition is set back 48' from the North and 36' from the East, which meets the requirements.

B. *Required Yard. No required front or interior yard of the lot on which such building or use is located shall be used for play or parking purposes. [Ord. 2451, 12-2-96. Code 2001 § 151.553.]*

RESPONSE: With the code adjustment, the parking spaces will not be in the required interior yard. They are separated from the South property line by a 5' planting buffer and fence.

CHAPTER 15.420 LANDSCAPING AND OUTDOOR AREAS

15.420.010 Required minimum standards.

B. Required Landscaped Area. The following landscape requirements are established for all developments except single-family detached dwellings, duplex dwellings, triplex dwellings, quadplex dwellings, townhouse dwellings and cottage cluster projects:

- 1. A minimum of 15 percent of the lot area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subsection (B)(3) of this section. Development in the C-3 (central business district) zoning district and M-4 (large lot industrial) zoning district is exempt from the 15 percent landscape area requirement of this section. Additional landscaping requirements in the C-4 district are described in NMC 15.352.040(K). In the AI airport industrial district, only a five percent landscaping standard is required with the goal of "softening" the buildings and making the development "green" with plants, where possible. The existence of the runway, taxiway, and approach open areas already provide generally for the 15 percent requirement. Developments in the AI airport industrial district with a public street frontage shall have said minimum landscaping between the front property line and the front of the building.*

RESPONSE: 30% of the site will be landscaped.

- 2. All areas subject to the final design review plan and not otherwise improved shall be landscaped.*

RESPONSE: Noted.

- 3. The following landscape requirements shall apply to the parking and loading areas:*
 - b. A parking, loading area, or drive aisle which runs adjacent to a property line shall be separate from any lot line adjacent to a street by a landscaped strip at least 10 feet in interior width or the width of the required yard, whichever is greater, and any other lot line by a landscaped strip of at least five feet in interior width. See subsections (B)(3)(c) and (d) of this section for material to plant within landscape strips.*

RESPONSE: The parking area on the Southwest of the property is currently screened from the neighbor to the South by planting and fencing. This planting will remain as is with new parking layout.

- d. A landscaped strip separating a parking area, loading area, or drive aisle from an interior lot line shall contain any combination of trees, shrubs, ground cover*

or lawn. Plant material shall be selected from at least two different plant material groups (example: trees and shrubs, or lawn and shrubs, or lawn and trees and shrubs).

RESPONSE: See landscape plans for plant types and locations.

4. *Trees, Shrubs and Ground Covers. The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.*

RESPONSE: See landscape plans for approved street trees and locations.

CHAPTER 15.435 SIGNS

15.435.050 Major freestanding signs.

A. Number.

1. *Residential, I, and CF Zones. One major freestanding sign is allowed on each street frontage, plus one sign for each full 600 feet of street frontage. Only one sign on each street frontage may be an animated sign.*

RESPONSE: The project proposes signage location along Meridan. This proposal identifies future signage location. Actual signage will be submitted under a separate permit.

B. Size.

1. *Residential Zones. No major freestanding sign shall be larger than 0.2 square feet per foot of street frontage, up to a maximum of 50 square feet. At least six square feet of signage will be allowed. Major freestanding signs are not allowed on lots containing only one single-family dwelling or duplex.*

RESPONSE: The frontage along Meridian st is 84'. $84' * 0.2 \text{ sf} = 16.8 \text{ sf}$. The proposed signage location is 12 SF and attached to a planter and bench.

C. *Height and Setbacks. Freestanding signs regulated by this section are not subject to the setback requirements of NMC 15.410.010 through 15.410.070 or the projecting building features requirements of said sections. Height and setbacks of freestanding signs shall conform to the following requirements:*

2. *Other Zones.*

- a. *A sign up to three feet in height is not required to be set back from any property line.*

RESPONSE: The proposed sign is 3' tall, but is held back from the property line more than 5'.

CHAPTER 15.440 OFF-STREET PARKING, BICYCLE PARKING, AND PRIVATE WALK

15.440.010 Required off-street parking.

- A. *Off-street parking shall be provided on the development site for all R-1, C-1, M-1, M-2 and M-3 zones. In all other zones, the required parking shall be on the development site or within 400 feet of the development site which the parking is required to serve. All required parking must be under the same ownership as the development site served except through special covenant agreements as approved by the city attorney, which bind the parking to the development site.*

RESPONSE: 2 off-street parking spaces are provided on the East of the building. This is the maximum feasible number of parking spaces while maintaining open space, planting and site circulation. The southern space will be van accessible while the other space will be used mainly for dropoff purposes. Remaining parking demand will be provided at the Newberg School District offices next door at 714 E. Sixth Street per DR1-07-016.

15.440.060 Parking area and service drive improvements.

All public or private parking areas, outdoor vehicle sales areas, and service drives shall be improved according to the following:

- A. *All parking areas and service drives shall have surfacing of asphaltic concrete or Portland cement concrete or other hard surfacing such as brick or concrete pavers. Other durable and dust-free surfacing materials may be approved by the director for infrequently used parking areas. All parking areas and service drives shall be graded so as not to drain stormwater over the public sidewalk or onto any abutting public or private property.*

RESPONSE: Onsite parking area will be surfaced with concrete.

- B. *All parking areas shall be designed not to encroach on public streets, alleys, and other rights-of-way. Parking areas shall not be placed in the area between the curb and sidewalk or, if there is no sidewalk, in the public right-of-way between the curb and the property line. The director may issue a permit for exceptions for unusual circumstances where the design maintains safety and aesthetics.*

RESPONSE: Parking area is clear of the street and right-of-way. See site plan.

D. All parking areas, including service drives, except those required in conjunction with single-family detached, duplex, triplex, quadplex or townhouse dwellings or cottage cluster projects, shall be screened in accordance with NMC 15.420.010(B).

RESPONSE: See section 15.420.010(B) above for response regarding screening.

SUPPORT ADVOCACY FOR INDEPENDENCE IN LIFE FACILITY

NEWBERG SCHOOL DISTRICT



PROJECT SUMMARY

CONVERSION OF SINGLE FAMILY HOME TO NEWBERG SCHOOL DISTRICT SAIL PROGRAM BUILDING. SCOPE INCLUDES RENOVATION OF EXISTING HOME AND 1700 SQ FT ADDITION.

PROJECT ADDRESS: 603 S MERIDIAN ST, NEWBERG, OR, 97132
 TAX PARCEL NO: R3219DA 00800
 APPLICABLE CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC) + AMENDMENTS
 EXISTING ZONING: R-2 MEDIUM DENSITY RESIDENTIAL
 OCCUPANCY GROUPS: BUSINESS (B)
 TYPE OF CONSTRUCTION: VB
 SEWER DISTRICT: CITY OF NEWBERG
 WATER DISTRICT: CITY OF NEWBERG
 SITE AREA: 8,396 SF
 (E) BUILDING AREA: 1,604 SF
 (N) BUILDING AREA: 1,684 SF
 TOTAL BUILDING AREA: 3,288 SF

DRAWING SYMBOL LEGEND

	DETAIL CALLOUT
	ENLARGED PLAN REFERENCE
	WALL SECTION
	BUILDING SECTION
	INTERIOR ELEVATION TAG
	BUILDING ELEVATION TAG
	REVISION TAG
	REVISION CLOUD
	GRID LINE
	WALL ASSEMBLY TAG
	WINDOW TAG
	DOOR TAG
	INDICATES PROJECT NORTH
	INDICATES TRUE NORTH
	LEVEL
	WALL
	WALL OR ELEMENT TO REMAIN

REVISIONS

#	DESCRIPTION	DATE

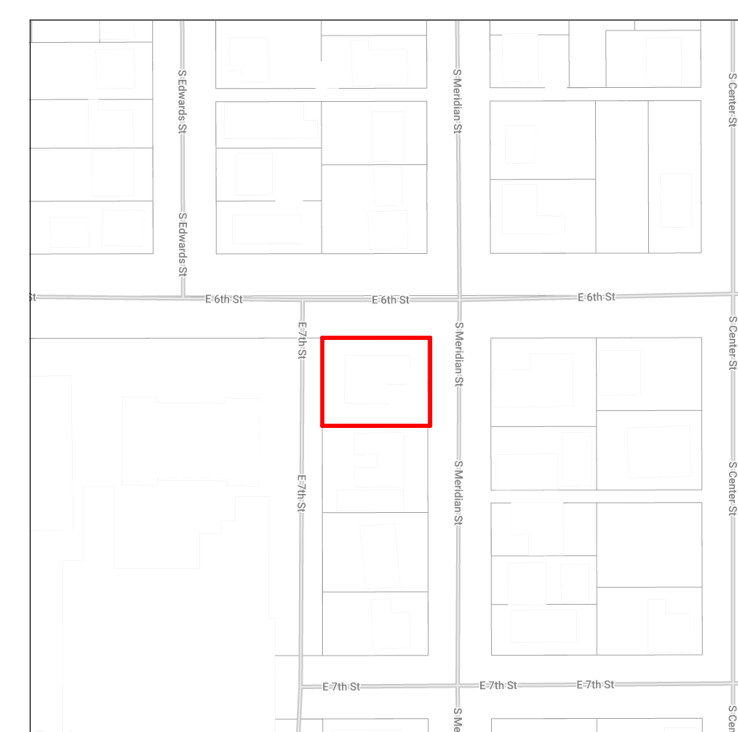
PROJECT TEAM

<p>OWNER NEWBERG SCHOOL DISTRICT ADDRESS: 714 E 6TH ST, NEWBERG, OR CONTACT: NIKKI POWLER PHONE: 503.554.5004</p>	<p>ARCHITECT PROCESS DESIGN, LLC ADDRESS: 504 NE BRAZEE PORTLAND, OR 97212 CONTACT: JASON KARAM PHONE: 775.846.4793</p>	<p>CIVIL ENGINEER 3J CONSULTING ADDRESS: 9600 SW NIMBUS AVE, # 100, BEAVERTON OR CONTACT: JESSE EMERSON PHONE:</p>	<p>MECHANICAL ENGINEER SAZAN GROUP ADDRESS: 111 SW 5TH AVE #3210, PORTLAND, OR 97204 CONTACT: DANIEL TOUGER PHONE: 503.416.2400</p>
<p>OWNER'S REPRESENTATIVE CORNERSTONE MANAGEMENT GROUP ADDRESS: 31425 SW COUNTRY VIEW LN WILSONVILLE, OR 97070 CONTACT: CASEY CUNNINGHAM PHONE: 503.949.5223</p>	<p>STRUCTURAL ENGINEER PCS STRUCTURAL SOLUTIONS ADDRESS: 101 SW MAIN ST, PORTLAND, OR 97204 CONTACT: LUKE HEATH PHONE: 503.232.3746</p>	<p>ELECTRICAL ENGINEER SAZAN GROUP ADDRESS: 111 SW 5TH AVE #3210, PORTLAND, OR 97204 CONTACT: DANIEL TOUGER PHONE: 503.416.2400</p>	

VICINITY MAP



LOCATION MAP



ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
AD	AREA DRAIN	IPNT	INTUMESCENT PAINT
AFF	ABOVE FINISHED FLOOR	INSUL	INSULATED
ALT	ALTERNATE	INT	INTERIOR
ALUM	ALUMINUM	MAX	MAXIMUM
ANOD	ANODIZED	MDF	MICRO DENSITY FIBERBOARD
BIM	BUILDING INFORMATION MODELING	MO	MASONRY OPENING
BOT	BOTTOM	MECH	MECHANICAL
CG	CORNER GUARD	MIN	MINIMUM
CIP	CAST IN PLACE	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
CL	CENTER LINE	MTL	METAL
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NIS	NOT IN SCOPE
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
CPT	CARPET	OFOI	OWNER FURNISHED, OWNER INSTALLED
CT	CERAMIC TILE	OH	OVERHEAD
CW	COLD WATER	OSB	ORIENTED STRAND BOARD
DEMO	DEMOLITION OR DEMOLISH	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	PL	PROPERTY LINE
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLUMB	PLUMBING
DN	DOWN	PT	PRESSURE TREATED
DR	DOOR	PNT	PAINT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DWG	DRAWING	R	RISER
EA	EACH	RB	RUBBER BASE
EFS	EXTERIOR INSULATED FINISH SYSTEM	RBR	RUBBER
EL	EXPANSION JOINT	RCP	REFLECTED CEILING PLAN
EL	ELEVATION	RD	ROOF DRAIN
ELEC	ELECTRICAL OR ELECTRIC	REQD	REQUIRED
ELEV	ELEVATION	RO	ROUGH OPENING
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	SIM	SIMILAR
EQ	EQUAL	SD	SMOKE DETECTOR
EXIST	EXISTING	SPEC	SPECIFICATION OR SPECIFIED
EXT	EXTERIOR	SSTL	STAINLESS STEEL
FD	FLOOR DRAIN	STC	SOUND TRANSMISSION CLASS
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FF	FINISHED FLOOR OR FINISHED FACE	STRUCT	STRUCTURAL OR STRUCTURE
FFL	FINISHED FLOOR LEVEL	T	TREAD
FLR	FLOOR	T&G	TOUNGE AND GROOVE
FO	FACE OF	TO	TOP OF
FRT	FIRE RESISTANT TREATED	TOC	TOP OF CONCRETE
GA	Gauge	TOS	TOP OF STEEL
GALV	GALVANIZED	TYP	TYPICAL
GL	GLAZING	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM WALL BOARD	VCT	VINYL COMPOSITION TILE
HC	HOLLOW CORE	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	WD	WOOD
HR	HOUR	WR	WATER RESISTANT
HW	HOT WATER	WSP	WOOD STRUCTURAL PANEL
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	WWM	WOVEN WIRE MESH

