

NOTICE OF DECISION
601 E Dartmouth Street – Shop with Accessory Dwelling Unit
Design Review – DR122-0003

July 18, 2022

Kurt Gunderson
601 E Dartmouth Street
Newberg, OR 97132

Re: DR122-0003 – 601 E Dartmouth Street – Detached Shop with ADU – Notice of Decision

Dear Mr. Gunderson,

The Community Development Director has approved the design review application DR122-0003 for a detached shop with an above accessory dwelling unit (ADU). This decision will become effective on August 1, 2022, unless an appeal is filed.

You may appeal this decision to the Newberg Planning Commission within 14 calendar days of this decision in accordance with Newberg Development Code 15.100.170. All appeals must be in writing on a form provided by the Planning Division. If you wish to appeal, you must submit the written appeal form together with the required fee of \$547 plus 5% Technology Fee to the Planning Division within 14 days of the date of this decision.

The deadline for filing an appeal is 4:30 pm on July 29, 2022.

Design review approval is only valid for one year from the effective date above. If building or construction permits are not issued within this time period, then design review approval becomes null and void and no construction may take place. If design review approval on your project is approaching its expiration date, contact the Planning Division regarding extension opportunities. Please note that it is the responsibility of the applicant to monitor the time of expiration of this approval and to initiate any necessary extension requests.

Sincerely,

A handwritten signature in blue ink that reads "Ashley Smith".

Ashley Smith
Assistant Planner
City of Newberg
503-554-7768
ashley.smith@newbergoregon.gov

REVIEW AND FINDINGS

601 E Dartmouth Street – Shop with Accessory Dwelling Unit
Design Review – DR122-0003

FILE NO: DR122-0003

REQUEST: Approval of a detached shop with an above ADU

LOCATION: 601 E Dartmouth Street

TAX LOT: R3207DD 03223

APPLICANT: Kurt Gunderson

ZONE: R-1 (Low Density Residential)

OVERLAYS: Airport Overlay (Airport Conical Surface)

A. Location and Site Description:

The subject property is located at 601 E Dartmouth Street and is zoned R-1 (Low Density Residential). The proposed Accessory Dwelling Unit (ADU) will be associated with an existing 1,393 square foot single-story single-family dwelling. The ADU is proposed to be constructed as the top story of a newly constructed shop located in the rear side yard. The proposed ADU will be 480 square feet, with 480 square feet of utility shop space below.

The ADU will be a 480 square foot studio or about 34% of the total square footage of the existing single-family dwelling. The subject property is 8,925 square feet and primarily flat with slope to the south.

B. Site Information

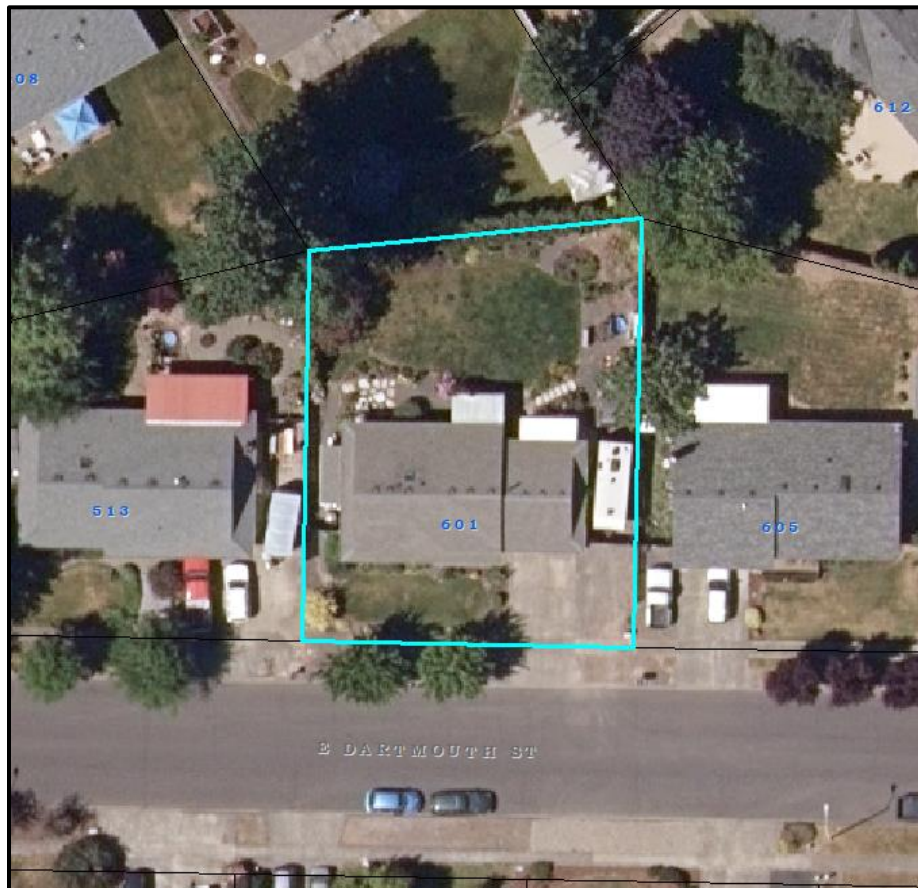
Access and Transportation: Access to the proposed development is provided from E Dartmouth Street. It is classified as a local street. The City's online GIS maps indicate a right-of-way width of approximately 60-feet along the project site's frontage.

Utilities:

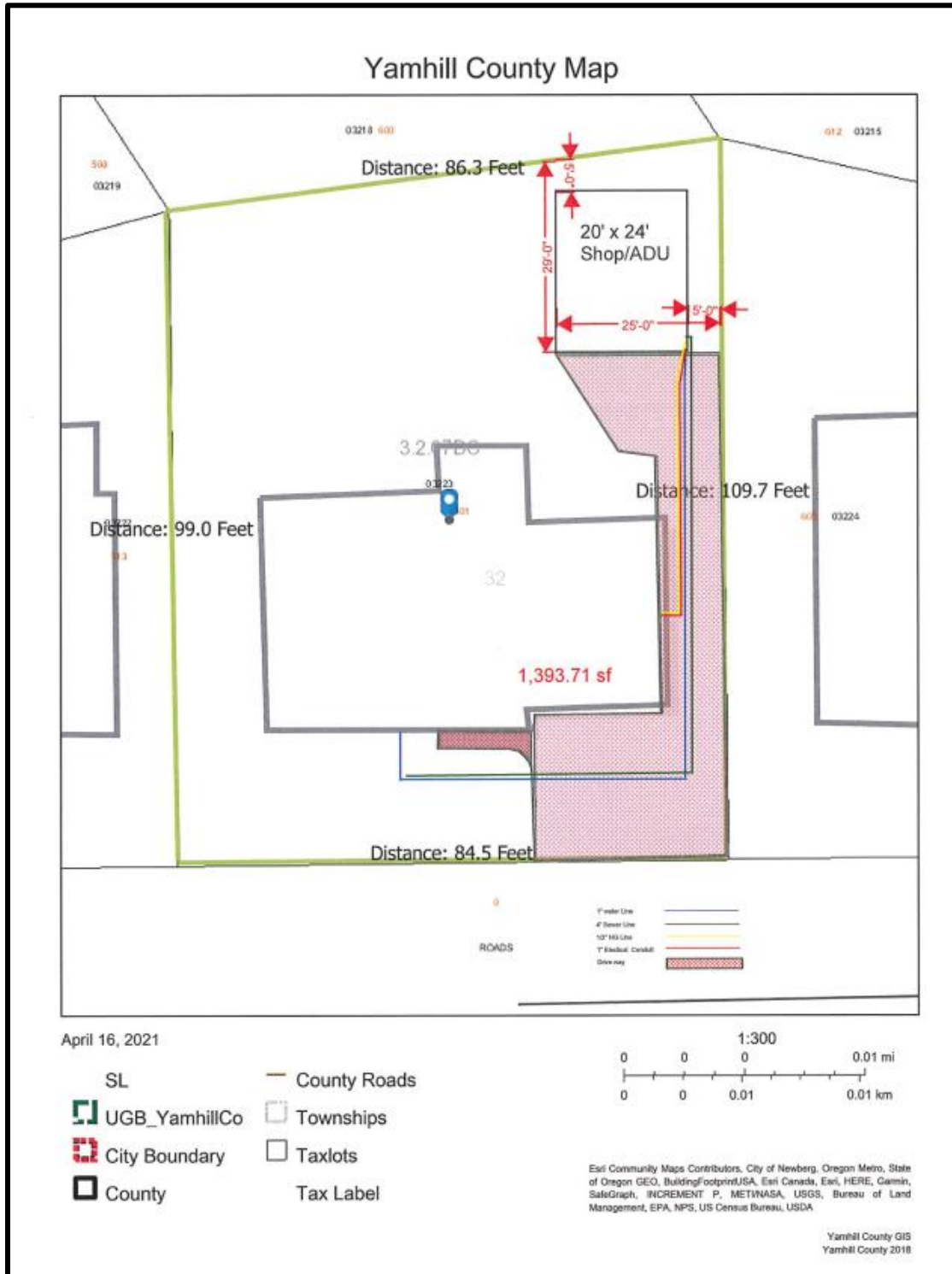
- a. **Water:** The City's online GIS Public Utility Map shows an 8-inch water line located on E Dartmouth Street with a 1-inch service lateral serving the property.
- b. **Wastewater:** The City's online GIS Public Utility Map shows an 8-inch wastewater line located on E Dartmouth Street with a 4-inch service lateral serving the property.
- c. **Stormwater:** The City's online GIS Public Utility Map shows a 12-inch storm line

located in E Dartmouth Street.

- d. Overhead Lines: Any new connection the property will need to be undergrounded. See NMC 15.430.010 for exception provisions.



Site Plan



**FINDINGS – File DR122-0003
601 E Dartmouth Street – Shop with ADU**

Newberg Development Code

Chapter 12.05 Streets and Sidewalks

12.05.090 *Permits and certificates.*

- A. *Concurrent with the issuance of a building permit for the construction of a building for residential use or business structures or an addition to a dwelling or business structure, the value of which is \$30,000 or more except as the city engineer may require on building permits of lesser value in accordance with NMC [12.05.040](#), the owner, builder or contractor to whom the building permit is issued shall meet the following requirements:*
1. *Construct a sidewalk within the dedicated right-of-way for the full frontage in which a sidewalk in good repair does not exist. The sidewalk construction shall be completed within the building construction period or prior to issuance of an occupancy permit, whichever is the lesser.*

Finding: The submitted plans do not clearly show the existing sidewalk with planter strip along the project frontage. Because the condition of the existing sidewalks is uncertain, the applicant will be responsible for replacement of any sidewalk panels that are not in good condition or do not meet current ADA standards along the project frontage. Determination of any sidewalk panels to be replaced will be part of the permit plan review process.

This criterion will be met if the aforementioned condition of approval is adhered to.

2. *Dedicate right-of-way in accordance with the city transportation plan.*

Finding: The City's online GIS maps indicate a right-of-way width of approximately 60-feet which is sufficient right-of-way for a local street in accordance with the city transportation plan. This criterion is met.

Chapter 13.010 Wastewater

13.10.050 *Use of public wastewater system required.*

- D. *Connection Required. The owner of all houses, buildings or properties used for human occupancy, employment, recreation or other purposes, situated within the city and abutting on any public street, alley or easement in which there is now located or may in the future be located a public wastewater system of the city, is required at the owner's expense to install suitable toilet and plumbing facilities directly with the proper side sewer in accordance with the provisions of this chapter. The connection shall be made within 90 days after the date of the official notice to do so; provided, that the public wastewater system is within 100 feet of any property line. For the purposes of this section, notice shall be deemed to have been received upon the mailing of the notice in accordance with NMC 13.10.290.*

Finding: The applicant has noted the wastewater line for the accessory dwelling unit will tie into the existing 4-inch line that serves the primary residence. This criterion is met.

13.10.070 Wastewater system connection procedures.

- K. Independent Drainage Systems. Every dwelling and/or building under separate ownership shall have an independent wastewater system connection with a public or private collection system. Additionally, each parcel shall be served by individual laterals.**

Finding: The applicant has noted the wastewater line for the accessory dwelling unit will tie into the existing 4-inch line that serves the primary residence. The proposed accessory dwelling unit will be under the same ownership as the primary residence. This criterion is met.

Chapter 15.220

15.220.050 Criteria for design review (Type I process).

- A. Type I. The following criteria are required to be met in order to approve a Type I design review request:**
- 1. Parking. Parking areas shall meet the requirements of NMC 15.440.010.**

Finding: The applicant has submitted a Type I application for construction of a shop with a second story ADU within the R-1 zone. NMC 15.440.010 states that any development in the R-1 zone will provide parking on the lot. NMC 15.440.030 states a single-family dwelling shall provide two (2) parking spaces. Based on an aerial view of the site, there appear to be at least two (2) existing off-street parking spaces. ADUs do not require off-street parking per NMC 15.445.260(4), stating the primary residence will provide parking.

This criterion is met.

2. Setbacks and General Requirements. The proposal shall comply with NMC [15.415.010](#) through [15.415.060](#) dealing with height restrictions and public [access](#); and NMC [15.405.010](#) through [15.405.040](#) and NMC [15.410.010](#) through [15.410.070](#) dealing with setbacks, coverage, vision clearance, and [yard](#) requirements.

15.405.010 Minimum and maximum lot area.

Finding: This is an existing lot of record and no lot adjustments are proposed with this application; these criteria are not applicable.

15.405.030 Lot dimensions and frontage.

Finding: This is an existing lot of record and no lot adjustments are proposed with this application; these criteria are not applicable.

15.405.040 Lot coverage and parking coverage requirements.

- B. Residential uses in residential zones shall meet the following maximum lot coverage and parking coverage standards. See the definitions in NMC 15.05.030 and Appendix A, Figure 4.**
 - 1. Maximum Lot Coverage.**
 - a. R-1: 40 percent, except:**
 - i. Fifty percent if all structures on the lot are one story; and**
 - ii. Sixty percent for townhouse dwellings.**
 - 2. Maximum Parking Coverage. R-1, R-2, R-3, and RP: 30 percent.**
 - 3. Combined Maximum Lot and Parking Coverage.**
 - a. R-1: 60 percent.**

Finding: The subject property is zoned R-1, which allows a maximum lot coverage of 40%. Maximum allowable parking coverage is 30% and a combined lot and parking coverage of up to 60% is permitted. Lot coverage calculations must include the existing single-family dwelling and driveway. Using information and dimensions provided on the submitted site plan, the following was determined:

Coverage Type	Square Footage of Development	% Proposed	Maximum % Allowed in R-1 Zone
Lot Size	8925		
Driveway/Parking	1294	14%	30%
Existing Home + Shop with ADU	1393 + 501 = 1894	21%	40%
Combined Maximum	3188	35%	60%

All lot coverage maximums are being adhered to. These criteria are met.

15.410.020 Front yard setback.

A. Residential

- 1. AR, R-1 and R-2 districts shall have a front yard of not less than 15 feet. Said yard shall be landscaped and maintained.**
- 3. The entrance to a garage or carport, whether or not attached to a dwelling, shall be set back at least 20 feet from the nearest property line of the street to which access will be provided. However, the foregoing setback requirement shall not apply**

where the garage or carport will be provided with access to an alley only.

Finding: The shop with second story ADU will be constructed as a free-standing structure in the backyard. There will be no changes to the footprint of the single-family dwelling and the property is accessed from E Dartmouth Street. The shop and ADU will have a 78-foot setback from the front property line. These criteria are met.

15.410.030 Interior yard setback.

A. Residential.

- 1. All lots or development sites in the AR, R-1, R-2 and R-3 districts shall have interior yards of not less than five feet, except that where a utility easement is recorded adjacent to a side lot line, there shall be a side yard no less than the width of the easement.**

Finding: According to the applicant's site plan, the proposed ADU will be set back at least 5 feet from the east property line. Staff was unable to accurately determine what the true setback from the rear property line will be. It appears that at the closest point the proposed shop with ADU is just under 5 feet from the property line. All interior setbacks must be 5 feet from adjacent property lines. Per NMC 15.410.070(C)(1), eaves from the building may project into the interior setback by up to two feet and be no closer than three feet from the property line. A site plan clearly showing five feet interior setbacks being maintained must be submitted with the building permit application.

15.415.020 Building height limitation.

A. Residential.

- 4. Accessory buildings in the R-1, R-2, R-3, AR, and RP districts are limited to 16 feet in height, except as follows:
 - a. Up to 800 square feet of an accessory building may have a height of up to 24 feet.****

Finding: The total square footage for the first-floor shop is 480 square feet, and 480 square feet for the second floor ADU. The overall building height is 23 feet and 6 inches. The intent of 15.415.020(A)(4)(a) is addressing the footprint square footage. Because the footprint square footage of this structure is only 480 square feet, this is under the allowable building height of 24 feet for up to 800 square feet of an accessory building. This criterion is met.

15.415.040 Public access required.

No building or structure shall be erected or altered except on a lot fronting or abutting on a public street or having access to a public street over a private street or easement of record approved in accordance with provisions contained in this code. New private streets may not be created to provide access except as allowed under NMC 15.332.020(B)(24), 15.336.020(B)(8), and in the M-4 zone. Existing private streets may not be used for access for new dwelling units, except as allowed under NMC 15.405.030. No building or structure shall be erected or altered without provisions for access roadways as required in the Oregon Fire Code, as adopted by the city.

Finding: This criterion is met because the subject property has direct access to E Dartmouth Street, which is an existing local public street.

3. Landscaping Requirements. *The proposal shall comply with NMC [15.420.010](#) dealing with [landscape](#) requirements and [landscape](#) screening.*

15.420.010 Required minimum standards.

B. Required Landscaped Area. *The following landscape requirements are established for all developments except single-family dwellings:*

4. Trees, Shrubs, and Ground Covers. *The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.*

b. Collector and local street trees shall be spaced approximately 35 to 40 feet on center. These trees shall have a minimum of a one and one-half or one and three-fourths inch tree trunk or stalk and shall be balled and burlapped or boxed.

Finding: The subject property has an existing single-family home with existing street trees along the frontage of E Dartmouth Street. These criteria are met.

4. Signs. *Signs shall comply with NMC 15.435.010 et seq. dealing with signs.*

Finding: This criterion is not applicable because the applicant is not proposing any signs as part of this project.

5. Zoning District Compliance. *The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.303 and 15.305.*

Finding: This criterion is met because single-family dwellings and ADUs are permitted by right within the R-1 District per Section 15.305.020 of the NMC.

Chapter 15.430 Underground Utility Installation

15.430.010 Underground utility installation.

- A.** *All new utility lines, including but not limited to electric, communication, natural gas, and cable television transmission lines, shall be placed underground. This does not include surface-mounted transformers, connections boxes, meter cabinets, service cabinets, temporary facilities during construction, and high-capacity electric lines operating at 50,000 volts or above.*
- B.** *Existing utility lines shall be placed underground when they are relocated, or when an addition or remodel requiring a Type II design review is proposed, or when a developed area is annexed to the city.*
- C.** *The director may make exceptions to the requirement to underground utilities based on one or more of the following criteria:*
 - 1.** *The cost of undergrounding the utility is extraordinarily expensive.*
 - 2.** *There are physical factors that make undergrounding extraordinarily difficult.*
 - 3.** *Existing utility facilities in the area are primarily overhead and are unlikely to be changed.*

Finding: The submitted plans illustrate all new utilities installed underground. This criterion is met.

Chapter 15.445 Special Use Standards

Article V. Accessory Dwelling Units

15.445.260

- A.** *Location. Accessory dwelling units are outright permitted uses in the R-1, R-2, R-3, RP, I and AR zones. Accessory dwelling units are a conditional use in the C-2 and C-3 zones.*

Finding: The proposed ADU is located in the R-1 zoning district and permitted by right. This criterion is met.

- B.** *Limitations. An accessory dwelling unit is permitted, providing there is compliance with all of the following standards:*
 - 1.** *An accessory dwelling unit may be created within the interior or as an addition to an attached or detached residential structure or as a freestanding accessory building.*

Finding: This criterion is met because the applicant is proposing an ADU to be constructed as the second story of a freestanding accessory building. This criterion is met.

2. *An accessory dwelling unit may not exceed 50 percent of the size of the primary unit, up to a maximum of 1,000 square feet.*

Finding: The applicants' plan set illustrates the existing dwelling is 1,393 square feet. The proposed ADU will be 480 square feet. The ADU is 34% the size of the primary unit, this criterion is met.

3. *The number of residents permitted to inhabit the accessory dwelling unit is regulated by the current edition of the Oregon Residential Specialty Code.*

Finding: This criterion will be reviewed through the building permit review process, which will establish the maximum number of occupants for the ADU.

4. *The primary residence shall provide parking per NMC 15.440.030. The accessory dwelling unit does not require on-site parking.*

Finding: The applicant has indicated there are two existing off-street parking spaces provided for the single-family dwelling that will remain in compliance with NMC15.440.030. This criterion is met.

5. *Owner occupancy of the primary unit or accessory dwelling unit is not required.*

Finding: The applicant is not required to notify who will be the occupant. This criterion is met.

6. *An accessory dwelling unit cannot be partitioned or subdivided from the parcel of the primary unit if there are shared water and wastewater lines.*

Finding: The applicant has shown that the ADU will tie into the existing main dwellings water and wastewater lines, therefore could not be partitioned, or subdivided. There are no proposals for a partition or subdivision under this application. This criterion is met.

7. *There shall be compliance with all of the development standards established in the base zone.*

Finding: ADUs are permitted by right within the R-1 zoning district. The proposed shop with second story ADU will constructed as a free-standing structure in the backyard of the existing single-family home. If the applicant applies all conditions stated in the report this criterion will be met.

Chapter 15.505 Public Improvements Standards

15.505.020 Applicability.

The provision and utilization of public facilities and services within the City of Newberg shall apply to all land developments in accordance with this chapter. No development shall be approved unless the following improvements are provided for prior to occupancy or operation, unless future provision is assured in accordance with NMC 15.505.030(E).

- A. Public Works Design and Construction Standards. The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall comply with the requirements of the most recently adopted Newberg public works design and construction standards.***

Finding: All improvements reviewed under this application are identified in the NMC 15.505 section specific to them and are conditioned to comply with the Public Works Design and Construction Standards in those sections. This criterion is met.

- B. Street Improvements. All projects subject to a Type II design review, partition, or subdivision approval must construct street improvements necessary to serve the development.***

Finding: This is not a Type II design review, partition or subdivision. This criterion does not apply.