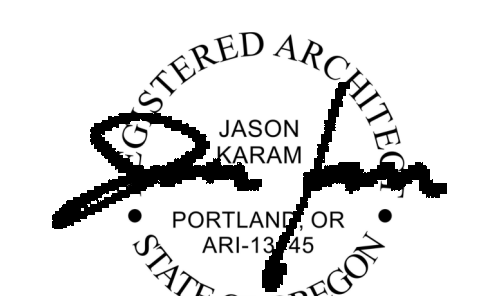
SHEET INDEX

SHEET NUMBER	SHEET NAME
DR0.00	COVER SHEET
DR0.01	EXISTING SITE PLAN
DR1.01	SITE PLAN
DR2.01	FLOOR PLAN
DR3.01	ELEVATIONS
DR3.02	ELEVATIONS
C1.0	PUBLIC IMPROVEMENTS & STORMWATER MANAGEMENT PLAN

DEVELOPMENT REVIEW

NEWBERG SD SAIL PROGRAM CENTER
603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
 PROJECT NO: 22002
 DRAWN BY: Author

COVER SHEET

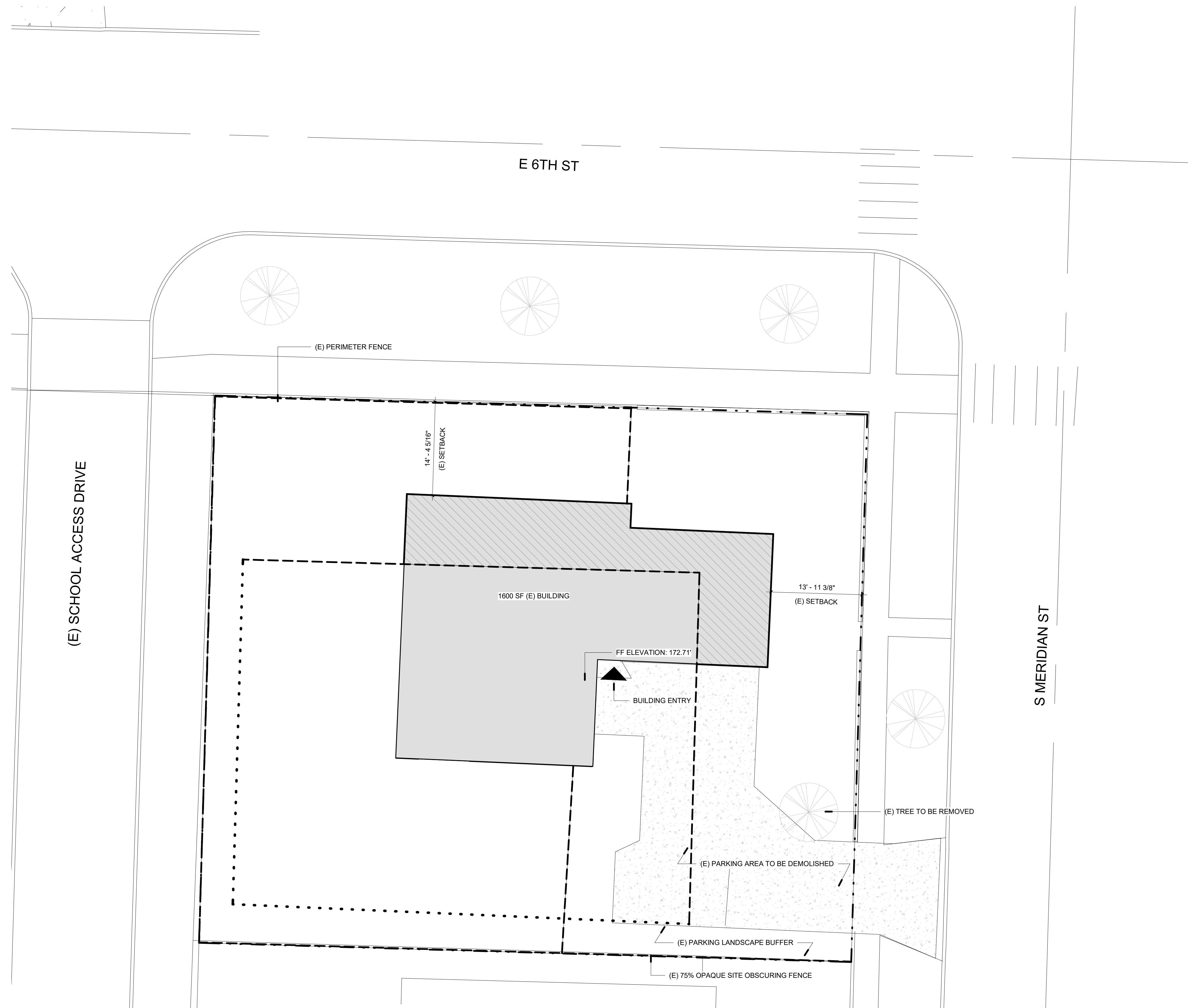
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SITE PLAN NOTES

1. REFERENCE CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL, INCLUDING FINISH ELEVATIONS
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE

SITE PLAN SYMBOL LEGEND

---	PROPERTY LINE		(E) CONCRETE
---	FENCING		(N) CONCRETE
•••••	5' SETBACKS W/ CODE ADJUSTMENT		(E) BUILDING
---	25' SCHOOL SETBACKS		(N) BUILDING
	NEW STREET TREE		GRASS/LANDSCAPE AREA
	EXISTING STREET TREE		(E) NON CONFORMING BUILDING TO SETBACKS



REVISIONS

#	DESCRIPTION	DATE

(E) SCHOOL ACCESS DRIVE

E 6TH ST

S MERIDIAN ST

(E) PERIMETER FENCE

14' - 4 5/16"
(E) SETBACK

1600 SF (E) BUILDING

13' - 11 3/8"
(E) SETBACK

FF ELEVATION: 172.71'

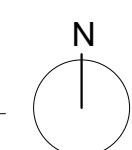
BUILDING ENTRY

(E) TREE TO BE REMOVED

(E) PARKING AREA TO BE DEMOLISHED

(E) PARKING LANDSCAPE BUFFER

(E) 75% OPAQUE SITE OBSCURING FENCE



1 EXISTING ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

DEVELOPMENT REVIEW

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

EXISTING SITE PLAN

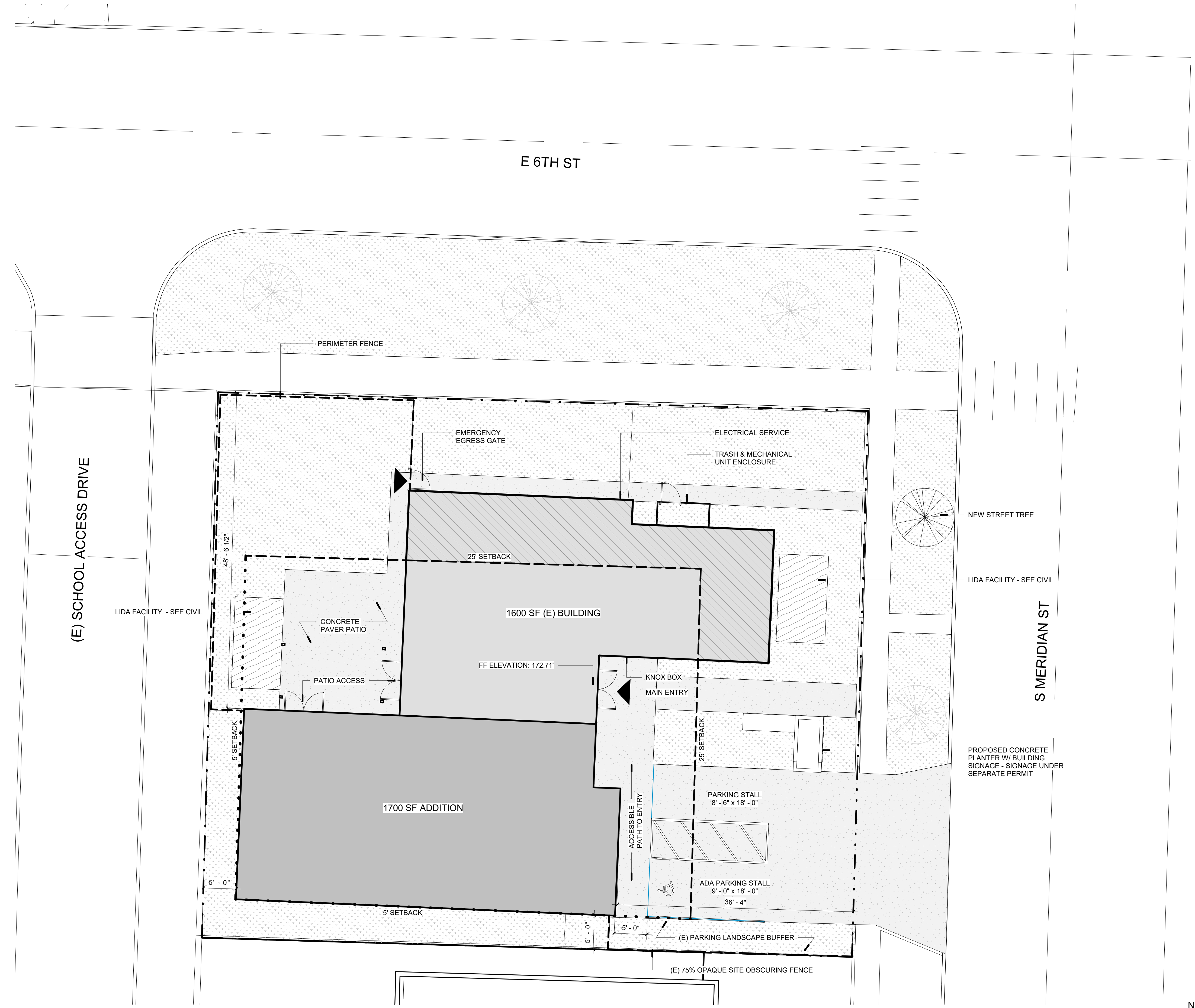
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SITE PLAN NOTES

1. REFERENCE CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL, INCLUDING FINISH ELEVATIONS
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE

SITE PLAN SYMBOL LEGEND

---	PROPERTY LINE	(E) CONCRETE
---	FENCING	(N) CONCRETE
•••••	5' SETBACKS W/ CODE ADJUSTMENT	(E) BUILDING
---	25' SCHOOL SETBACKS	(N) BUILDING
⊗	NEW STREET TREE	GRASS/LANDSCAPE AREA
⊗	EXISTING STREET TREE	(E) NON CONFORMING BUILDING TO SETBACKS



REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER
603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE:	5/17/22
PROJECT NO:	22002
DRAWN BY:	NT

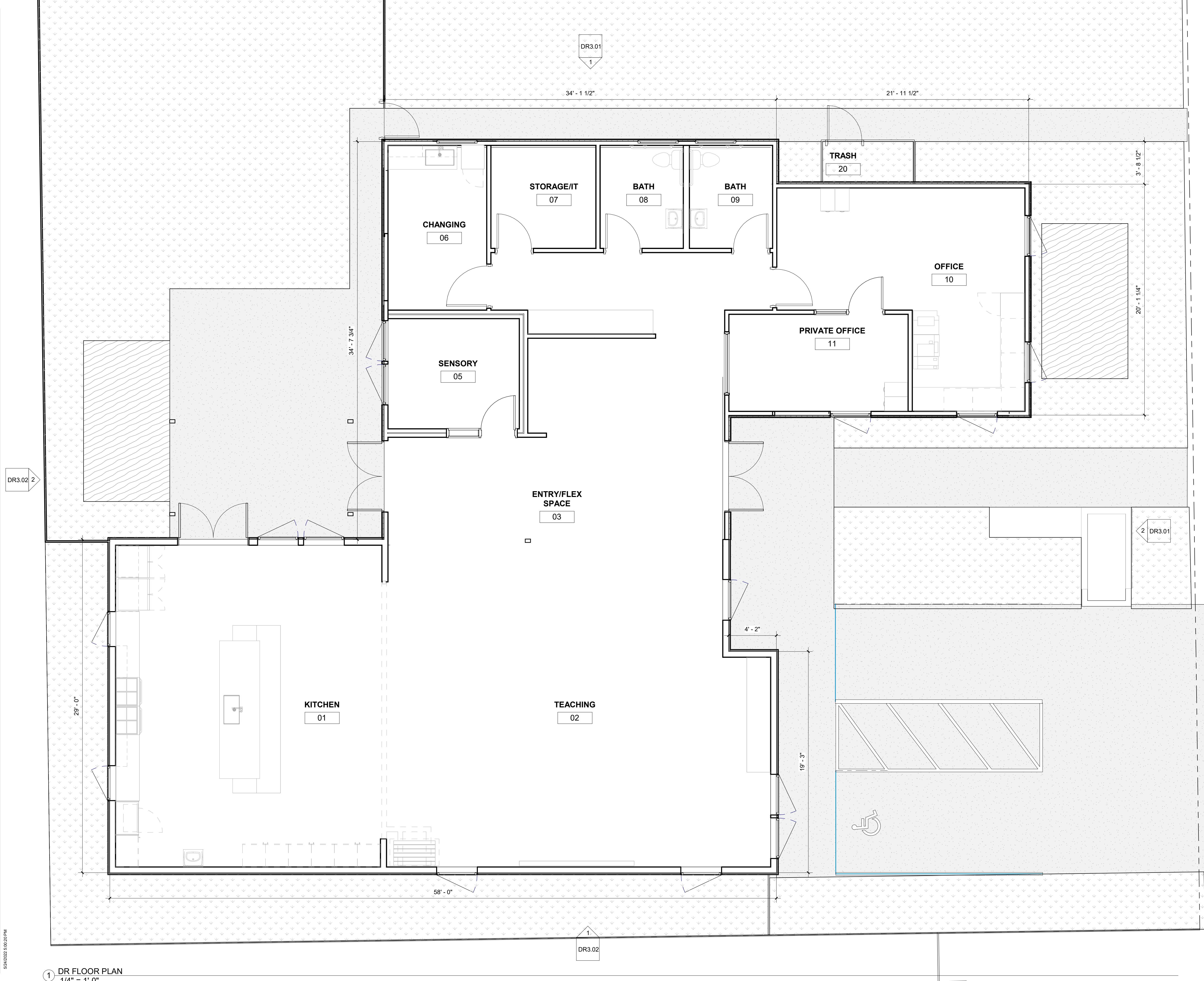
DEVELOPMENT REVIEW

SITE PLAN

DR1.01

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

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REVISIONS

#	DESCRIPTION	DATE
1	DR3.01	
2	DR3.02	

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST., NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

DEVELOPMENT REVIEW

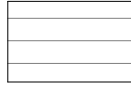


FLOOR PLAN

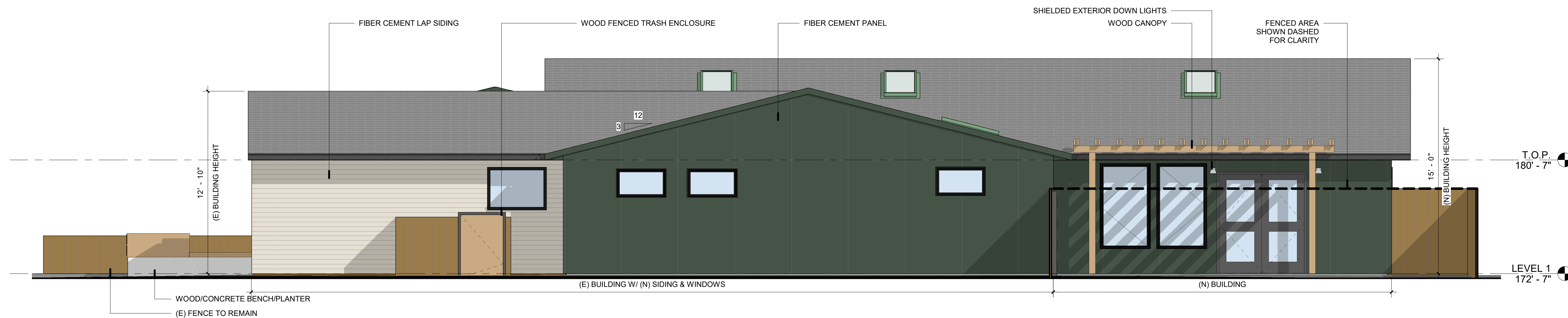
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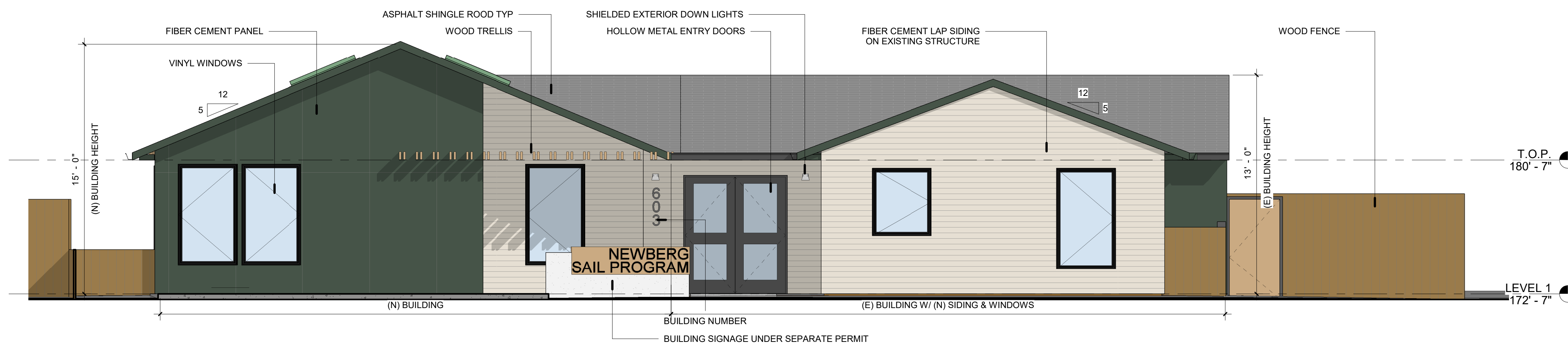
1 DR FLOOR PLAN
1/4" = 1'-0"

EXTERIOR FINISH LEGEND

-  FIBER CEMENT LAP SIDING
-  FIBER CEMENT PANEL SIDING
-  ASPHALT SHINGLE ROOF



① DR ELEVATION - NORTH
1/4" = 1'-0"



② DR ELEVATION - EAST
1/4" = 1'-0"

REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST., NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT

DEVELOPMENT REVIEW

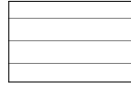




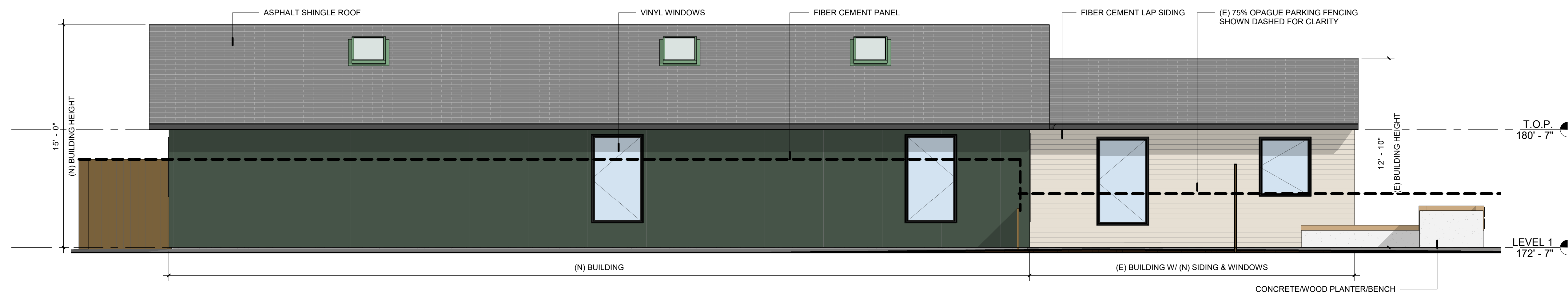
ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

ELEVATIONS

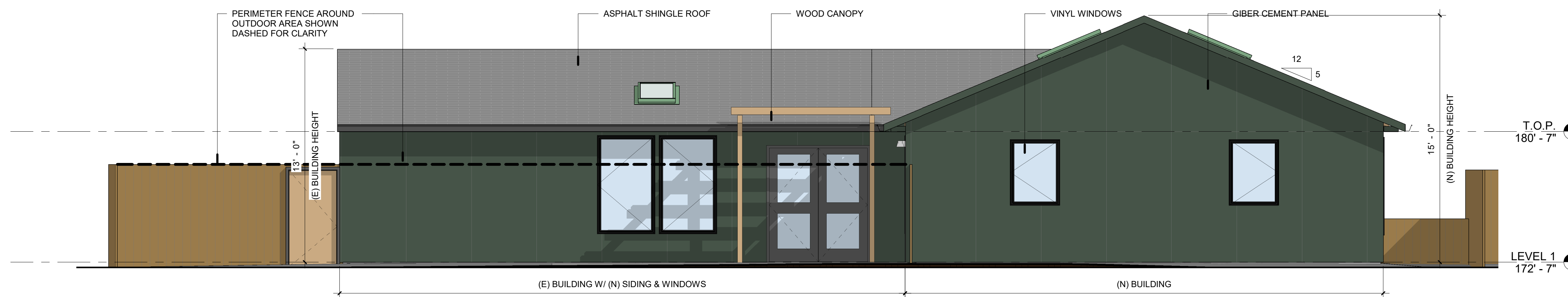
DR3.01

EXTERIOR FINISH LEGEND

-  FIBER CEMENT LAP SIDING
-  FIBER CEMENT PANEL SIDING
-  ASPHALT SHINGLE ROOF



① DR ELEVATION - SOUTH
1/4" = 1'-0"



② DR ELEVATION - WEST
1/4" = 1'-0"

REVISIONS

#	DESCRIPTION	DATE

**NEWBERG SD SAIL
PROGRAM CENTER**

603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

DEVELOPMENT REVIEW

ELEVATIONS

DR3.02

**IMPERVIOUS AREA CALCULATIONS
FOR TAX LOT 800**

EXISTING (SF)	2,838
PROPOSED (SF)	5,154
NET ADDITION (SF)	2,316

LIDA FACILITY A SIZING CALCULATIONS

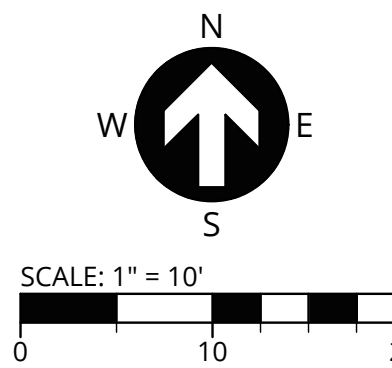
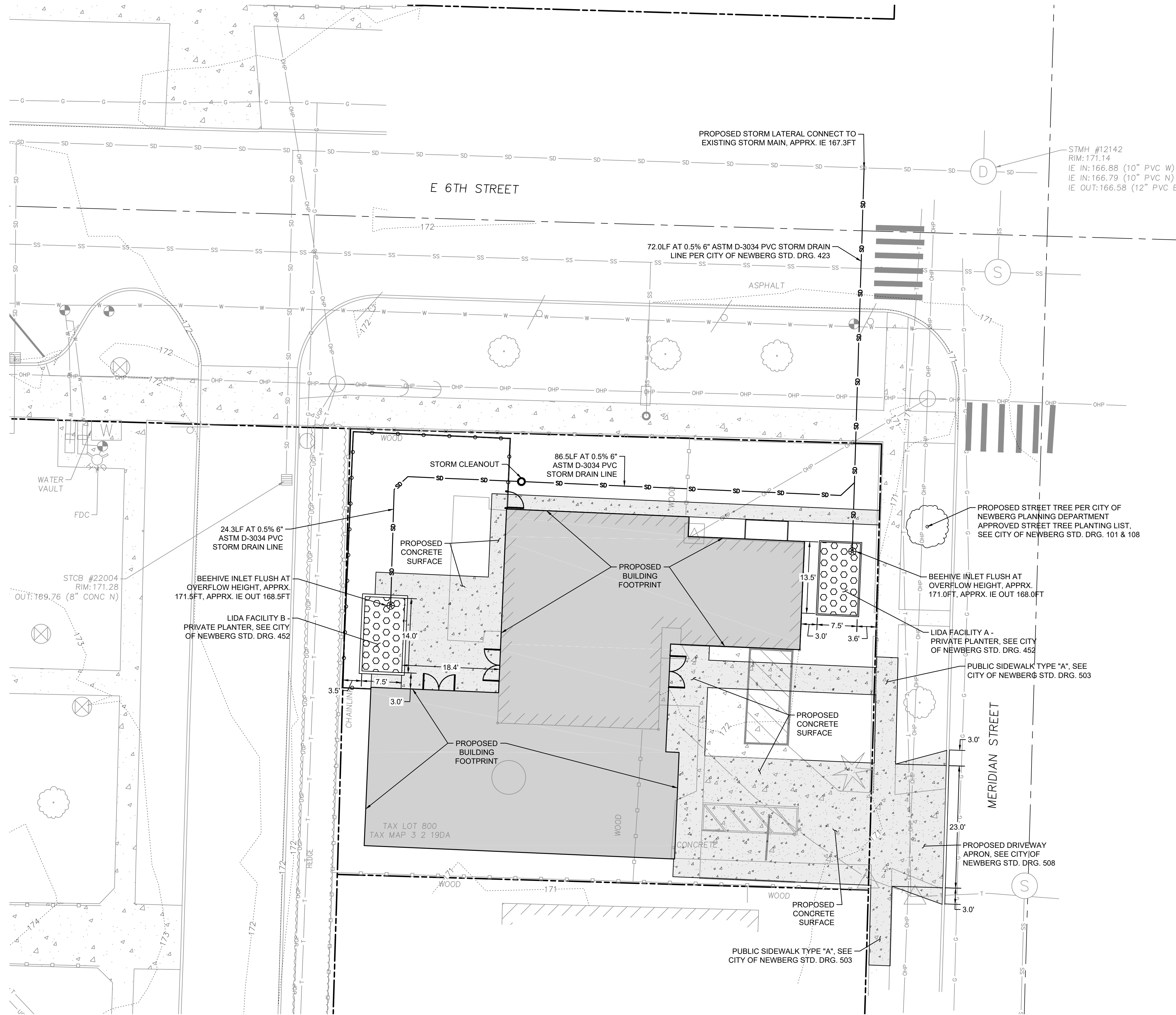
FLOW-THROUGH PLANTER	100 SF
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NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.