- C. Water. All developments, lots, and parcels within the City of Newberg shall be served by the municipal water system as specified in Chapter 13.15 NMC.***

Finding: The existing primary residence is connected to the public water system. The applicant is proposing to tie the water line for the accessory dwelling unit in with the existing 1-inch line that serves the primary residence. Review of the water connection for the accessory dwelling unit will occur as part of the building permit process.

This criterion will be met if the aforementioned condition of approval is adhered to.

- D. Wastewater. All developments, lots, and parcels within the City of Newberg shall be served by the municipal wastewater system as specified in Chapter 13.10 NMC.***

Finding: The existing primary residence is connected to the public wastewater system. The applicant is proposing to tie the wastewater line for the accessory dwelling unit in with the existing 4-inch line that serves the primary residence. Review of the wastewater connection for the accessory dwelling unit will occur as part of the building permit process.

This criterion will be met if the aforementioned condition of approval is adhered to.

- E. Stormwater. All developments, lots, and parcels within the City of Newberg shall manage stormwater runoff as specified in Chapters 13.20 and 13.25 NMC.***

Finding: The applicant's submitted narrative and preliminary plans are unclear if construction of the proposed ADU will create more than 500 square feet of impervious area. The submitted plans indicate a connection to an existing storm line for the primary residence. Because construction level plans have not been submitted, determination of any stormwater management requirements will occur as part of the building permit process. If 500 square feet or more of net new impervious area is created, the applicant will be required to meet the City's standards for stormwater management.

This criterion will be met if the aforementioned condition of approval is adhered to.

- F. Utility Easements.** *Utility easements shall be provided as necessary and required by the review body to provide needed facilities for present or future development of the area.*

Finding: Documents for the primary residence submitted with the application identify a utility easement across the property frontage. This criterion is met.

- G. City Approval of Public Improvements Required.** *No building permit may be issued until all required public facility improvements are in place and approved by the director, or are otherwise bonded for in a manner approved by the review authority, in conformance with the provisions of this code and the Newberg Public Works Design and Construction Standards. [Ord. 2810 § 2 (Exhs. B, C), 12-19-16.]*

Finding: Any required public improvement permit(s) for this project must be submitted, approved and issued prior to building permits being issued.

This criterion will be met if the aforementioned condition of approval is adhered to.

15.505.040 Public Utility Standards

- A. Purpose.** *The purpose of this section is to provide adequate services and facilities appropriate to the scale and type of development.*
- B. Applicability.** *This section applies to all development where installation, extension or improvement of water, wastewater, or private utilities is required to serve the development or use of the subject property.*
- C. General Standards.**
- 1.** *The design and construction of all improvements within existing and proposed rights-of-way and easements, all improvements to be maintained by the city, and all improvements for which city approval is required shall conform to the Newberg public works design and construction standards and require a public improvements permit.*
 - 2.** *The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site. Installation of all proposed public and private utilities shall be coordinated by the developer and be approved by the city to ensure the*

orderly extension of such utilities within public right-of-way and easements.

- D. Standards for Water Improvements.** *All development that has a need for water service shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary wastewater and stormwater facilities, as applicable.*
- 1. All developments shall be required to be linked to existing water facilities adequately sized to serve their intended area by the construction of water distribution lines, reservoirs and pumping stations which connect to such water service facilities. All necessary easements required for the construction of these facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.*
 - 2. Specific location, size and capacity of such facilities will be subject to the approval of the director with reference to the applicable water master plan. All water facilities shall conform with city pressure zones and shall be looped where necessary to provide adequate pressure and fire flows during peak demand at every point within the system in the development to which the water facilities will be connected. Installation costs shall remain entirely the developer's responsibility.*
 - 3. The design of the water facilities shall take into account provisions for the future extension beyond the development to serve adjacent properties, which, in the judgment of the city, cannot be feasibly served otherwise.*
 - 4. Design, construction and material standards shall be as specified by the director for the construction of such public water facilities in the city.*

Finding: The existing primary residence is connected to the public water system. The applicant is proposing to tie the water line for the accessory dwelling unit in with the existing 1-inch line that serves the primary residence. Review of the water connection for the accessory dwelling unit will occur as part of the building permit process.

This criterion will be met if the aforementioned condition of approval is adhered to.

- E. Standards for Wastewater Improvements.** *All development that has a need for wastewater services shall install the facilities pursuant to the requirements of the city and all of the following standards. Installation of such facilities shall be coordinated with the extension or improvement of necessary water services and stormwater facilities, as applicable.*
- 1. All septic tank systems and on-site sewage systems are prohibited. Existing septic systems must be abandoned or removed in accordance with Yamhill County standards.*
 - 2. All properties shall be provided with gravity service to the city wastewater system, except for lots that have unique topographic or other natural features that make gravity wastewater extension impractical as*

- determined by the director. Where gravity service is impractical, the developer shall provide all necessary pumps/lift stations and other improvements, as determined by the director.*
3. *All developments shall be required to be linked to existing wastewater collection facilities adequately sized to serve their intended area by the construction of wastewater lines which connect to existing adequately sized wastewater facilities. All necessary easements required for the construction of these facilities shall be obtained by the developer and granted to the city pursuant to the requirements of the city.*
 4. *Specific location, size and capacity of wastewater facilities will be subject to the approval of the director with reference to the applicable wastewater master plan. All wastewater facilities shall be sized to provide adequate capacity during peak flows from the entire area potentially served by such facilities. Installation costs shall remain entirely the developer's responsibility.*
 5. *Temporary wastewater service facilities, including pumping stations, will be permitted only if the director approves the temporary facilities, and the developer provides for all facilities that are necessary for transition to permanent facilities.*
 6. *The design of the wastewater facilities shall take into account provisions for the future extension beyond the development to serve upstream properties, which, in the judgment of the city, cannot be feasibly served otherwise.*
 7. *Design, construction and material standards shall be as specified by the director for the construction of such wastewater facilities in the city.*

Finding: The existing primary residence is connected to the public wastewater system. The applicant is proposing to tie the wastewater line for the accessory dwelling unit in with the existing 4-inch line that serves the primary residence. Review of the wastewater connection for the accessory dwelling unit will occur as part of the building permit process.

This criterion will be met if the aforementioned condition of approval is adhered to.

- F. Easements.** *Easements for public and private utilities shall be provided as deemed necessary by the city, special districts, and utility companies. Easements for special purpose uses shall be of a width deemed appropriate by the responsible agency. Such easements shall be recorded on easement forms approved by the city and designated on the final plat of all subdivisions and partitions. Minimum required easement width and locations are as provided in the Newberg public works design and construction standards.*

Finding: Documents for the primary residence submitted with the application identify a utility easement across the property frontage. This criterion is met.

15.505.050 Stormwater system standards.

- A. *Purpose. The purpose of this section is to provide for the drainage of surface water from all development; to minimize erosion; and to reduce degradation of water quality due to sediments and pollutants in stormwater runoff.*
- B. *Applicability. The provisions of this section apply to all developments subject to site development review or land division review and to the reconstruction or expansion of such developments that increases the flow or changes the point of discharge to the city stormwater system. Additionally, the provisions of this section shall apply to all drainage facilities that impact any public storm drain system, public right-of-way or public easement, including but not limited to off-street parking and loading areas.*
- C. *General Requirement. All stormwater runoff shall be conveyed to a public storm wastewater or natural drainage channel having adequate capacity to carry the flow without overflowing or otherwise causing damage to public and/or private property. The developer shall pay all costs associated with designing and constructing the facilities necessary to meet this requirement.*

Finding: The applicant's submitted narrative and preliminary plans are unclear if construction of the proposed ADU will create more than 500 square feet of impervious area. The submitted plans indicate a connection to an existing storm line for the primary residence. Because construction level plans have not been submitted, determination of any stormwater management requirements will occur as part of the building permit process. If 500 square feet or more of net new impervious area is created, the applicant will be required to meet the City's standards for stormwater management.

Conclusion: The proposed ADU meets the applicable criteria as proposed or can meet the applicable criteria with adherence to the stated conditions of approval discussed in this report. The application for the proposed ADU is approved.

Conditions of Approval

Conditions of Approval: Either write or otherwise permanently affix the conditions of approval contained within this report onto the first page of the plans submitted for building permit review.

1. The applicant will be responsible for replacement of any sidewalk panels that are not in good condition or do not meet current ADA standards along the project frontage. Determination of any sidewalk panels to be replaced will be part of the permit plan review process.
2. A site plan clearly showing five feet interior setbacks being maintained must be submitted with the building permit application.
3. Review of the water connection for the accessory dwelling unit will occur as part of the building permit process.
4. Review of the wastewater connection for the accessory dwelling unit will occur as part of the building permit process.
5. Determination of any stormwater management requirements will occur as part of the building permit process. If 500 square feet or more of net new impervious area is created, the applicant will be required to meet the City's standards for stormwater management.
6. Any required public improvement permit(s) for this project must be submitted, approved and issued prior to building permits being issued.

THE FOLLOWING MUST BE ACCOMPLISHED PRIOR TO OCCUPANCY

7. **Fire Department Requirements:** This project is subject to compliance with all Fire Department (TVF&R) standards relating to access and fire protection.
8. **Design Review Conditions:**
 - a. Contact the Planning Division (503-537-1240) to verify that all design review conditions have been completed.
9. **Site Inspection:**
 - a. Contact the Building Division (503-537-1240) for Building, Mechanical, and Plumbing final inspections.
 - b. Contact the TVF&R (503-649-8577) for Fire Safety final inspections.
 - c. Contact Yamhill County (503-538-7302) for electrical final inspections.
 - d. Contact the Planning Division (503-537-1240) for landscaping final inspections.
10. **DEVELOPMENT NOTES**

- a. Systems development charges (SDCs) will be collected when building permits are issued. For questions regarding SDCs please contact the Engineering Division.



Application



Type I Application (Administrative Review)

File #: _____

TYPES – PLEASE CHECK ONE:

- Code Adjustment
- Final Plat
- Minor Design Review
- Property Line Adjustment
- ADU or Cottage Cluster Design Review
- Property Line Consolidation
- Type I Extension or Type I Minor/Major Modification
- Type II or Type III Extension or Minor Modification
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Kurt Gunderson
 ADDRESS: 601 E Dartmouth St, Newberg, OR 97132
 EMAIL ADDRESS: KurtandJanelle@comcast.net
 PHONE: 503-314-0151 MOBILE: same FAX: _____
 OWNER (if different from above): Same PHONE: _____
 ADDRESS: _____
 ENGINEER/SURVEYOR: _____ PHONE: _____
 ADDRESS: _____

GENERAL INFORMATION:

PROJECT NAME: Gunderson ADU PROJECT LOCATION: 601 E Dartmouth St
 PROJECT DESCRIPTION/USE: added Shop w/ADU Above PROJECT VALUATION: \$142,828.80
 MAP/TAX LOT NO. (i.e.3200AB-400): 03223 ZONE: R-1 SITE SIZE: 8925 sf SQ. FT. ACRE
 COMP PLAN DESIGNATION: _____ TOPOGRAPHY: Primarily Flat with slope to South
 CURRENT USE: Single Family Residence
 SURROUNDING USES:
 NORTH: Residence SOUTH: Residence
 EAST: Residence WEST: Residence

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

Code Adjustment	p. 4
Final Plat	p. 6
Minor Design Review	p. 10
Property Line Consolidation.....	p. 11
Property Line Adjustment.....	p. 12

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

[Signature] 4/14/2022
 Applicant Signature Date

[Signature] 4/14/2022
 Owner Signature Date

Kurt Gunderson
 Print Name

Kurt Gunderson
 Print Name

Type I Design Review Narrative

April 11, 2022

Gunderson ADU

601 E Dartmouth Street

City of Newberg

The proposed development consists of an existing single-story, single-family residence. We propose to add a 20' X 24' Garage with a second story used as an Accessory Dwelling Unit.