LIDA FACILITY B SIZING CALCULATIONS

FLOW-THROUGH PLANTER	105 SF
----------------------	--------

NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.



LEGEND

- PROPOSED CONCRETE
- PROPOSED BUILDING FOOTPRINT
- LIDA PLANTER TREATMENT FOOTPRINT
- PROPOSED STORM PIPE
- PROPOSED BEEHIVE INLET
- PROPOSED STORM CLEANOUT
- PROPOSED STREET TREE

REVISIONS

#	DESCRIPTION	DATE

NEWBERG SAIL PROGRAM PROJECT

NEWBERG, OR

OWNER: NEWBERG SCHOOL DISTRICT

SCHEMATIC DESIGN

ISSUE DATE:	05/24/2022
PROJECT NO.:	22766
DRAWN BY:	TEG, JTE

**PUBLIC IMPROVEMENT
AND STORMWATER
MANAGEMENT PLAN**

C1.0

3J CONSULTING

CIVIL ENGINEERING | WATER RESOURCES | COMMUNITY PLANNING

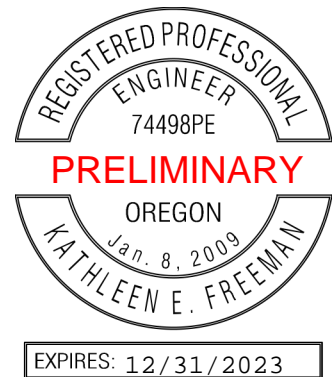
PRELIMINARY
STORMWATER
MANAGEMENT
REPORT

Newberg SAIL
603 S Meridian Street
Newberg, OR

May 24, 2022

Prepared For:

Newberg School District
714 E 6th Street
Newberg, OR 97132



Prepared By:

3J Consulting, Inc.
9600 SW Nimbus Avenue, Suite 100
Beaverton, Oregon 97008
Project No: 22766
KEF

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DESIGNER'S CERTIFICATION & STATEMENT

I hereby certify that this Stormwater Management Plan for the Newberg SAIL project has been prepared by me or under my supervision and meets minimum standards of the City of Newberg and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me.

EXECUTIVE SUMMARY

The Newberg Support, Advocacy for Independent Life (SAIL) project is proposed at 603 S Meridian Street in the City of Newberg, Yamhill County, Oregon (Taxmap ID R3219DA 00800). The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed; Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach on S Meridian Street.

The property has an area of 8,400 sf consisting of a single family residence, concrete driveway and lawn. Roof runoff is conveyed to E 6th Street via a weephole in the curb. The curb line slopes towards the east and is eventually intercepted and conveyed south in S Center Street. There are no upstream areas draining to the property.

The frontage improvements (Offsite Area) encompasses 495 sf. Runoff from the offsite area (driveway approach and sidewalk on S Meridian Street) flows south to a catch basin at the intersection of S Meridian Street and E 7th Street. The catch basin connects to a storm line in E 7th Street conveying runoff east to discharge into the storm line in S Center Street. The storm line in S Center Street conveys flows south where it discharges into a large drainage area that eventually outfalls into Chehalem Creek.

Stormwater runoff will drain to two new flow-through planters for water quality treatment and detention. The planters have been sized using the City's LIDA Sizing Form (Standard Drawing 451) since the increase in impervious area is less than 2,877 sf. The planters will discharge to a new storm line in the northern portion of the property that will connect to the existing storm line in E 6th Street. The preliminary approach follows the City's Facility Selection Hierarchy presented in Section 4.6.8 of the Public Works Design and Construction Standards.

As state above, the proposed development will increase the impervious area by less than 2,877 sf; therefore, a downstream Analysis was not performed.

An Operations & Maintenance Plan will be prepared in conjunction with the Final Stormwater Management Plan.

The purpose of this report is to accomplish the following:

- Describe existing and post-developed basins and drainage;
- Describe the design and analysis of the proposed stormwater management facilities; and,
- Demonstrate compliance with City of Newberg *Public Works Design and Construction Standards* (2015).

PROJECT DESCRIPTION

The Newberg Support, Advocacy for Independent Life (SAIL) project is proposed at 603 S Meridian Street in the City of Newberg, Yamhill County, Oregon (Taxmap ID R3219DA 00800). The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach S Meridian Street.

This report will demonstrate compliance with City of Newberg *Public Works Design and Construction Standards* (2015).

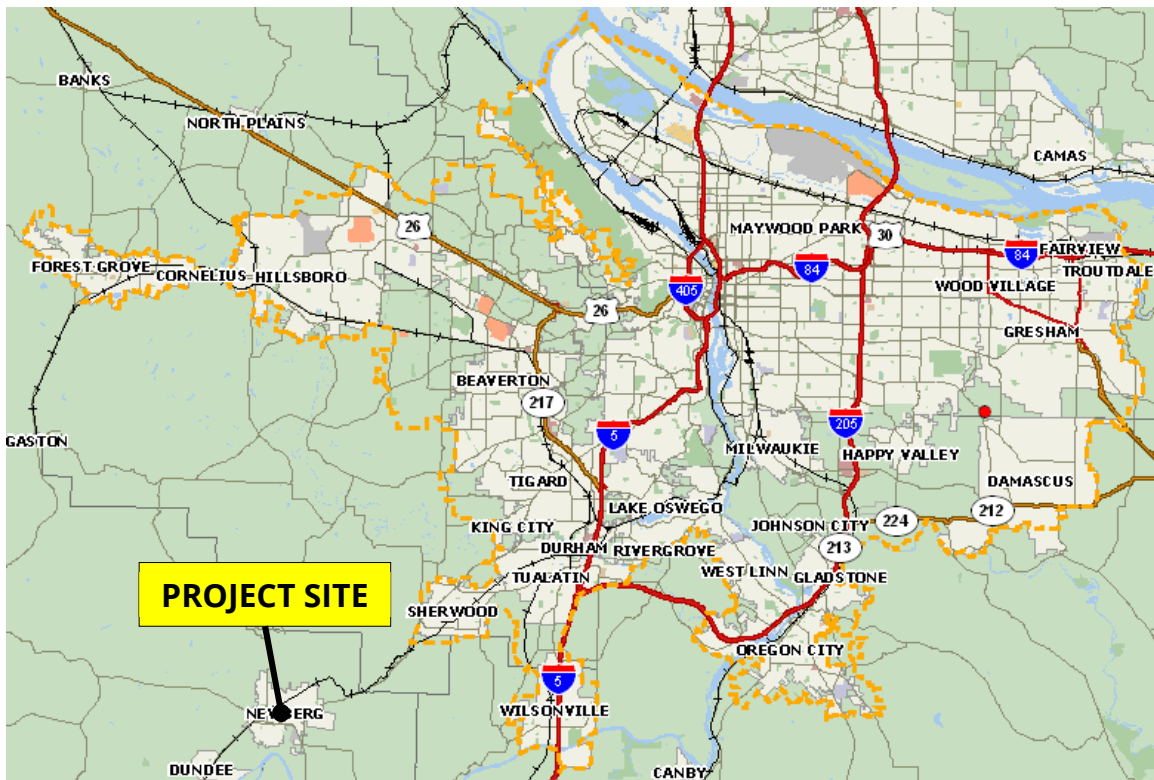


Figure 1 - Vicinity Map

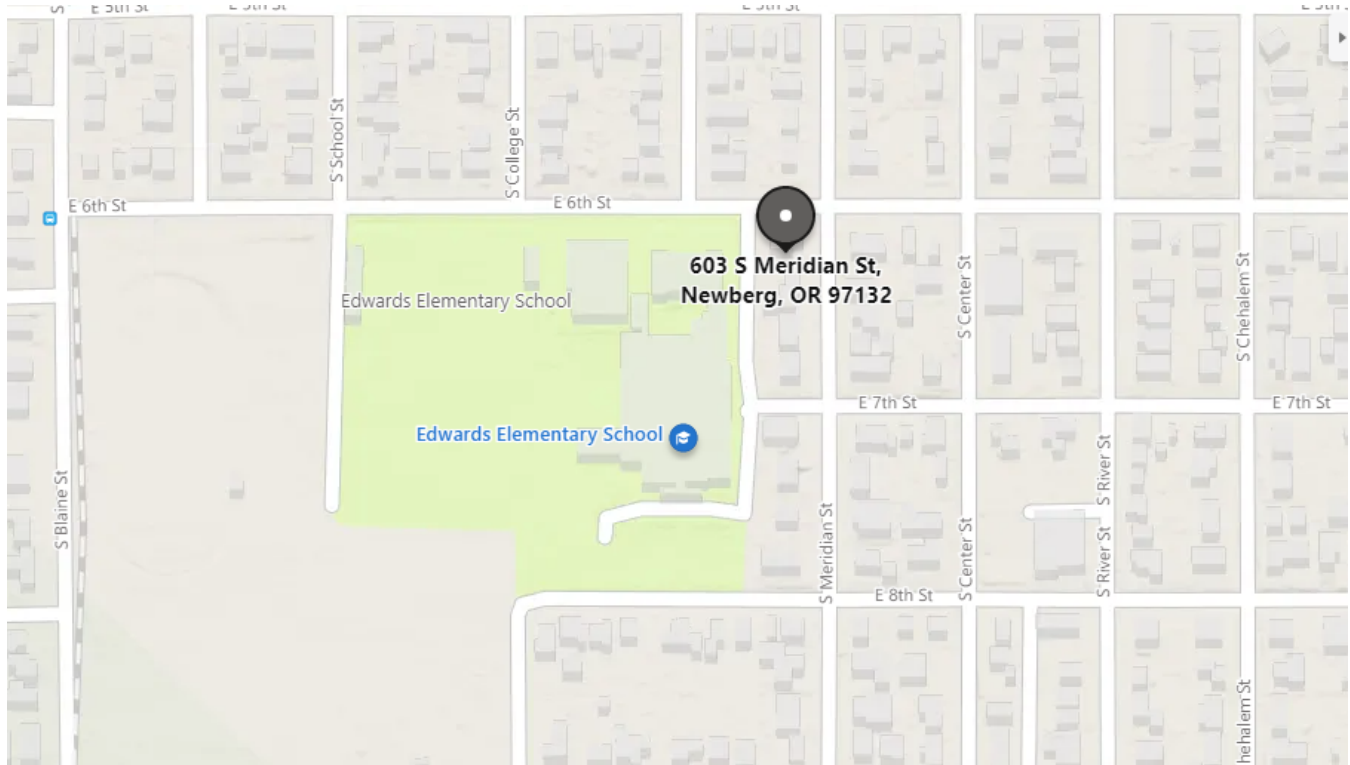


Figure 2 - Site Location

EXISTING CONDITIONS

Site

The existing site consists of a single family residence, concrete driveway and lawn. The existing home will remain. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the new driveway approach S Meridian Street.

Soils & Infiltration

Per USDA Web Soil Survey of Yamhill County, soils underlying the project site consist of Aloha Silt Loam. This type of soil corresponds to hydrologic soil group C/D.

Flood Map

The site is located within Zone X (unshaded) per flood insurance rate map (FIRM) community-panel number 41071C0236D (See Technical Appendix: Exhibits – FIRMette). FEMA's definition of Zone X (un-shaded) is an area of minimal flood hazard.

Drainage

Roof runoff is conveyed to E 6th Street via a weephole in the curb. The curb line slopes towards the east and is eventually intercepted and conveyed south in S Center Street.

Runoff from the offsite area (driveway approach and sidewalk on S Meridian Street) flows south to a catch basin at the intersection of S Meridian Street and E 7th Street. The catch basin connects to a storm line in E 7th Street conveying runoff east to discharge into the storm line in S Center Street.



The storm line in S Center Street conveys flows south where it discharges into a large drainage area that eventually outfalls into Chehalem Creek.

Upstream Basins

There are no upstream basins discharging runoff to the site.

Basin Areas

Table 1 outlines the existing conditions for the site and offsite areas (See Technical Appendix: Exhibits - Existing Conditions).

BASIN	Contributing Basin Areas (sf)		
	Impervious	Pervious	Total
Onsite	2,838	5,562	8,400
Offsite	392	103	495
Total	3,230	5,665	8,895

Table 1 - Basin Areas - Existing Conditions

POST-DEVELOPED CONDITIONS

Site

The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach on S Meridian Street.

Drainage

Runoff from the onsite impervious areas (existing and proposed roof) will be conveyed to two new flow-through planters. The planters will discharge to a new storm line in the northern portion of the property that will connect to the existing storm line in E 6th Street.

Basin Areas

Table 2 outlines the post-developed conditions for the site and offsite areas (See Technical Appendix: Exhibits - Post-Developed Conditions).

BASIN	Contributing Basin Areas (sf)		
	Impervious	Pervious	Total
Onsite	5,154	3,246	8,400
Offsite	495	0	495
Total	5,649	3,246	8,895

Table 2 - Basin Areas - Post-Developed Conditions

The proposed project will increase the impervious area by 2,419 sf.



WATER QUALITY/QUANTITY APPROACHES

Design Guidelines

Per Section 4.9 of the City's Public Works Design and Construction Standards, projects creating less than 2,877 sf of impervious surface, the Low Impact Development Approaches (LIDA) sizing Form may be used.

LIDA Feasibility

Low Impact Development Approaches (LIDA) aims to conserve existing resources, minimize disturbance, minimize soil compaction, minimize imperviousness, and direct runoff from impervious areas onto pervious areas. LIDA should be implemented to the maximum extent practicable. The project will utilize two flow-through planters as the stormwater treatment and detention approach. The required planter size is 145 sf; however, two planters are proposed with a total area of 205 sf. The planters will treat 1,000 sf more of impervious area than required.

The new sidewalks and driveway on the east side of the site cannot be conveyed to the flow-through planters due to grading constraints. However, roof drains from the proposed home addition and the existing home will connect into each of the planters. The total area draining to the planters is 3,100 sf which exceeds the required treatment area by 681 sf.

DOWNSTREAM ANALYSIS

As state above, the proposed development will increase the impervious area by less than 2,877 sf; therefore, a downstream Analysis was not performed.

OPERATIONS & MAINTENANCE

For privately maintained stormwater management facilities, a maintenance plan that clearly identifies maintenance activities and frequency in a form that can be easily provided to and understood by the people responsible for maintenance shall be prepared. An Operations & Maintenance (O&M) Plan will be prepared in conjunction with the Final Stormwater Management Plan. The O&M Plan will include the City Standard Private Facility Maintenance Agreement form and will be submitted to the City for review. Upon approval of the maintenance agreement by the City, the applicant shall record the agreement with Yamhill County and return one fully executed original to the City Records office.

CONCLUSIONS

This report demonstrates that the proposed stormwater management facilities for the Newberg SAIL program will meet or exceed the requirements of the City of Newberg. Water Quality and Quantity will be addressed with two LIDA facilities.

TECHNICAL APPENDIX

Exhibits

- FIRMette
- Hydrologic Soil Group – Yamhill County
- Existing Conditions
- Post-Developed Conditions

Calculations

- City of Newberg LIDA Sizing Form

REFERENCES

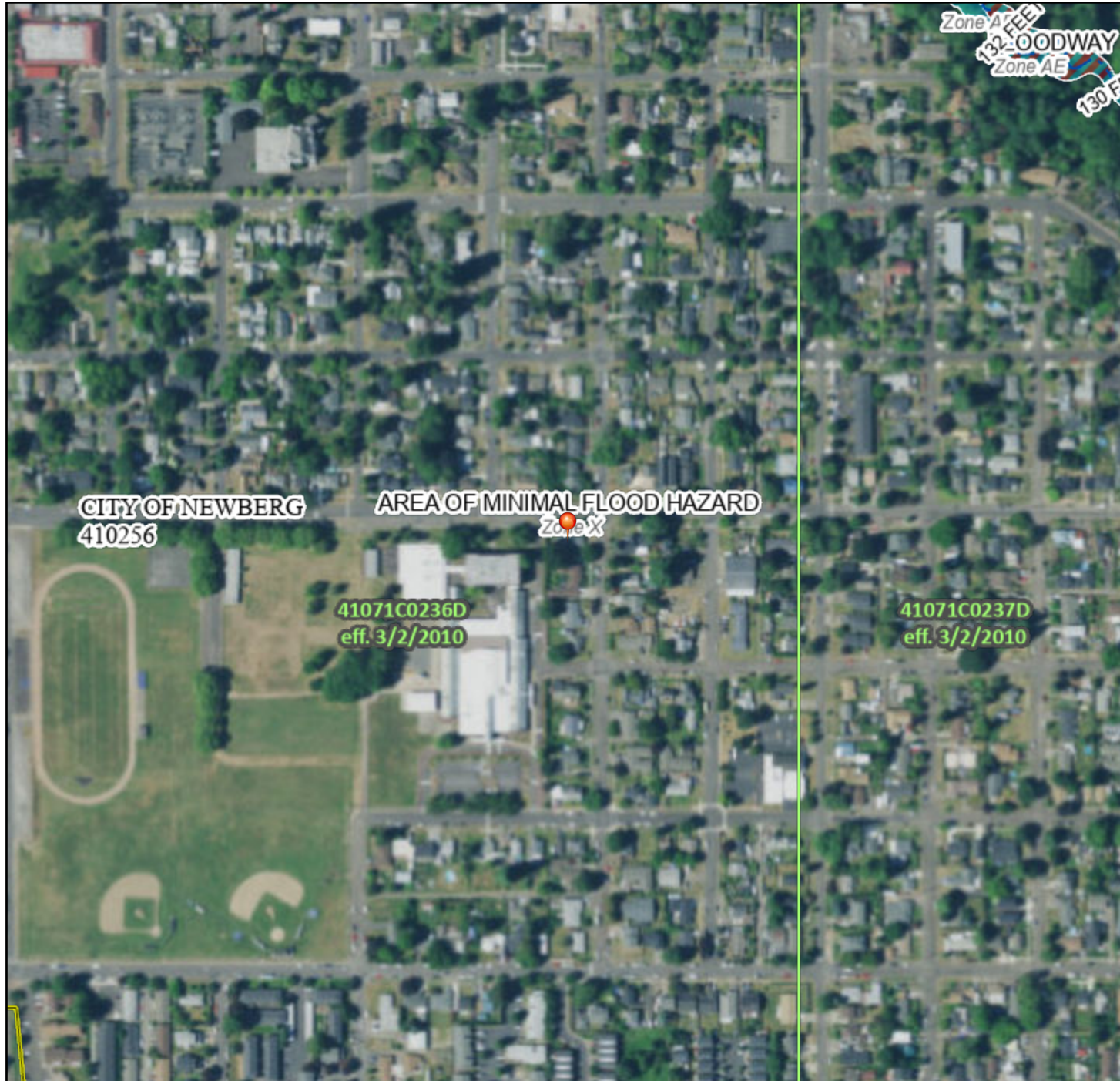
1. *Public Works Design & Construction Standards*. August 2015, City of Newberg

EXHIBITS

National Flood Hazard Layer FIRMette



122°58'34"W 45°17'57"N



122°57'56"W 45°17'32"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/18/2022 at 1:48 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

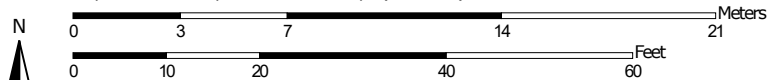
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Hydrologic Soil Group—Yamhill County, Oregon



Soil Map may not be valid at this scale.


Map Scale: 1:247 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Yamhill County, Oregon
 Survey Area Data: Version 10, Oct 27, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 19, 2015—Sep 13, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
2300A	Aloha silt loam, 0 to 3 percent slopes	C/D	0.3	100.0%
Totals for Area of Interest			0.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

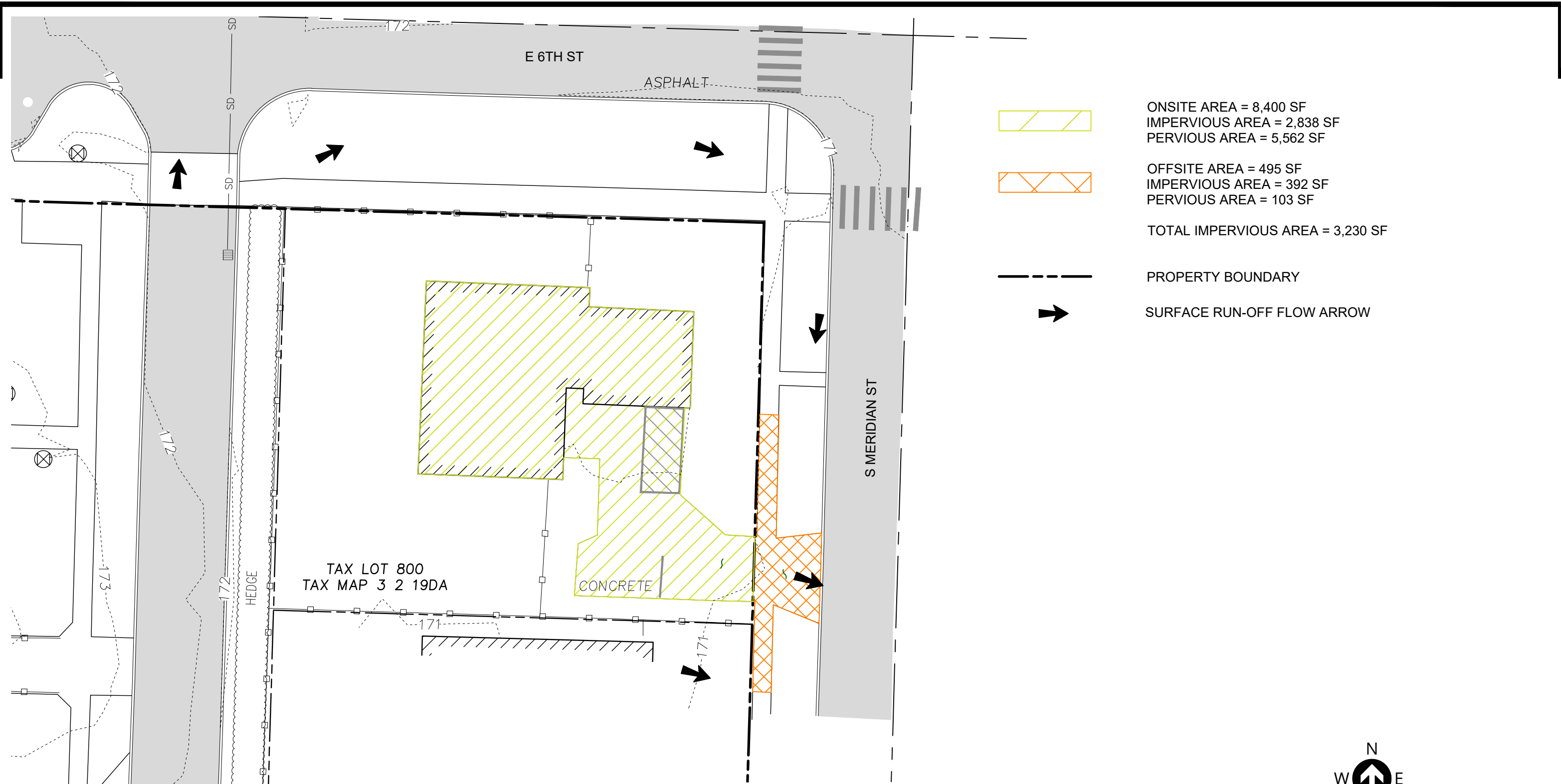
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.