The ADU is a 480 SF studio unit with 480 SF Miscellaneous Utility space that will be attaching to the existing Utilities

Type I applications require a written response to applicable criteria to determine whether approval is justified. Please provide a written response to each of the applicable criteria for a Type I design review. Your written response should address how you meet each of the following criteria. (Responses inserted in blue ink)

(1) Parking. Parking areas shall meet the requirements of § 15.440.010.

RESPONSE: The existing structure is a single-family residence, which, per Table 15.440.030, requires (2) parking spaces. The existing condition meets this requirement. An Accessory Dwelling Unit does not require additional parking.

(2) Setbacks and general requirements: The proposal shall comply with §§ 15.415.010 et seq. dealing with height restrictions and public access; and §§ 15.410.010 et seq. dealing with setbacks, coverage, vision clearance, and yard requirements.

RESPONSE: All new construction shall comply with required height restrictions, setbacks, lot coverage, vision clearance and yard requirements.

(3) Landscaping requirements: The proposal shall comply with § 15.420.010 dealing with landscape requirements and landscape screening.

RESPONSE: Landscape requirements seem to not apply to single-family residences. Existing residence is currently landscaped and shall remain.

(4) Signs: Signs shall comply with §§ 15.435.010 et seq. dealing with signs.

RESPONSE: No signage proposed.

(5) Zoning district compliance: The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in §§ 15.304.010 through 15.328.040 of this code.

RESPONSE: An ADU is permitted outright in the R-1 zone.



First American Title

R3207DD 03223
601 E Dartmouth St
Newberg, OR 97132



Taxlot



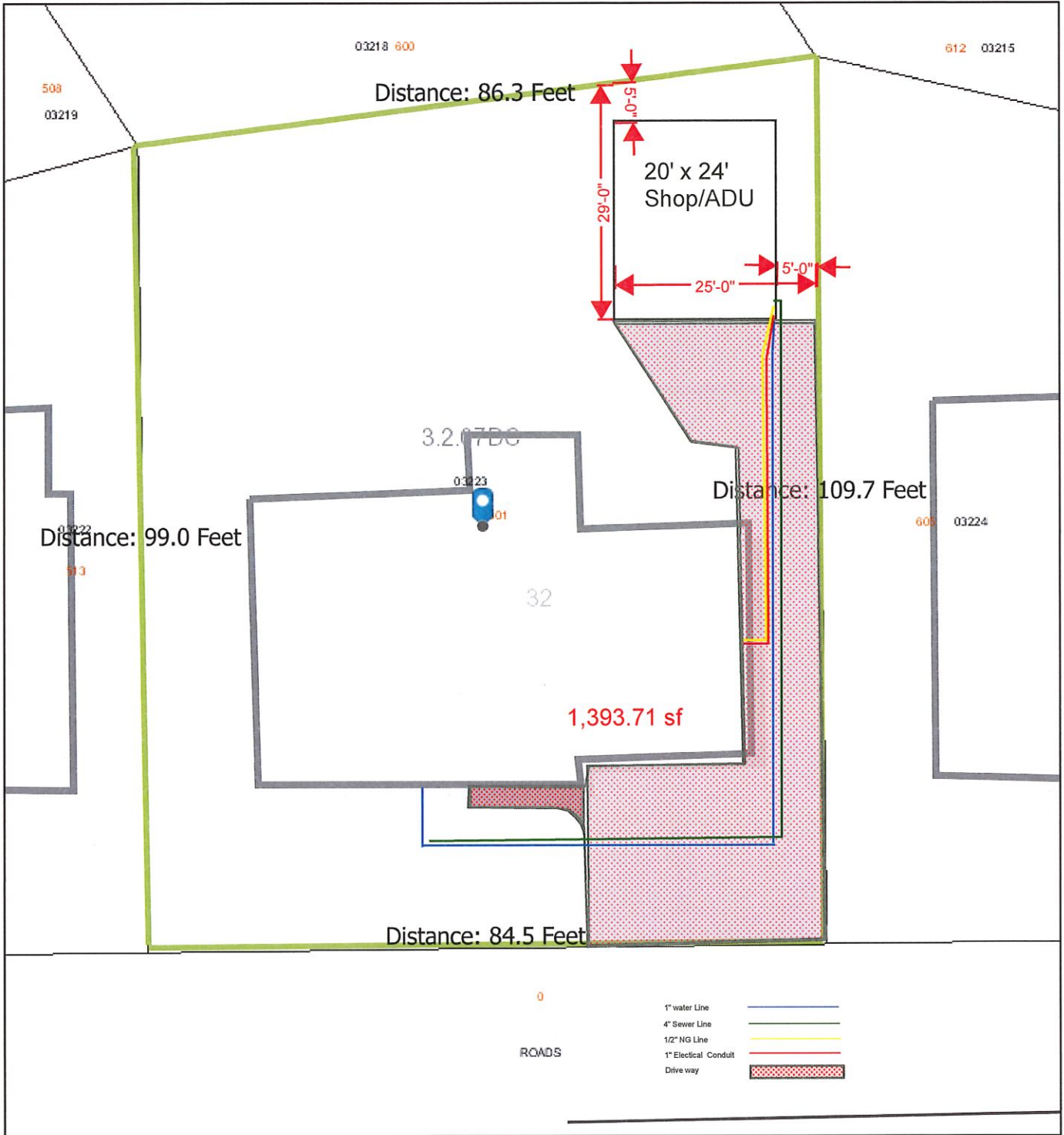
Subject

Taxlot

3/23/2022

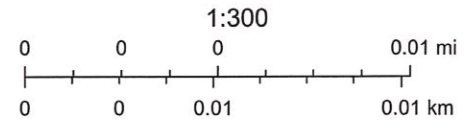
First American Title Insurance Company makes no express or implied warranty respecting the information presented and assumes no responsibility for errors or omissions. FIRST AMERICAN, the Eagle logo, and FIRST AMERICAN TITLE INSURANCE COMPANY are trademarks owned by First American Financial Corporation. Information is provided by Home Junction. <https://www.homejunction.com/> School information is copyrighted and provided by GreatSchools.org. <https://www.greatschools.org>

Yamhill County Map



April 16, 2021

- SL
- UGB_YamhillCo
- City Boundary
- County
- County Roads
- Townships
- Taxlots
- Tax Label



Esri Community Maps Contributors, City of Newberg, Oregon Metro, State of Oregon GEO, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA



First American

First American Title Insurance Company

775 NE Evans Street
McMinnville, OR 97128
Phn - (503)376-7363
Fax - (866)800-7294

YAMHILL COUNTY TITLE UNIT

FAX (866)800-7294

Title Officer: Clayton Carter
(503)376-7363
ctcarter@firstam.com

LOT BOOK SERVICE

Kurt Gunderson
601 Dartmouth St
Newberg, OR 97132

Order No.: 1039-3919906
March 25, 2022

Attn:
Phone No.: (503)314-0151 - Fax No.:
Email: kurtandjanelle@comcast.net

Re:

Fee: \$300.00

We have searched our Tract Indices as to the following described property:

Lot 14, Block 4, BARCLAY FARMS, in the City of Newberg, Yamhill County, Oregon.

and as of March 21, 2022 at 8:00 a.m.

We find that the last deed of record runs to

Kurt Gunderson and Rebecca Janelle Gunderson, as tenants by the entirety

We find the following apparent encumbrances within ten (10) years prior to the effective date hereof:

1. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.
2. Easement, including terms and provisions contained therein:
Recording Information: May 08, 1979, Film Volume 139, Page 1548, Deed and Mortgage Records
In Favor of: Portland General Electric Company, an Oregon Corporation
For: Underground distribution and electric lines and appurtenances

3. Covenants, conditions, restrictions and/or easements; but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, family status, or national origin to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes:

Recording Information: August 03, 1979, Film Volume 142, Page 1156, Deed and Mortgage Records

Modification and/or amendment by instrument:

Recording Information: September 04, 1980 as Film Volume 154, Page 197, Deed and Mortgage Records

Modification and/or amendment by instrument:

Recording Information: October 24, 1980, Film Volume 155, Page 1548, Deed and Mortgage Records

4. Deed of Trust and the terms and conditions thereof.

Grantor/Trustor: Kurt Gunderson and Rebecca Janelle Gunderson, as tenants by the entirety

Grantee/Beneficiary: Mortgage Electronic Registration Systems, Inc., MERS solely as a nominee for Nations Direct Mortgage, LLC, its successors and assigns

Trustee: First American Title Company of Oregon

Amount: \$335,500.00

Recorded: December 18, 2020

Recording Information: Instrument No. 202022924, Deed and Mortgage Records

We have also searched our General Index for Judgments and State and Federal Liens against the Grantee(s) named above and find:

NONE

We find the following unpaid taxes and city liens:

NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount:	\$3,276.15
Map No.:	R3207DD 03223
Property ID:	370636
Tax Code No.:	29.0

1. City liens, if any, of the City of Newberg.

THIS IS NOT a title report since no examination has been made of the title to the above described property. Our search for apparent encumbrances was limited to our Tract Indices, and therefore above listings do not include additional matters which might have been disclosed by an examination of the record title. We assume no liability in connection with this Lot Book Service and will not be responsible for errors or omissions therein. The charge for this service will not include supplemental reports, rechecks or other services.



First American

First American Title Insurance Company
775 NE Evans Street
McMinnville, OR 97128

Illegal Restrictive Covenants

Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.

G2020AD Garage Plan

Garage Door Header

B01

Date: 12/04/13

Selection

4x 12 DF-L #2

Lu = 0.0 Ft

Conditions

NDS 2012

Min Bearing Area R1= 0.6 in² R2= 0.6 in² (1.5) DL Defl= 0.07 in

Data

Beam Span	16.0 ft	Reaction 1 LL	240 #	Reaction 2 LL	240 #
Beam Wt per ft	9.57 #	Reaction 1 TL	397 #	Reaction 2 TL	397 #
Bm Wt Included	153 #	Maximum V	397 #		
Max Moment	1586 #	Max V (Reduced)	350 #		
TL Max Defl	L / 240	TL Actual Defl	L / >1000		
LL Max Defl	L / 360	LL Actual Defl	L / >1000		

Attributes

	Section (in ³)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	73.83	39.38	0.13	0.07
Critical	19.23	2.92	0.80	0.53
Status	OK	OK	OK	OK
Ratio	26%	7%	16%	12%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)	Fc _L (psi)
Reference Values	900	180	1.6	625
Adjusted Values	990	180	1.6	625

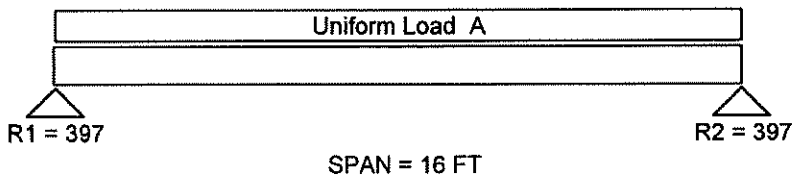
Adjustments

CF Size Factor	1.100			
Cd Duration	1.00	1.00		
Cr Repetitive	1.00			
Ch Shear Stress		N/A		
Cm Wet Use	1.00	1.00	1.00	1.00
CI Stability	1.0000	Rb = 0.00	Le = 0.00 Ft	

Loads

Uniform LL: 30

Uniform TL: 40 = A



Uniform and partial uniform loads are lbs per lineal ft.



MiTek USA, Inc.

MiTek USA, Inc.
400 Sunrise Avenue, Suite 270
Roseville, CA 95661
Telephone 916-755-3571

Re: 12217
Custom Home Design

The truss drawing(s) referenced below have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Tecna Industries.

Pages or sheets covered by this seal: R70487075 thru R70487076

My license renewal date for the state of Oregon is December 31, 2022.



Dustin Reinmuth
EXPIRES: 12/31/2022

April 18, 2022

Reinmuth, Dustin

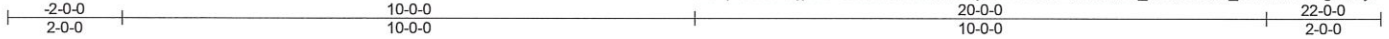
IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.

Job 12217	Truss E1	Truss Type Common Supported Gable	Qty 2	Ply 1	Custom Home Design Job Reference (optional)	R70487075
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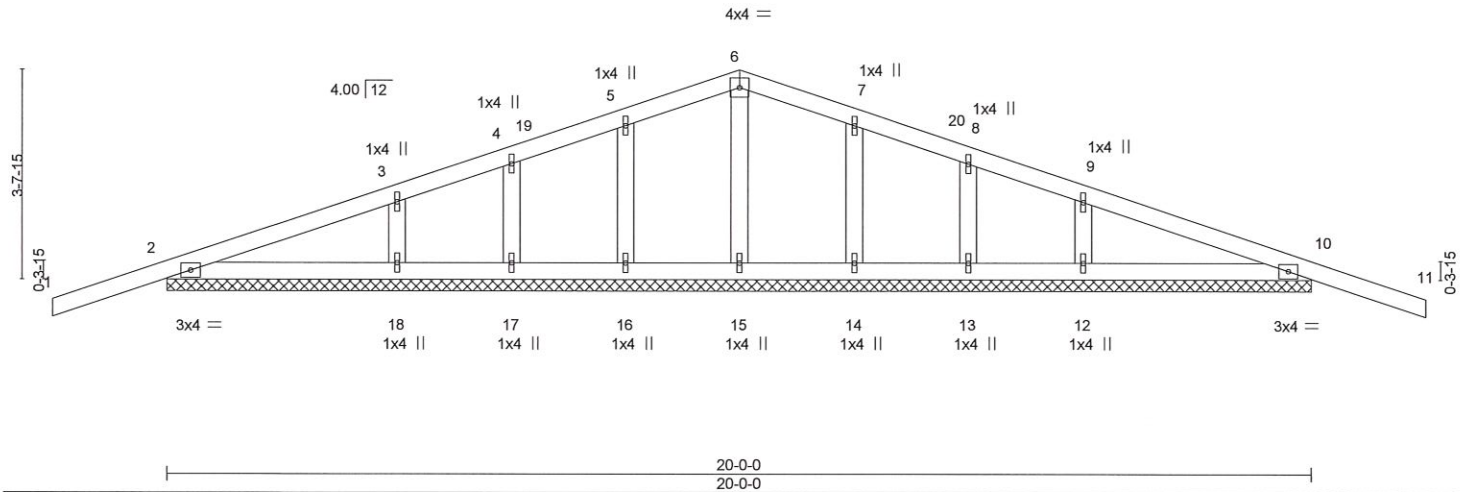
Tecna Industries, McMinnville, OR - 97128,

8.430 s Aug 16 2021 MiTek Industries, Inc. Fri Apr 15 15:43:58 2022 Page 1

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Scale = 1:38.5



LOADING (psf)	SPACING-	CSL.	DEFL.	PLATES	GRIP
TCLL 25.0	2-0-0	TC 0.21	in (loc) l/defl L/d	MT20	220/195
TCDL 7.0	Plate Grip DOL 1.15	BC 0.07	Vert(LL) -0.02 11 n/r 120		
BCLL 0.0 *	Lumber DOL 1.15	WB 0.04	Vert(CT) -0.02 11 n/r 120		
BCDL 10.0	Rep Stress Incr NO	Matrix-R	Horz(CT) 0.00 10 n/a n/a		
	Code IRC2018/TPI2014			Weight: 80 lb	FT = 20%

LUMBER-
 TOP CHORD 2X4 DF No.1&Btr G
 BOT CHORD 2X4 DF No.1&Btr G
 OTHERS 2X4 DF Std G

BRACING-
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS. All bearings 20-0-0.
 (lb) - Max Horz 2=51(LC 10)
 Max Uplift All uplift 100 lb or less at joint(s) 2, 10, 16, 17, 18, 14, 13, 12
 Max Grav All reactions 250 lb or less at joint(s) 15, 16, 17, 14, 13 except 2=310(LC 1), 10=310(LC 1),
 18=273(LC 23), 12=273(LC 24)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

- NOTES-**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-16; Vult=120mph (3-second gust) Vasd=95mph; TCDL=4.0psf; BCDL=6.0psf; h=20ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Corner(3E) -2-0-0 to 1-7-3, Exterior(2N) 1-7-3 to 6-4-13, Corner(3R) 6-4-13 to 13-7-3, Exterior(2N) 13-7-3 to 18-4-13, Corner(3E) 18-4-13 to 22-0-0 zone; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.15 plate grip DOL=1.15
 - Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - Gable requires continuous bottom chord bearing.
 - Gable studs spaced at 2-0-0 oc.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - A plate rating reduction of 20% has been applied for the green lumber members.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 10, 16, 17, 18, 14, 13, 12.
 - This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.



EXPIRES: 12/31/2022
 April 18, 2022

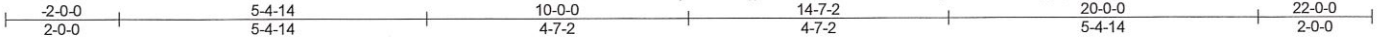
WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 5/19/2020 BEFORE USE.
 Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see **ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information** available from Truss Plate Institute, 2670 Crain Highway, Suite 203 Waldorf, MD 20601



Job	Truss	Truss Type	Qty	Ply	Custom Home Design	R70487076
12217	R1	Common	11	1	Job Reference (optional)	

Tecna Industries, McMinnville, OR - 97128, 8.430 s Aug 16 2021 MiTek Industries, Inc. Fri Apr 15 15:43:59 2022 Page 1

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Scale = 1:38.5

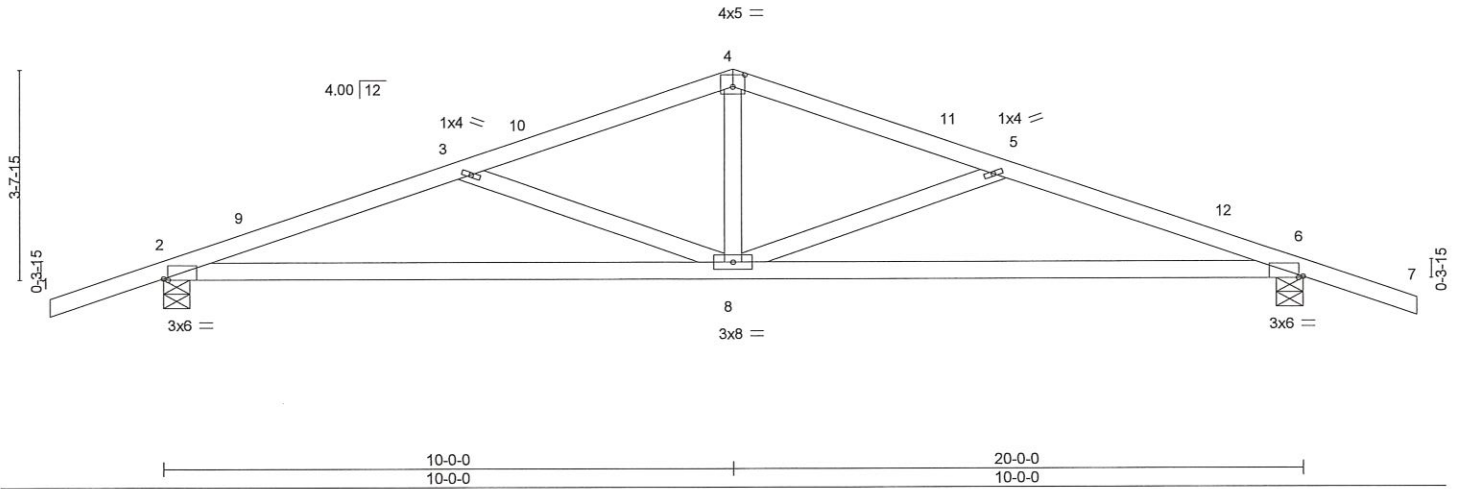


Plate Offsets (X,Y)-- [2:0-0-14,Edge], [4:0-2-8,0-2-8], [6:0-0-14,Edge]

LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL 25.0	Plate Grip DOL	1.15	TC 0.28	Vert(LL)	-0.14	6-8	>999	240	MT20	220/195
TCDL 7.0	Lumber DOL	1.15	BC 0.64	Vert(CT)	-0.44	6-8	>529	180		
BCLL 0.0 *	Rep Stress Incr	NO	WB 0.22	Horz(CT)	0.06	6	n/a	n/a		
BCDL 10.0	Code IRC2018/TPI2014		Matrix-R						Weight: 79 lb	FT = 20%

LUMBER-
TOP CHORD 2X4 DF No.1&Btr G
BOT CHORD 2X4 DF No.1&Btr G
WEBS 2X4 DF Std G

BRACING-
TOP CHORD Structural wood sheathing directly applied or 4-9-11 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS. (size) 2=0-5-8, 6=0-5-8
Max Horz 2=51(LC 10)
Max Uplift 2=-138(LC 6), 6=-138(LC 7)
Max Grav 2=963(LC 1), 6=963(LC 1)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1790/270, 3-4=-1349/187, 4-5=-1349/187, 5-6=-1790/270
BOT CHORD 2-8=-172/1640, 6-8=-172/1640
WEBS 4-8=0/532, 5-8=-472/153, 3-8=-472/153

- NOTES-**
- 1) Unbalanced roof live loads have been considered for this design.
 - 2) Wind: ASCE 7-16; Vult=120mph (3-second gust) Vasd=95mph; TCdL=4.0psf; BCDL=6.0psf; h=20ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2E) -2-0-0 to 1-7-3, Interior(1) 1-7-3 to 6-4-13, Exterior(2R) 6-4-13 to 13-7-3, Interior(1) 13-7-3 to 18-4-13, Exterior(2E) 18-4-13 to 22-0-0 zone; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.15 plate grip DOL=1.15
 - 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 6) A plate rating reduction of 20% has been applied for the green lumber members.
 - 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=138, 6=138.
 - 8) This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.



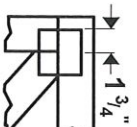
EXPIRES: 12/31/2022
April 18, 2022

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE Mil-7473 rev. 5/19/2020 BEFORE USE.
Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 2670 Crain Highway, Suite 203 Waldorf, MD 20601

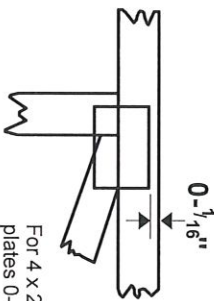


Symbols

PLATE LOCATION AND ORIENTATION



Center plate on joint unless X, Y offsets are indicated. Dimensions are in ft-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 X 2 orientation, locate plates 0- 1/16" from outside edge of truss.



This symbol indicates the required direction of slots in connector plates.

* Plate location details available in **MITek 20/20 software** or upon request.

PLATE SIZE

4 X 4

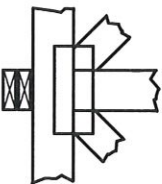
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or L bracing if indicated.

BEARING



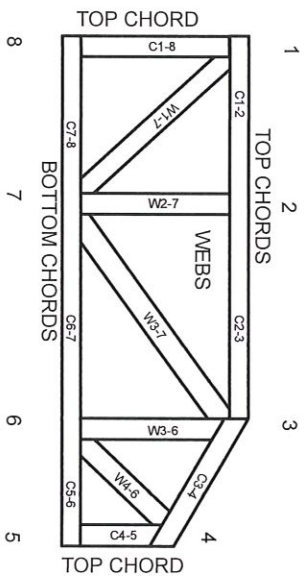
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

Industry Standards:

ANSI/TPI 1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System

6-4-8
dimensions shown in ft-in-sixteenths
(Drawings not to scale)



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988
ER-3907, ESR-2362, ESR-1397, ESR-3282

Trusses are designed for wind loads in the plane of the truss unless otherwise shown.

Lumber design values are in accordance with ANSI/TPI 1 section 6.3. These truss designs rely on lumber values established by others.

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MITek Engineering Reference Sheet: MIL-7473 rev. 5/19/2020

General Safety Notes

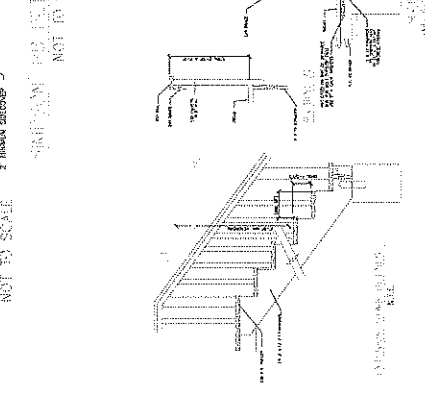
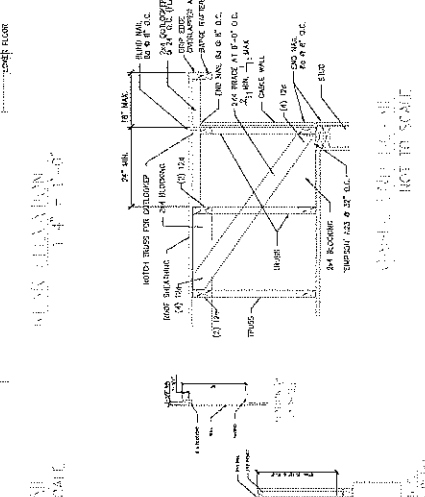
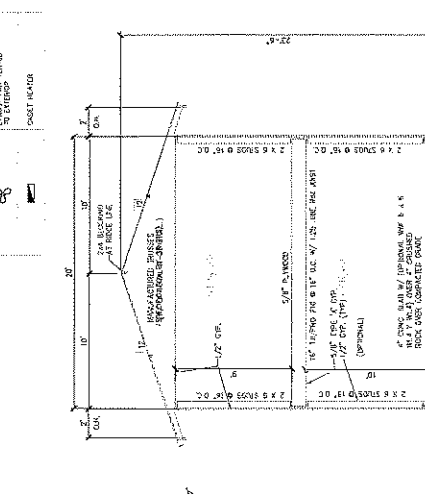
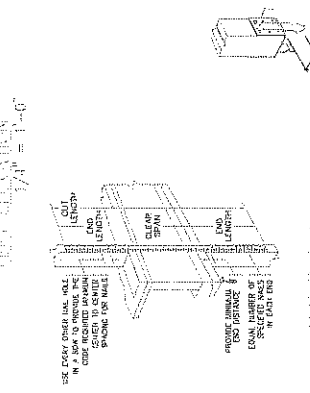
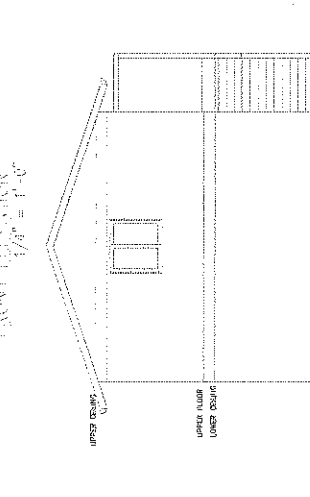
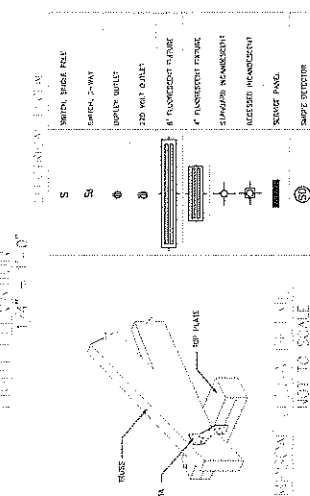
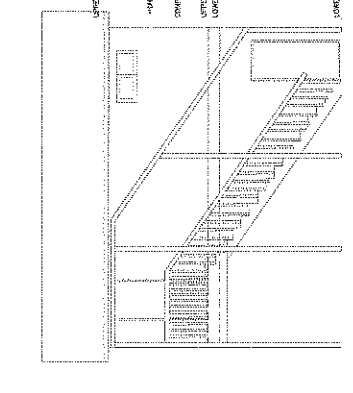
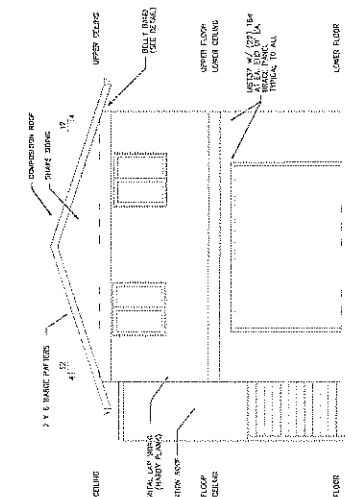
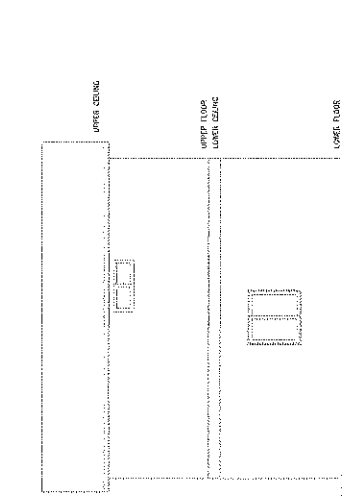
Failure to Follow Could Cause Property Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative T or L bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TPI 1 Quality Criteria.
21. The design does not take into account any dynamic or other loads other than those expressly stated.

- GENERAL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE, ANY APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ALL CITY ORDINANCES.
 2. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE PLUMBING, ELECTRICAL AND MECHANICAL WORK IS IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
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- FOUNDATION NOTES:**
1. FOUNDATIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
 2. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF CONCRETE BELOW FINISH GRADE.
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 10. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF CONCRETE BELOW FINISH GRADE.

- FRAMING NOTES:**
1. ALL EXTERIOR WALLS, EXCEPT AS NOTED, SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 2. ALL INTERIOR WALLS, EXCEPT AS NOTED, SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 3. ALL CEILING SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 4. ALL FLOOR SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 5. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 6. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 7. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 8. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 9. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.
 10. ALL ROOF SHALL BE CONSTRUCTED WITH 2" X 4" LUMBER.



GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE CURRENT EDITION INTERNATIONAL RESIDENTIAL CODE, ANY APPLICABLE STATE CODES OR AMENDMENTS, AND ALL COUNTY OR LOCAL CODES AND REGULATIONS. (2017 ORSC)
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:

ROOF	25 PSF (LIVE LOAD)
FLOOR	40 PSF (LL)
STAIRS	100 PSF (LL)
GARAGE FLOOR	50 PSF (2000# PT.)
DECKS	60 PSF (LL)
WIND	≤100 MPH
SEISMIC	D1

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)
- INSULATION: PATH 1

ROOF (VAULTED)	R-38
ROOF (FLAT)	R-49
WALLS (2X4 EXTERIOR)	R-13
WALLS (2X6 EXTERIOR)	R-21
FLOOR (OVER UNHEATED SPACE)	R-30
- THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE INSULATION BAFFLES AT EAVE VENTS
- ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE:

-BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER :	2,500 PSI
-BASEMENT & INTERIOR SLABS ON GRADE :	2,500 PSI
-BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER :	3,000 PSI
-PORCHES, STEPS & CARPORT SLABS EXPOSED TO WEATHER :	3,500 PSI

(AS PER I.R.C. TABLE R402.2)
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25 FT. (MAXIMUM) INTERVALS EA. WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4 IN. TOOLED JOINTS AT 5 FT. (MINIMUM) O.C.
- REINFORCING STEEL TO BE A-615 GRADE 40. WELDED WIRE MESH TO BE A-185.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 55# ROLL ROOFING.
- FOOTING TO BE CONTINUOUS ACROSS OPENINGS W/ REBAR (SEE TYPICAL WALL DETAIL)
- ALL HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.

FRAMING NOTES

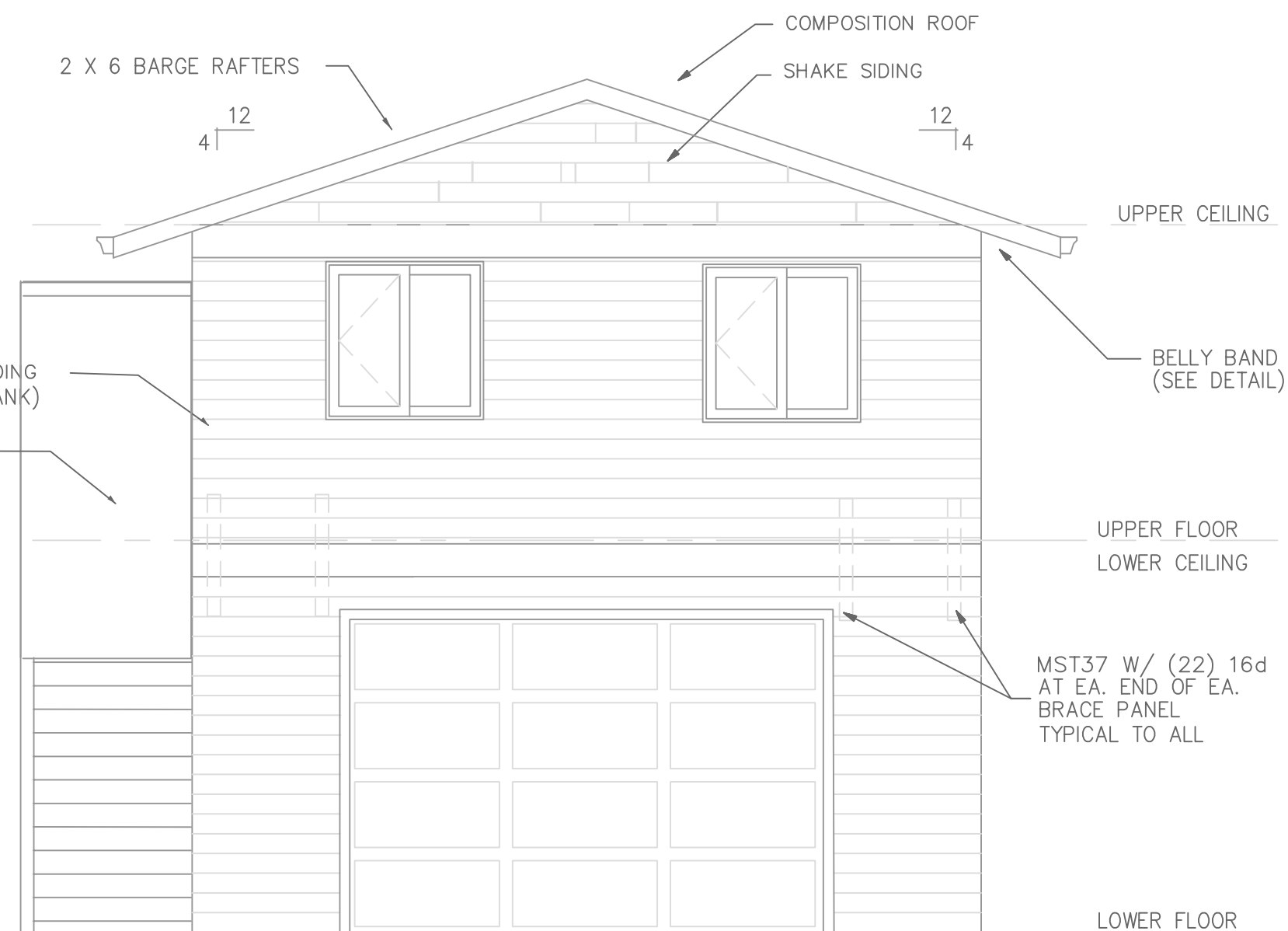
- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 8 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JSTS. UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE I.R.C. (R302.11 AND 302.12)
- LUMBER SPECIES:

A. POSTS, BEAMS, HEADERS	NO. 2 DOUGLAS FIR
JOISTS AND RAFTERS	
B. SILLS, PLATES, BLOCKING BRIDGING ETC.	NO. 3 DOUGLAS FIR
C. STUDS	STUD GRADE D.F.
D. POST & BEAM DECKING	UTILITY GRADE D.F.
E. PLYWOOD SHEATHING	1/2" CDX PLY, 32/16
F. GLU-LAM BEAMS	FB-2400, DRY ADH.
- NAILING SCHEDULE: NOTE - ALL NAILS COMMON NAILS

BRIDGING TO JOIST	2-8d	TOE NAIL
BOTTOM PL. OR TOP PL. TO STUD	4-8d	TOE NAIL
	2-16d	END NAIL
COLLAR TIE RAFTER	3-10d	FACE NAIL
		EA. RFRTR.
BLOCKING BETWEEN TRUSSES TO TOP PLATE	3-8d	TOE NAIL
STUD TO STUDS	16d @ 24"	FACE NAIL
STUD TO STUD AT WALL CORNERS	16d @ 16"	FACE NAIL
TOP PL. TO TOP PL.	16d @ 16"	FACE NAIL
CONTINUOUS HEADER TO STUD	4-16d	TOE NAIL
CLG. JST. TO TOP PL.	3-8d	TOE NAIL
		EA. JST.
CLG. JST. LAP OVER PL.	3-16d	FACE NAIL
CLG. JST. TO RAFTER	(SEE DETAIL)	FACE NAIL
TRUSS OR RAFTER TO TOP PL.	3-16d	TOE NAIL
		2 ON ONE SIDE, 1 ON OPPOSITE SIDE OF EA.
PLYWOOD SUBFLOOR	8d @ 6"	EDGE NAIL
	8d @ 12"	INTERIOR
PLY WALL & ROOF SHEATHING	8d @ 6"	EDGE NAIL
	8d @ 12"	INTERIOR
TOP PL. LAP AT CORNERS	2-16d	FACE NAIL
TOP PL. AT SPLICES	8-16d	FACE NAIL
		(24" LAP)
- ALL STEEL BRACKETS SIMPSON PART NUMBERS OR EQUIVALENTS.



LEFT ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



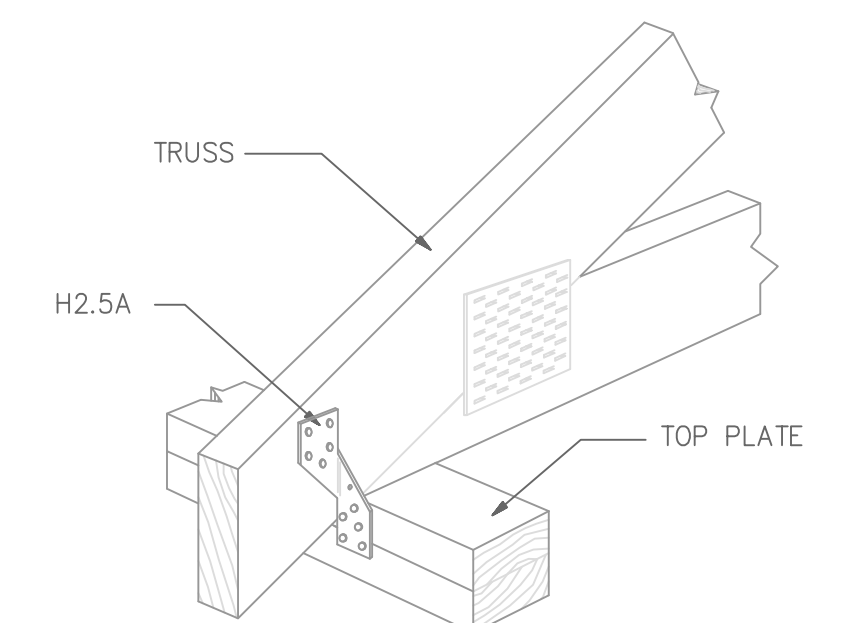
RIGHT ELEVATION
1/4" = 1'-0"



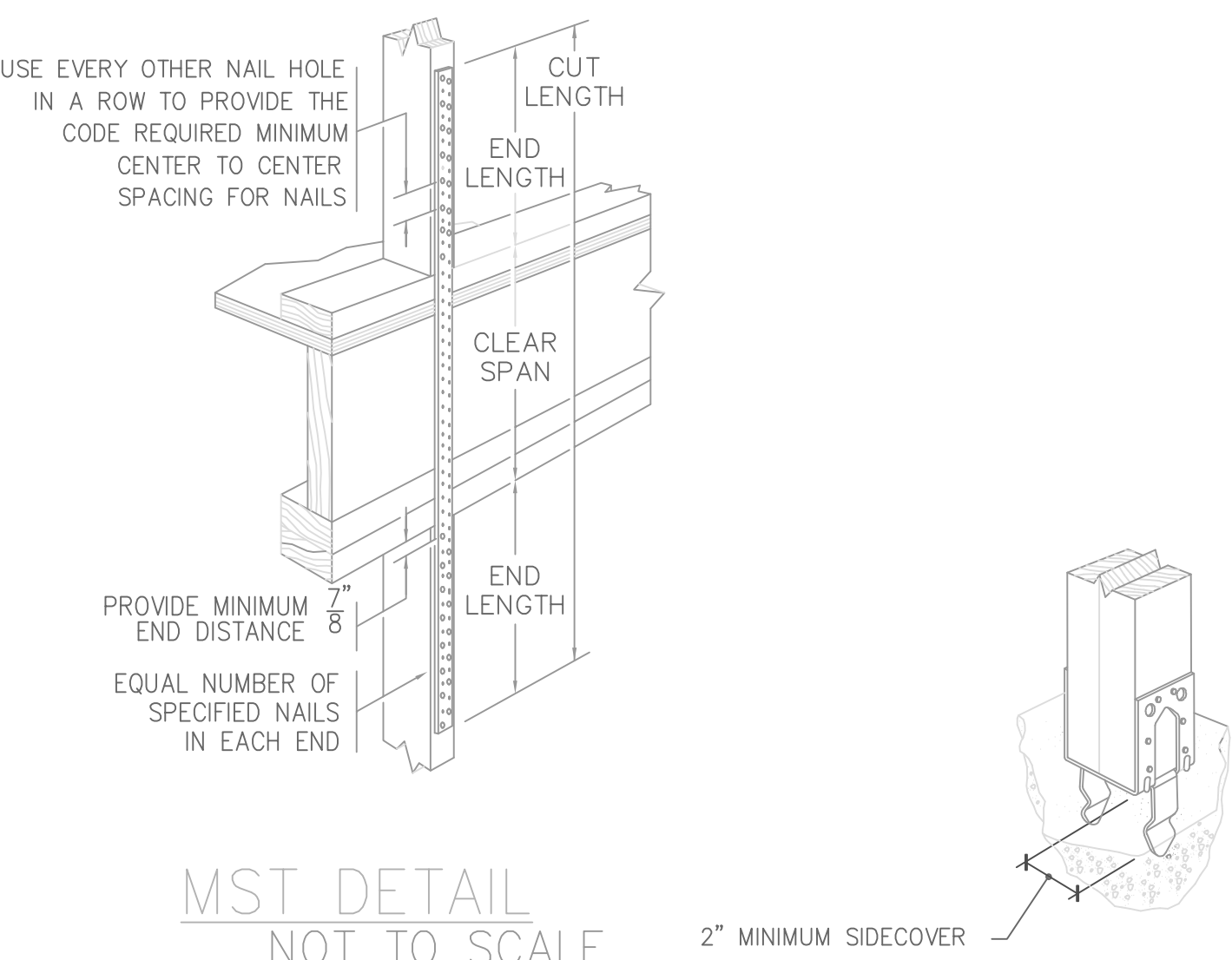
REAR ELEVATION
1/4" = 1'-0"

ELECTRICAL LEGEND

S	SWITCH, SINGLE POLE
S3	SWITCH, 3-WAY
⊕	DUPLEX OUTLET
⊕	220 VOLT OUTLET
[Symbol]	8' FLUORESCENT FIXTURE
[Symbol]	4' FLUORESCENT FIXTURE
[Symbol]	STANDARD INCANDESCENT
[Symbol]	RECESSED INCANDESCENT
[Symbol]	SERVICE PANEL
[Symbol]	SMOKE DETECTOR
[Symbol]	EXHAUST FAN VENTED TO EXTERIOR
[Symbol]	CADET HEATER

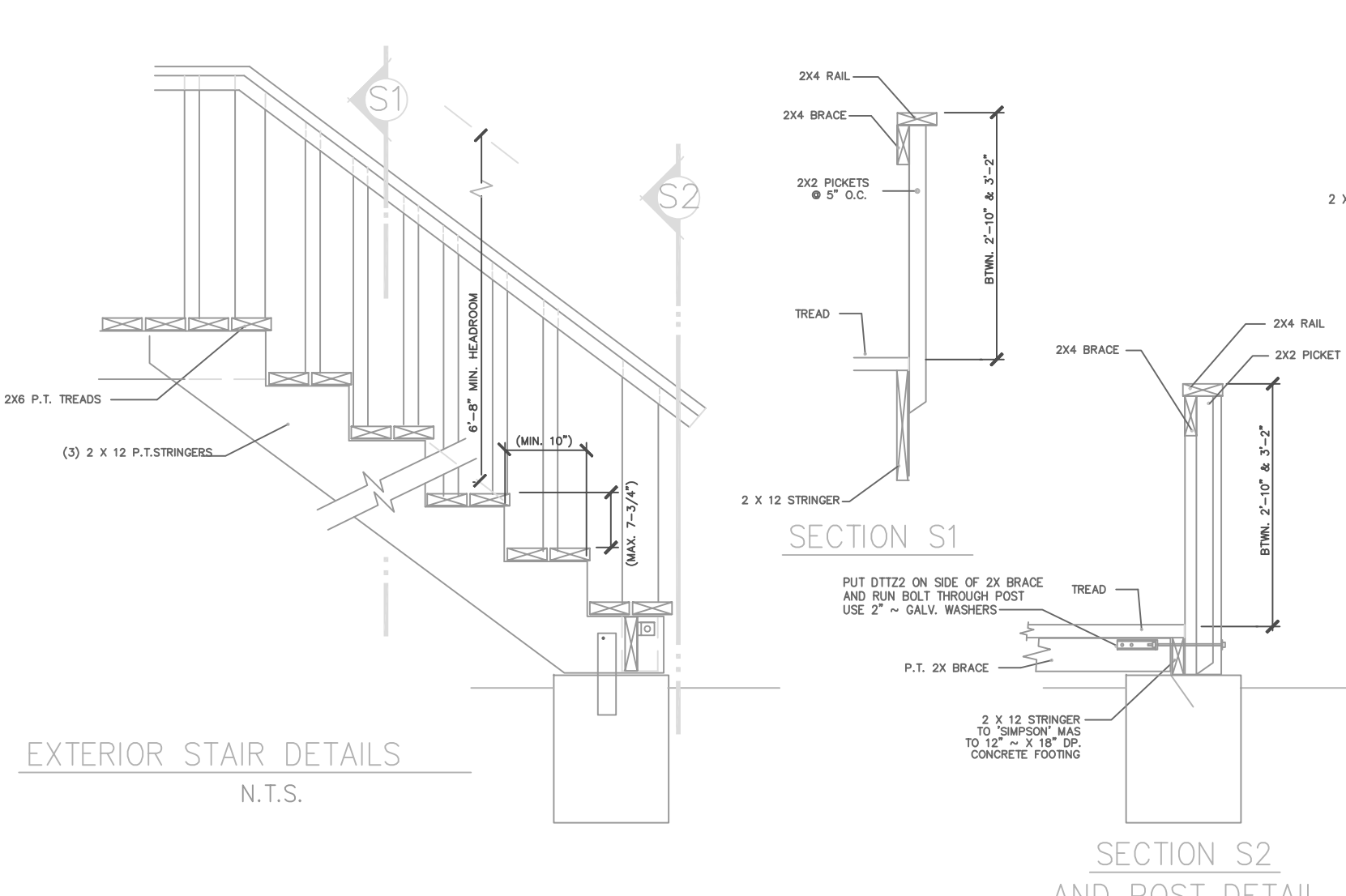


SIMPSON' H2.5A DETAIL
NOT TO SCALE

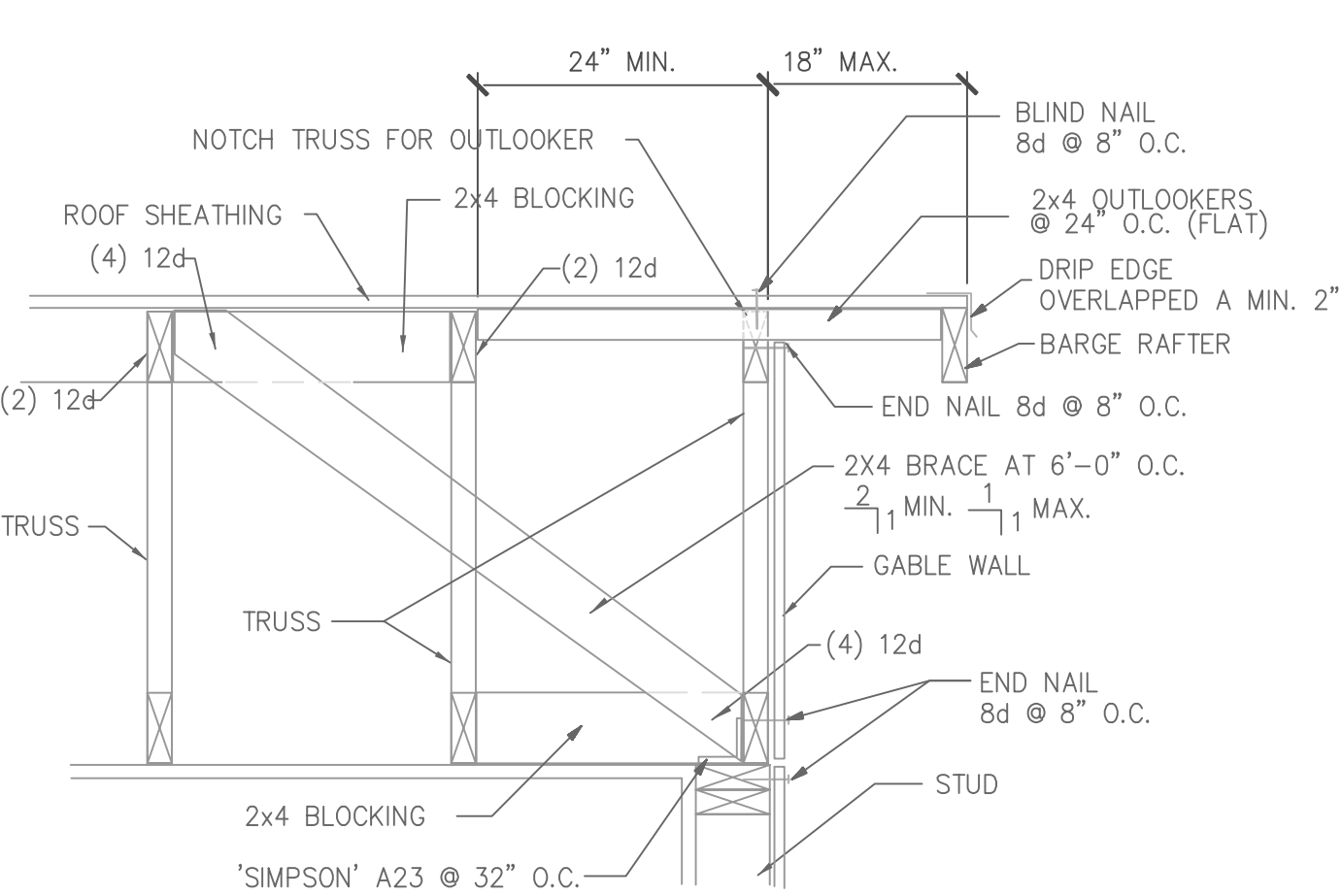


MST DETAIL
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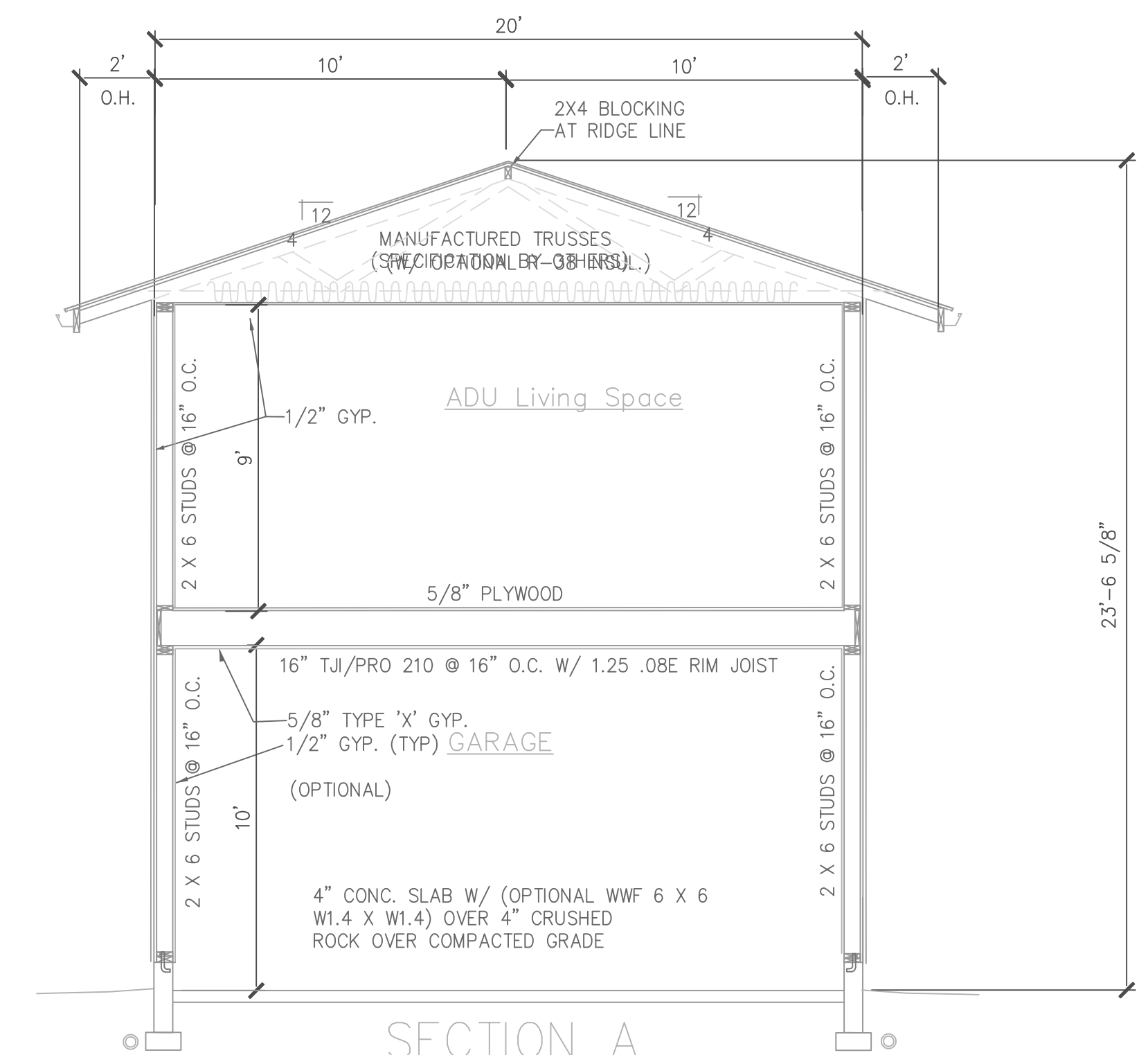
SIMPSON' PB DETAIL
NOT TO SCALE



EXTERIOR STAIR DETAILS
N.T.S.



GABLE END DETAIL
NOT TO SCALE



SECTION A
1/4" = 1'-0"

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Custom Home Design
CAD Northwest

Phone: (503) 625-6330

PLAN NUMBER: G2024BG

20' X 24' GARAGE WITH STORAGE ABOVE

SHEET 1 OF 2