Rating Options

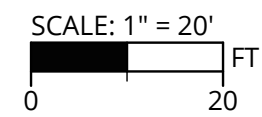
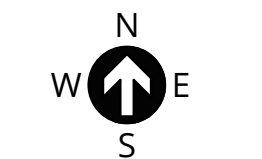
Aggregation Method: Dominant Condition

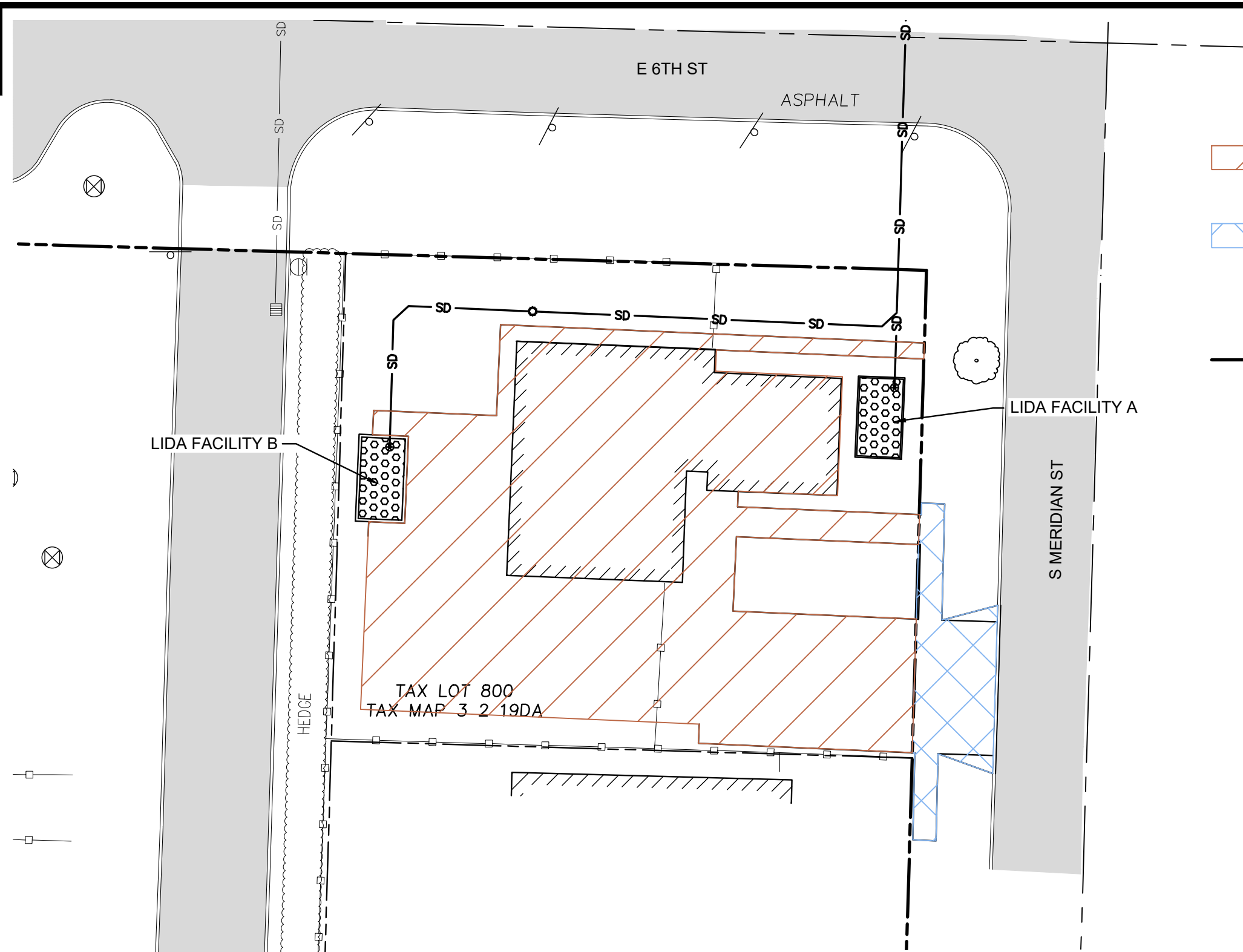
Component Percent Cutoff: None Specified




Tie-break Rule: Higher



-  ONSITE AREA = 8,400 SF
IMPERVIOUS AREA = 2,838 SF
PERVIOUS AREA = 5,562 SF
-  OFFSITE AREA = 495 SF
IMPERVIOUS AREA = 392 SF
PERVIOUS AREA = 103 SF
- TOTAL IMPERVIOUS AREA = 3,230 SF
-  PROPERTY BOUNDARY
-  SURFACE RUN-OFF FLOW ARROW





	ONSITE AREA = 8,400 SF IMPERVIOUS AREA = 5,154 SF PERVIOUS AREA = 3,246 SF
	OFFSITE AREA = 495 IMPERVIOUS AREA = 495 SF PERVIOUS AREA = 0
	TOTAL IMPERVIOUS AREA = 5,649 SF NET INCREASE IN IMPERVIOUS AREA = 2,419 SF
	PROPERTY BOUNDARY

LIDA FACILITY A SIZING CALCULATIONS

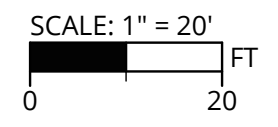
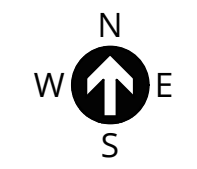
FLOW-THROUGH PLANTER	100 SF
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NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.

LIDA FACILITY B SIZING CALCULATIONS

FLOW-THROUGH PLANTER	105 SF
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NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.



CALCULATIONS

City of Newberg LIDA Sizing Form

(Include this form with plan submittal)

Project Title: Newberg SAIL

Project Address: 603 S Meridian Street

Project Taxlot/ Taxmap#: R3219DA 00800

Project Location: Southwest of the intersection of E 6th Street and S Meridian Street

Contact Name/Title/Company: Kathleen Freeman/Water Resources Project Manager/3J Consulting

Phone/e-mail: 503-946-9365 kathleen.freeman@3j-consulting.com

STEP 1: Determine Impervious Area Requiring Treatment

Total Gross Site Area (acres):	0.2042	Pre. Dev. Impervious Area (ft):	3,230 (X)
Proposed Net New Impervious Area (ft): (PA)= (Y) - (X)	2,419 (PA)	Post Dev. Impervious Area (ft):	5,649 (Y)

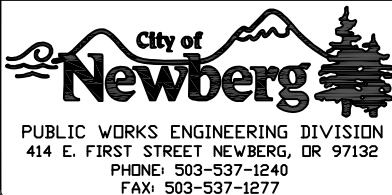
STEP 2: Deduct Impervious Area LIDA Credits

Porous Pavement (sq. ft.):	0 (P)
Green Roof (sq. ft.):	0 (G)
Other Credits as approved (sq. ft.):	0 (O)
Total Credits (sq. ft.): (C)= (P)+(G)+(O)	0 (C)
Impervious Area Requiring Treatment (sq. ft.): (IA)= (PA) - (C)	2,419 (IA)

STEP 3: Size LIDA Facilities for Remaining Impervious Area

	Impervious Area Treated (sq. ft.)	SF, Sizing Factor	LIDA Facility Size (sq. ft.)
Infiltration Planters/ Rain Garden		0.045	
Flow-through Planter	2,419	0.060	145 Required 205 Provided
Public Flow-through Planter		0.060	

Total Impervious Area Treated (sq. ft.)	2,419	MUST BE EQUAL TO (IA)
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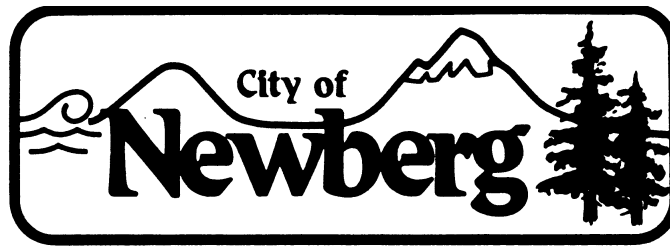
REVISIONS:

LIDA SIZING FORM

SCALE:	N.T.S.
DATE:	MARCH 2014
APPROVED BY:	JAY H.
STANDARD DRAWING	451

Planning & Building.
(503) 537-1240

City Attorney
(503) 537-1206



414 East First St.
PO Box 970
Newberg, OR 97132

July 31, 2007

Newberg School District 29J
714 E. Sixth Street
Newberg, OR 97132

Re: **File # DR1-07-016 & ADJC 07-006**; Conversion of residence to classrooms and code adjustment in regard to setback standards for a school use in a residential zone.

Dear Waide,

The Planning & Building Director has approved your design review and code adjustment application with conditions for the conversion of a single family home to a classroom. The purpose of this letter is to inform you of the approval, design review and code adjustment criteria, conditions of approval, appeal period deadline, and the approval expiration date.

Your plan proposes to convert a single-family residential home for classroom, storage, and office use. This site is within the R-2 Medium Density Residential District, which permits school uses outright. However, the existing home does not conform to the setback standard of the code which requires school buildings in residential zones to be setback 25 feet from all property lines.

Type 1 Design Review criteria:

1. Parking: The proposed site plan illustrates no off street parking on site. You have indicated that the existing two car garage will not be used for parking rather used as an instruction area. However, off street parking is provided at the Newberg School District offices next door at 714 E. Sixth Street therefore meeting parking requirements. A letter submitted by Anne Wylie, Director of Special Programs, indicates that most of the time parking will be off-site at 714 E. Sixth Street. If parking is to occur at 603 S. Meridian, three parking spaces are required. One space is required to be ADA van accessible. Please contact the Building Division for design specifications.
2. Setbacks and general requirements: The building is located on a corner lot at the intersection of Sixth Street and Meridian Street. The building on the site is setback from the front, and interior yards approximately 15 feet and 15 feet, and 32 feet and 29 feet respectively. The building, if used for school use, is non-conforming regarding the front yard setbacks. You have applied for a code adjustment which has been reviewed and approved by the Planning & Building Director.

The curb and sidewalk along Sixth Street a Meridian Street is found to be in good condition. No improvements to the pedestrian system are required at this time. Furthermore, the existing concrete driveway will provide a sufficient on-site pedestrian

walkway connecting to the sidewalk within the public right-of-way along Meridian Street.

An existing storage shed is located in the southwest corner of the lot located approximately 2 feet from the southern property line and 2 feet from the eastern property line. Because this storage building is not being used or maintained for use as a school, the 25 foot setback requirement does not apply. However, the storage shed is required to conform to the 5 foot residential interior yard setback requirements.

3. Landscaping: No additional landscaping has been proposed as part of this plan. Existing landscaping includes blue spruce trees with a rock bed along the south property line between the drive aisle and the neighboring property, several mature trees, several bushes along the north side of the building, and grass lawn on all four sides of the building. If the existing driveway is used for parking, then grass or ground cover plants are required in addition to the existing blue spruce trees in the landscape strip along the southern property line.

One existing street tree is located along the Sixth Street right of way. No street trees exist along the Meridian Street right of way abutting this property. As a condition of approval street trees are required to be placed along Sixth Street and Meridian Street approximately 35-40 feet on center. The type of tree used should be chosen from the City's preferred street tree list.

4. Signs: No signs are proposed at this time. Any future signs on the site will require a sign permit application to be submitted to the Planning & Building Department.
5. Lighting: No lighting has been illustrated on the proposed plan. However, upon site inspection there are existing flood lights located on the west side of the home. As a condition of approval light calculations are required to be submitted illustrating that any existing or additional exterior lighting does not exceed more than 0.5 foot candles at the property line.
6. Zoning district compliance: The building located at 603 S. Meridian Street is within the R-2 Medium Density Residential District. School uses are permitted outright.

Type 1 Code Adjustment criteria:

The Development Code requires all school buildings to be setback 25 feet from all property lines. The existing building has interior yard setbacks of 32 and 29 feet. Regarding the front yards, the setbacks are approximately 15 from both the southern property line along Sixth Street and the western property line along Meridian Street.

The general purpose of the 25 foot setback requirement is to provide an adequate buffer between residential uses and typically more intense uses that are allowed in residential zones (schools, churches, etc.). Based on applicable criteria the Director may approve an adjustment to front yard setbacks up to 25 percent of the dimensional standard (in this case 18.75 feet).

For approval of a front yard setback adjustment the Director must find that approval will result in the following; more efficient use of the site; preservation of natural features, where appropriate; and adequate provisions of light, air and privacy to adjoining properties.

1. Front yard setback adjustment up to 25 percent of dimensional standards: Under this provision the maximum setback adjustment that can be made is 18.75 feet. Because the setback requirement is intended to protect neighboring properties it is found that setback adjustment approval is valid based upon the following;
 - The setback along Meridian is 15 feet however the neighboring property line is across Meridian Street, about 75 feet away. It is found that the existing setback plus the street distance (90 feet total) is an adequate buffer to meet this criterion.
 - The setback along Sixth is 15 feet while the neighboring property line is across Sixth Street, about 75 feet away. It is found that the existing setback plus the street distance (90 feet total) is an adequate buffer to meet this criterion.
2. More efficient use of the site: By approving the setback and subsequently approving the change of occupancy of the single-family home to school functions, it is found that the site will be used more efficiently. Greater efficiency is exhibited through the use of an existing building and open space for educational purposes.
3. Preservation of natural features, where appropriate: Existing natural features worth noting are two mature oak trees, and one mature lilac tree in the public right of way along Sixth Street. The plan proposal does not indicate that any of these natural features will be removed.
4. Adequate provisions of light, air and privacy to adjoining properties: It is found that light, air, and privacy of adjoining properties will not be affected by adjusting the front yard setback requirements. As mentioned previously the interior yard setbacks conform to the requirements, while the existing front yard setbacks are adequate due to the distance to the neighbors across the streets.

Your application meets the design review and code adjustment criteria and is therefore approved, with the following conditions:

1. **Submit a revised landscape plan illustrating the type and location of required street trees.**
2. **For any proposed parking, please provide a revised parking plan.**
3. **For any exterior lighting, submit calculations illustrating that exterior light will not exceed 0.5 foot candles at the property line, or shield or remove the existing flood light.**

Note: The conditions of approval must be completed before occupancy will be granted.

As outlined in the Newberg Development Code, you can appeal this decision to the Planning Commission within 14 calendar days. The appeal period will expire at 5:00 PM on August 14, 2007. Appeals must be in writing on a form provided by the Planning Division and accompanied by the required fee of \$315. If you appeal this decision, the Planning Division will provide you with specific requirements for public notices.

Design Review approval is only valid for one year and expires July 31, 2008. If building or construction permits are not issued within this time period, then design review approval becomes null and void and no construction may take place. If design review approval on your project is approaching its expiration date, contact the Planning & Building Department regarding extension opportunities.

Please note that a building permit application must be submitted, approved, and issued before any construction or remodeling takes place. If you have any questions please contact me at (503) 554-7728 or at luke.pelz@ci.newberg.or.us.

Regards,

Luke Pelz
Assistant Planner



320 Church St. NE, Salem, OR 97301
PHONE (503)581-1431 FAX (503)364-8716

To: Newberg School District
714 E 6th St
Newberg, OR 97132

Date: June 8, 2022
Order No. 546830AM
Reference: 603 S Meridian St
Newberg, OR 97132

Your File No.: 603 S Meridian St.,
Newberg, OR 97132

We have enclosed our Status of Record Title (SORT) Report pertaining to order number 546830AM.

Thank you for the opportunity to serve you. Your business is appreciated!

If you have any questions or need further assistance, please do not hesitate to contact your Title Officer listed below.

Sincerely,

Danica Galindo

danica.galindo@amerititle.com
Title Officer

NOTICE: Please be aware that, due to the conflict between federal and state laws concerning the legality of the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving land that is associated with these activities.



320 Church St. NE, Salem, OR 97301
PHONE (503)581-1431 FAX (503)364-8716

STATUS OF RECORD TITLE

Newberg School District
714 E 6th St
Newberg, OR 97132

June 8, 2022
Title Number: 546830AM
Title Officer: Danica Galindo
Fee: \$200.00

Your Reference No. 603 S Meridian St., Newberg, OR
97132

We have searched the status of record title as to the following described property:

The North 84 feet of Lots 1, 2, 3 and 4 in Block 41 of EDWARDS ADDITION to the City of Newberg, in Yamhill County, Oregon.

Vestee:

Newberg School District 29J

and dated as of **June 7, 2022** at 7:30 a.m.

Said property is subject to the following on record matters:

1. [Taxes](#) assessed under Code No. 29.0 Account No. 55433 [Map](#) No. R3219DA 00800, including the current fiscal year, not assessed because of Exempt School Improved Exemption. If the exempt status is terminated an additional tax may be levied.
2. City liens, if any, of the City of Newberg.
(No inquiry has been made. If no search is requested, this exception will remain in the policy. A charge of \$25.00 per account will be added if a search is requested)
3. The property lies within and is subject to the levies and assessments of the Yamhill Soil and Water Conservation District.
4. Right, title and interest of the public in and to those portions of the Land lying within roads, streets or highways.
5. Personal property taxes, if any.
6. Rights of tenants under existing leases or tenancies.

NOTE: Any map or sketch enclosed as an attachment herewith is furnished for information purposes only to assist in property location with reference to streets and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.

THIS IS NOT A TITLE REPORT, A COMMITMENT TO ISSUE TITLE INSURANCE OR A GUARANTEE OF ANY KIND. No liability is assumed with this report. The fee charged for this service does not include supplemental reports or other services. Further dissemination of the information in this report in a form purporting to insure title to the herein described land is prohibited by law.

"Superior Service with Commitment and Respect for Customers and Employees"



29.0

8TH

7TH

ST

ST

ST

ST

ST

ST

COLLEGE

MERIDIAN

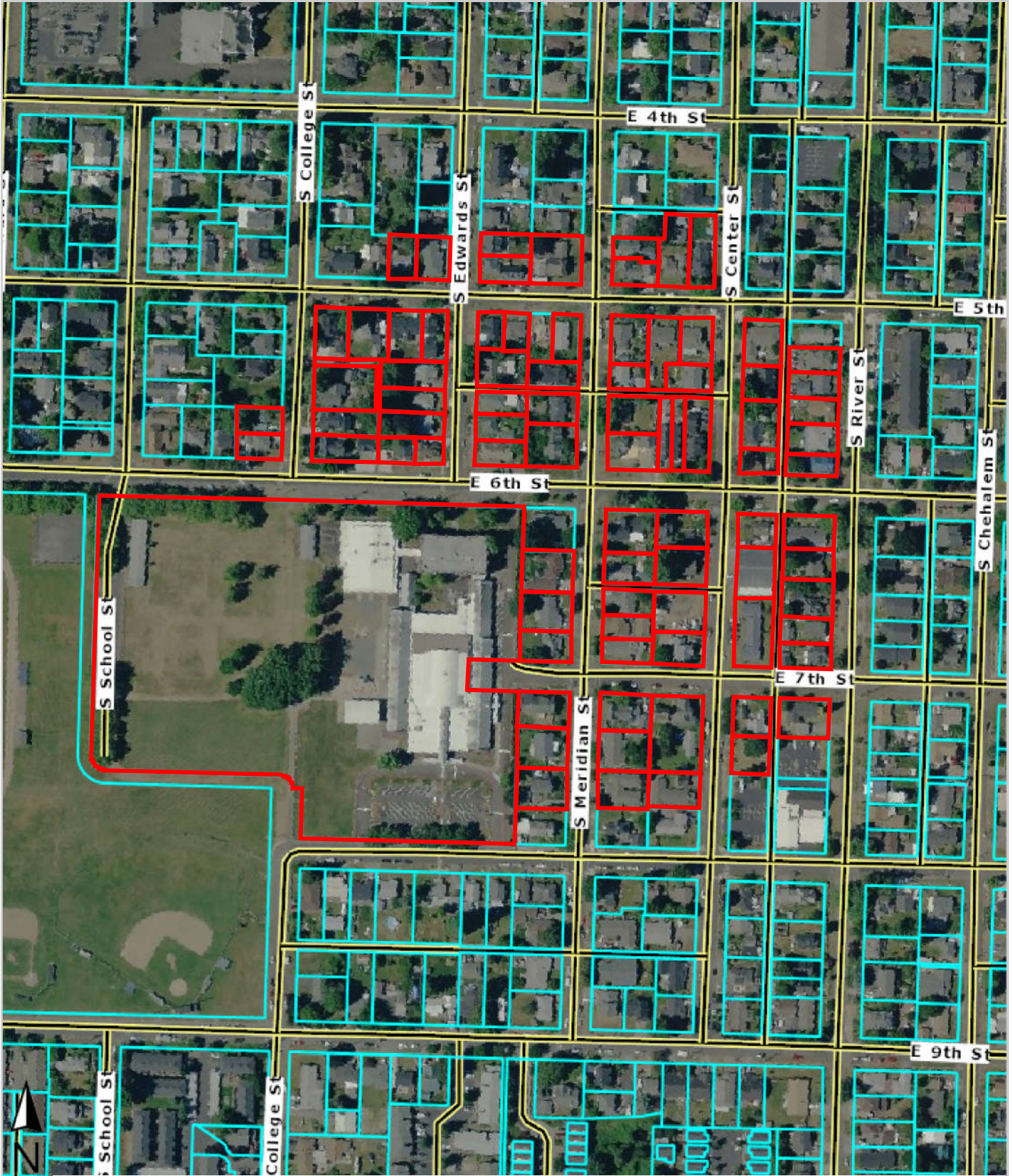
CENTER

SEE MAP 3 2 20CB



603 S Meridian St
Newberg, OR 97132

THIS MAP IS FURNISHED AS AN ACCOMMODATION STRICTLY FOR THE PURPOSES OF GENERALLY LOCATING THE LAND. IT DOES NOT REPRESENT A SURVEY OF THE LAND OR IMPLY ANY REPRESENTATIONS AS TO THE SIZE, AREA OR ANY OTHER FACTS RELATED TO THE LAND SHOWN THEREOF



This map/plat is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

R3219DA01601
Jacob Cox
Lisa Cox
714 S Meridian St
Newberg OR 97132

R3220CB02601
James Highley III
619 S River St
Newberg OR 97132

R3219AD09499
Jeffrey Coats
Dayna Coats
700 E 5th St
Newberg OR 97132

R3220BC07601
Christopher Bradshaw
Venessa Bradshaw
512 S Center St
Newberg OR 97132

R3219AD04700
Sherry Devoe
713 E 5th St
Newberg OR 97132

R3219AD04800
Billy Wood
Kathleen Wood
419 S Edwards St
Newberg OR 97132

R3219AD07201
Ryan Forbes
Emily Forbes
913 E 6th St
Newberg OR 97132

R3219AD05500
Eaa Holdings LLC
1508 N Madison St
Lafayette OR 97127

R3219AD05600
Jonathan Koertzen
Jennifer Koertzen
420 S Edwards St
Newberg OR 97132

R3219AD05700
David Todd Construction LLC
Lone Oak Builders LLC
PO Box 461
Newberg OR 97132

R3219AD06400
Steven Guest
22755 Maplewood
Mission Viejo CA 92692

R3219AD06500
Robert Maslen
Valerie Maslen
PO Box 193
Dundee OR 97115

R3219AD06600
Brian Risse
Courtney Risse
915 E 5th St
Newberg OR 97132

R3219AD06401
Craig Abrahamson
Dana Abrahamson
420 S Meridian St
Newberg OR 97132

R3219AD06900
Diane Beebe
PO Box 1182
Newberg OR 97132

R3219AD07000
Patricia Hansen
914 E 5th St
Newberg OR 97132

R3219AD07100
Joel Bock
Cherice Bock
1536 E 3rd St Unit 24
Newberg OR 97132

R3219AD07200
Samuel Henoeh
907 E 6th St
Newberg OR 97132

R3219AD07300
Caroline Aust
520 S Meridian St
Newberg OR 97132

R3219AD07400
Georgia Thurman
Pauline Wilkinson
Attn: Thurman Irene 1705 Carol
Ann Dr
Newberg OR 97132

R3219AD07500
Kimberly Kennison
510 S Meridian St
Newberg OR 97132

R3219AD07600
Kevin Paulin
Cynthia Paulin
467 Sunridge Dr
Jerome ID 83338

R3219AD07800
Artemio Chavez
509 S Meridian St
Newberg OR 97132

R3219AD07900
Marlene Wirtanen
3309 SW Idaho St
Portland OR 97239

R3219AD08000
Anthony Schwisow
521 S Meridian St
Newberg OR 97132

R3219AD08100
McShane Rebecca A Trustee For
803 E 6th St
Newberg OR 97132

R3219AD08200
North Jerri L
516 S Edwards St
Newberg OR 97132

R3219AD08300
Roger Erb
Marolyn Erb
514 S Edwards St
Newberg OR 97132

R3219AD08400
Victor Abramson
Christine Abramson
508 S Edwards St
Newberg OR 97132

R3219AD08500
5th & Edwards LLC
9169 W State St #2235
Garden City ID 83714

R3219AD09301
Olson Stephen & Molly Living Trust
516 S College St
Newberg OR 97132

R3219AD08600
Monte Suran
9660 SW Sixth Ave
Portland OR 97219

R3219AD08700
Zachary Olson
Bethany Olson
712 E 5th St
Newberg OR 97132

R3219AD08800
Matthew Powell
Renee Powell
503 S Edwards St
Newberg OR 97132

R3219AD08900
James Williams
Kayleen Williams
509 S Edwards St
Newberg OR 97132

R3219DA00201
Jacob Ramirez
PO Box 83
Dundee OR 97115

R3219AD09000
William Swonger
513 S Edwards St
Newberg OR 97132

R3219AD09100
Carol Zlab
515 S Edwards St
Newberg OR 97132

R3219AD09200
Brittany Hazel
Kendall Hazel
715 E 6th St
Newberg OR 97132

R3219AD09300
Michael Griffiths
520 S College St
Newberg OR 97132

R3219AD09400
James Morehead
Donna Morehead
512 S College St
Newberg OR 97132

R3219AD09500
700 E 5th St LLC
5021 Ripley Ln N Unit 105
Renton WA 98056

R3219AD09600
Lloyd Brandt
Betty Brandt
706 E 5th St
Newberg OR 97132

R3219AD10100
Lisa Rogers
Richard Rogers
519 S College St
Newberg OR 97132

R3219AD10200
Tu Vo
619 E 6th St
Newberg OR 97132

R3219DA00100
Guedner Family LLC
3887 Oak Meadows Lp
Newberg OR 97132

R3219DA00101
Denise Guedon
912 E 6th St
Newberg OR 97132

R3219DA00200
Forrest D Reinhardt
Susan D Reinhardt
621 S Center St
Newberg OR 97132

R3219DA00300
Israel Allen
111 E 8th St
Newberg OR 97132

R3219DA00400
Dexter Kincaid
614 S Meridian St
Newberg OR 97132

R3219DA00500
Joel Perez
Jennifer Perez
610 S Meridian St
Newberg OR 97132

R3219DA00600
Carol Buche
608 S Meridian St
Newberg OR 97132

R3219DA00700
Victoria Yu
Alan Yu
902 E 6th St
Newberg OR 97132

R3219DA00900
Stephen Boyles
607 S Meridian St
Newberg OR 97132

R3219DA01000
Keith Reeser
Tahnee Reeser
617 S Meridian St
Newberg OR 97132

R3219DA01100
Troy Kronewitter
Laura Kronewitter
621 S Meridian St
Newberg OR 97132

R3219DA01200
William Hicks
Lindsey Hicks
701 S Meridian St
Newberg OR 97132

R3219DA01300
Authur Rodriguez IV
Sarah Sand
709 S Meridian St
Newberg OR 97132

R3219DA01400
Gerardo Serrano
Kristina Mayorga
715 S Meridian St
Newberg OR 97132

R3219DA01700
Blake Estep
Kara Estep
704 S Meridian St
Newberg OR 97132

R3219DA01800
Corey Sabroe
Leigh Sabroe
902 E 7th St
Newberg OR 97132

R3219DA01900
Jose Perez
4205 SE Riverside Lp
McMinnville OR 97128

R3219DA02001
Norman Woolen
Steffanie Woolen
1705 Gemini St
Newberg OR 97132

R3219DA04200
School District No 29
535 NE 5th St
McMinnville OR 97128

R3220BC07001
Ivan Soppe-Navetta
505 S River St
Newberg OR 97132

R3220BC07100
Warren Norquist
Patricia Norquist
9685 S Kraxberger Rd
Canby OR 97013

R3220BC07101
Philip Gravatt
515 S River St
Newberg OR 97132

R3220BC07200
James Chogyoji
Dana Chogyoji
519 S River St
Newberg OR 97132

R3220BC07300
Andrew Stocks
Amanda Case
521 S River St
Newberg OR 97132

R3220BC07400
Nikylan Malmberg
Kristina Malmberg
520 S Center St
Newberg OR 97132

R3220BC07500
Elizabeth Hannaford
Ryan Hannaford
315 E Sherman St
Newberg OR 97132

R3220BC07600
Katherine Bouvia
1000 E 5th St
Newberg OR 97132

R3220CB02300
Jeffrey Morris
Rachel Morris
909 SE Maple St
Dundee OR 97115

R3220CB02400
Douglas Willmschen
605 S River St
Newberg OR 97132

R3220CB02500
Deborah Flensburg
615 S River St
Newberg OR 97132

R3220CB02600
Darren Miller
621 S River St
Newberg OR 97132

R3220CB02800
John Reinhardt
Hall Peggy Trustees For
1130 NE 28th St
McMinnville OR 97128

R3220CB02900
Jacob Ramirez
3759 3rd St
Hubbard OR 97032

R3220CB03000
Daniel Noll
Kathleen Noll
1002 E 6th St
Newberg OR 97132

R3220CB03100
Church Of God
715 S River St
Newberg OR 97132

R3220CB03101
Isaac Garman
Janelle Garman
1008 E 7th St
Newberg OR 97132

R3220CB03500
Ronald Pettijohn
PO Box 951
Sherwood OR 97140

R3219AD09201
Jeffrey Lee
Kathryn Vanhook
7506 SE Raymond St
Portland OR 97206

R3219AD07202
Jeffrey Hartley
Emily Hartley
47 Eagle Crest Dr Unit 48
Lake Oswego OR 97035

R3219AD07701
Gabrielle Guedon
Denise Guedon
501 S Meridian St
Newberg OR 97132

Attachment 2: Agency Comments



COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL

REFERRAL TO: Building Official: Brooks Bateman

The enclosed material has been referred to you for your information and comment. Any comments you wish to make should be returned to the Community Development Department prior to: July 26, 2022. Please refer questions and comments to Ashley Smith.

NOTE: Full size plans are available at the Community Development Department Office.

APPLICANT: Process Design, LLC- on behalf of the Newberg School District

REQUEST: Proposing an Addition & Renovation to an existing SF Structure to house a school program

SITE ADDRESS: 603 S. Meridian St

LOCATION: N/A

TAX LOT: R3219DA 00800

FILE NO: DR222-0007 & ADJC22-0004


ZONE: R-2 (Medium Density Residential)

HEARING DATE: N/A



The Information is attached

- Reviewed, no conflict.
- Reviewed; recommend denial for the following reasons:
- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)



 Reviewed By:

7.14.22

 Date:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

REFERRAL TO: Community Development Director: Doug Rux

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LOCATION: N/A

TAX LOT: R3219DA 00800

FILE NO: DR222-0007 & ADJC22-0004


ZONE: R-2 (Medium Density Residential)

HEARING DATE: N/A



The Information is attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)



Reviewed By:

7/21/22

Date:



COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL

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TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



Project Information is Attached

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- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)

B Davis
Reviewed By:

7-18-22
Date:

Finance
Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



Project Information is Attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)

Jeff Kosmicki
Digitally signed by Jeff Kosmicki
DN: O=Chief of Police, CN=Jeff Kosmicki, E=jeff.kosmicki@newbergoregon.gov
Reason: I am the author of this document
Location: your signing location here
Date: 2022.07.12 09:46:11 -07'00'
Foxit PhantomPDF Version: 10.1.7

7/12/22

Reviewed By:

Date:

NDPD

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



7/12/22

Project Information is Attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)

Reviewed By: _____

Date: _____

Organization: _____



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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SITE ADDRESS: 603 S. Meridian St
LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A

Project Information is Attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)

Reviewed By:

Date:

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



Project Information is Attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)

Russ Thomas
Digitally signed by Russ Thomas
DN: c=US, ou=Public Works Director, o=City of Newberg, cn=Russ Thomas,
email=russ.thomas@newbergoregon.gov,
Reason: I am approving this document
Location: your signing location here
Date: 2022.07.13 12:53:00-0700
Foxit PhantomPDF Version: 10.1.7

7/13/22

Reviewed By:

Public Works Director - City of Newberg
Organization:

Date:

Appears that they may be adding a commercial or Institutional kitchen, which may require a grease trap or interceptor



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



7/12/22

Project Information is Attached

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- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)



Reviewed By:

7/12/22
Date:

City of Newberg

Organization:



COMMUNITY DEVELOPMENT
LAND USE APPLICATION REFERRAL

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SITE ADDRESS: 603 S. Meridian St
LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A

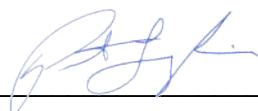


7/11/22

Project Information is Attached

- Reviewed, no conflict.
- Reviewed; recommend denial for the following reasons:
- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)

See Pg C1.0



Reviewed By:

7/11/22
Date:

Maintenance Superintendent

Organization:

**IMPERVIOUS AREA CALCULATIONS
FOR TAX LOT 800**

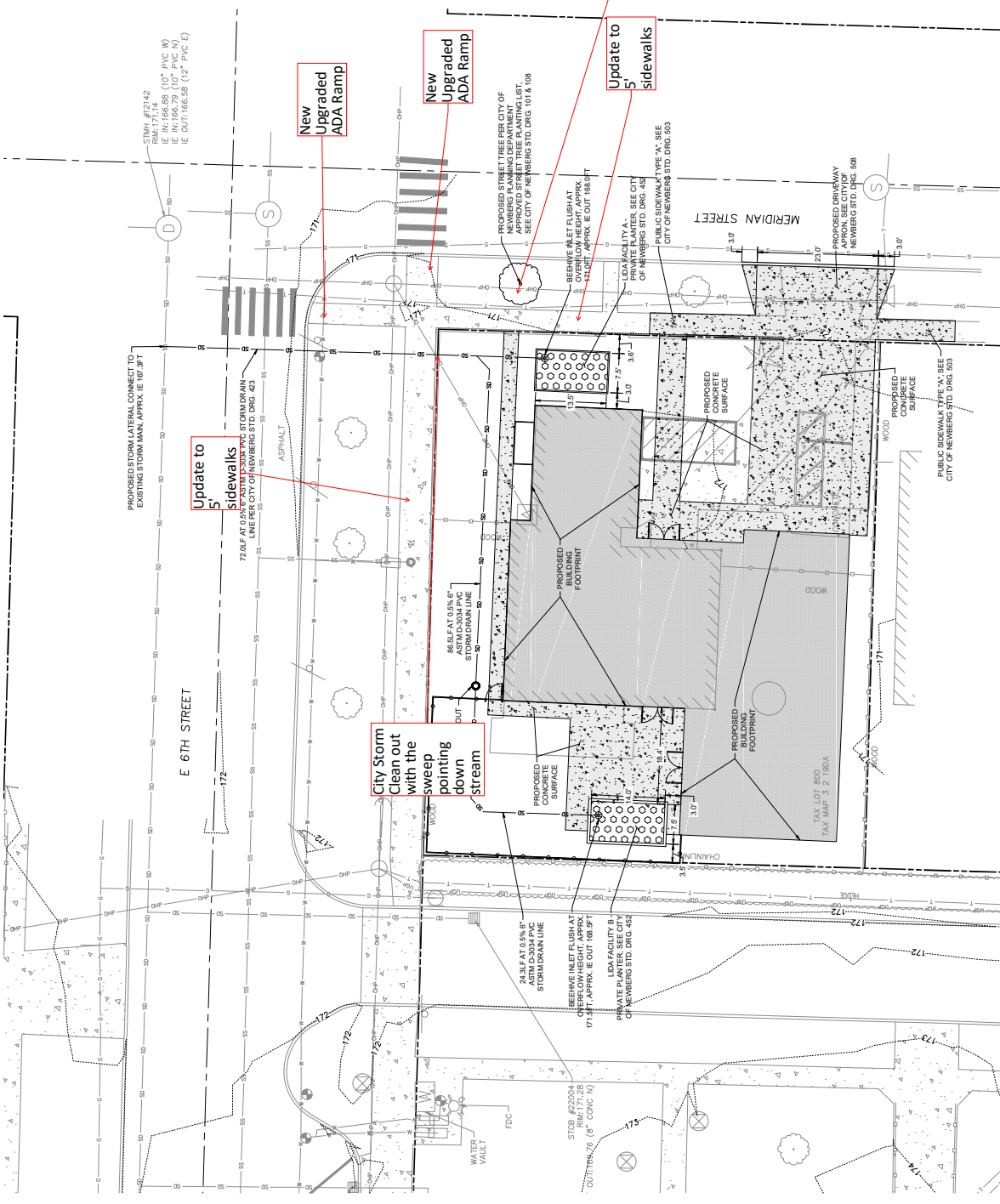
EXISTING (SF)	2,838
PROPOSED (SF)	5,154
NET ADDITION (SF)	2,316

LIDA FACILITY A SIZING CALCULATIONS

FLOW-THROUGH PLANTER 108 SF
NOTE: FLOW-THROUGH PLANTER SIZED TO 0.6% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.

LIDA FACILITY B SIZING CALCULATIONS

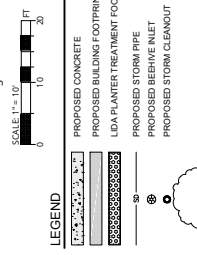
FLOW-THROUGH PLANTER 108 SF
NOTE: FLOW-THROUGH PLANTER SIZED TO 0.6% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.



REVISIONS #	DESCRIPTION	DATE

OWNER: NEWBERG SCHOOL DISTRICT
NEWBERG, OR

NEWBERG SAIL PROGRAM PROJECT



SCHEMATIC DESIGN

ISSUE DATE:	05/24/2022
PROJECT NO.:	22786
DRAWN BY:	TEG, JTE

**PUBLIC IMPROVEMENT
AND STORMWATER
MANAGEMENT PLAN**

C1.0



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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REQUEST: Proposing an Addition & Renovation to an existing SF Structure to house a school program
SITE ADDRESS: 603 S. Meridian St
LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



7/12/22

Project Information is Attached

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- Meeting requested.
- Comments. (Attach additional pages as needed)

Vance Barton

Reviewed By:

7/12/2022

Date:

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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REQUEST: Proposing an Addition & Renovation to an existing SF Structure to house a school program
SITE ADDRESS: 603 S. Meridian St
LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



Project Information is Attached

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- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)

All Food Service is required to have a grease removal device. The kitchen will need to install a grease trap. OR Specialty Plumbing Code 1014.0 & NMC 13.10.080 B3, B17 & E.

April Catan

Digitally signed by April Catan
DN: c=US, ou=Operations, o=City of Newberg, cn=April Catan,
email=april.catan@newbergoregon.gov
Reason: I am the author of this document
Location: your signing location here
Date: 2022.07.13 06:47:49-0700
Foxit PhantomPDF Version: 10.1.7

7/12/22

Reviewed By:

Date:

City of Newberg

Organization:



COMMUNITY DEVELOPMENT LAND USE APPLICATION REFERRAL

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APPLICANT: Process Design, LLC- on behalf of the Newberg School District
REQUEST: Proposing an Addition & Renovation to an existing SF Structure to house a school program
SITE ADDRESS: 603 S. Meridian St
LOCATION: N/A
TAX LOT: R3219DA 00800
FILE NO: DR222-0007 & ADJC22-0004
ZONE: R-2 (Medium Density Residential)
HEARING DATE: N/A



7/12/22

Project Information is Attached

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- Require additional information to review. (Please list information required)
- Meeting requested.
- Comments. (Attach additional pages as needed)

Reviewed By:

7/12/22

Date:

City of Newberg - Operations

Organization: