

PROJECT TEAM

DEVELOPER

HANKINS COMPANIES, LLC 850 BROAD STREET, SUITE 300 BOISE, ID 83709 PHONE:

CONTACT: MARK MITCHELL

GENERAL CONTRACTOR

O'BRIEN & COMPANY 208 NM 21ST AVE, SUITE 201 PORTLAND, OR 97209 PHONE: 971-865-2983

CONTACT: KEELEY O'BRIEN

SURVEY ENGINEER

AKS ENGINEERING 12965 SM HERMAN RD STE 100 TUALATIN, OR 97062 PHONE: 503-563-6151

CONTACT: NICK WHITE, PLS

CIVIL ENGINEER

HBH CONSULTING ENGINEERS, INC. 501 E FIRST STREET NEMBERG, OR 97132 PHONE: 503-554-9553

CONTACT: ANDREY CHERNISHOV, PE, CMRE

LANDSCAPE ARCHITECT

OTTEN + ASSOCIATES LANDSCAPE ARCHITECTURE 3933 SM KELLY AVE., SUITE B PORTLAND, OR 97239 PHONE: 503-972-0311

CONTACT: ERIN HOLSONBACK, LA

HOTEL MANAGEMENT

ESCAPE LODGING 1315 S HEMLOCK ST #3 CANNON BEACH, OR 97110 PHONE: 503-436-2480

CONTACT: PATRICK NOFIELD

ARCHITECT

ABBOTT ARCHITECTURE, LLC 18510 POP KEENEY WAY SUITE 103 BOTHELL, WA 98011 PHONE: 206-778-7008

CONTACT: MICHAEL ABBOTT, AIA, NCARB

GEOTECH ENGINEER

GEO-PACIFIC ENGINEERING, INC. 14835 SM 72ND AVENUE PORTLAND, OR 97224 PHONE: 503-598-8445

CONTACT: BENJAMIN COOK, C.E.G.

STRUCTURAL ENGINEER

SWENSON SAY FAGET 2124 THIRD AVENUE SUITE 100 SEATTLE, WA 98121 PHONE: 206-443-6212

CONTACT: PETE KREBS, PE, SE

FRANCHISE

MARRIOTT INTERNATIONAL, INC. 10400 FERNWOOD ROAD BETHESDA, MD 20817 PHONE: 301-380-3000

ELECTRICAL ENGINEER

LANDIS CONSULTING 6446 FAIRWAY AVE SE SUITE 220 SALEM, OR 97306 PHONE: 503-584-1576 CONTACT: BEN PERRY, P.E.

MECHANICAL ENGINEER - HVAC COMFORT FLOW HEATING & AC

COMFORT FLOW HEATING & AC 1951 DON STREET SPRINGFIELD, OR 97477 PHONE: 541-726-0100

CONTACT: MARK PENROD, P.E., LEED AP

MECHANICAL ENGINEER - PLUMBING

MECH ENGINEERING SERVICES 8630 SM SCHOLLS FERRY RD #220 BEAVERTON, OR 97008 PHONE: 503-457-1110

CONTACT: STEVEN VAN RIESSEN, P.E.

FIRE SPRINKLER ENGINEER

SPRINK-IT PO BOX 2227 OREGON CITY, OR 97045 PHONE: 503-272-6650

CONTACT: TRAVIS SCHWEITZER

Fairfield BY MARRIOTT

GENERATION 4.5

4 STORY 80 GUEST UNITS

DECOR: MODERN CALM

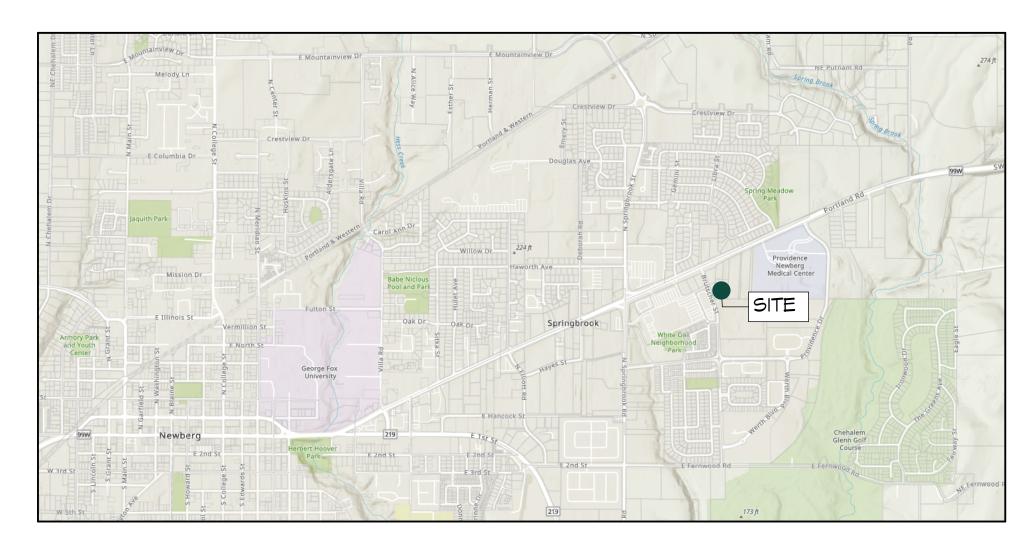
APRIL 1, 2020

DESIGN DEVELOPMENT PHASE PRICING SET (NOT FOR CONSTRUCTION)

MARRIOTT PROJECT #: 11836 NEWBERG - OREGON - U.S.A.

VICINTY MAP

901 N. BRUTSCHER STREET • NEWBERG • OR • 97132





AIRFIELD INN AND SUITES

BY MARRIOTT

PAICING SET ONLY

DATE:

A/1/2020 LAND USE REVIEW SET/PRICING 1/20/2020

A/1/2020 LAND USE REVIEW SET/PRICING 1/20/2020

DEAWN BY:

MV-MA

COVER SHEET

COVER SHEET

ELEVATION REFERENCES

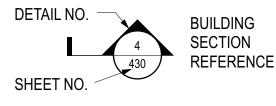
3◄ ELEV. NO. ELEVATION REFERENCE

SHEET NO.

DETAIL NO. EXTERIOR ELEVATION REFERENCE SHEET NO.

DETAIL REFERENCES

DETAIL REFERENCE SHEET NO.



REVISION NUMBER REFERENCE

REVISION NO. REVISION NUMBER REFERENCE CHANGE BULLETIN NO.

DOOR NUMBER REFERENCE

WINDOW TYPE

ACOUSTIC PARTITION REFERENCE

DATUM ELEVATION

COLUMN GRID NUMBER

BATHROOM ACCESSORY MARK NO.; REFER TO THE DESIGN GUIDE PROJECT MANUAL MASTER SECTION 10800.

FINISH TAG; REFER TO THE IFI WITHIN THE DESIGN GUIDE PROJECT MANUAL 318

> FURNISHING REFERENCE NO.; REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL.

LIGHT FIXTURE MARK NO., TYPICAL. SEE LIGHT FIXTURE MATRIX IN DESIGN GUIDE PROJECT MANUAL MASTER

PLUMBING FIXTURE MARK NO. ,TYPICAL. SEE

PLUMBING FIXTURE MATRIX IN DESIGN GUIDE

PROJECT MANUAL MASTER LOBBY **ROOM NAME**

CEILING HEIGHT - ABOVE FIN. FLOOR

MARRIOTT STANDARD DETAIL

DEVELOPER: HAWKINS COMPANIES, LLC 850 BROAD STREET, SUITE 300

BOISE, ID 83709 PHONE: CONTACT: MARK MITCHELL

PROJECT ADDRESS: 901 N BRUTSCHER STREET NEWBERG, OREGON 97132

JURISDICTION: CITY OF NEWBERG, OR

> TAX LOTS 1900 \$ 2002, SW 1/4 SECTION 16, T. 3 S., R. 2 M., M.M. WITHIN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON

PROJECT DESCRIPTION: 4 STORY, 80 UNIT HOTEL BUILDING WITH OUTDOOR POOL

GROSS BUILDING AREA: 42,885 SF

LEGAL DESCRIPTION:

LOT SIZE: 85,060 SF (1.95 ACRE)

BUILDING CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC) SEE SHEET A004 FOR CODE ANALYSIS INFORMATION

ENERGY CODE: 2019 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) - SEE 'ENERGY CODE INFORMATION' FOR

PROJECT REQUIREMENTS

ACCESSIBLE CRITERIA: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

DEVELOPMENT CODE DATA

NEMBERG MUNICIPAL CODE - TITLE 15 - DEVELOPMENT CODE

ZONE: C-2 (COMMUNITY COMMERCIAL DISTRICT)

OVERLAY: AIRPORT OVERLAY (AO) SUB-DISTRICT

USE: HOTEL (PERMITTED)

DEVELOPMENT STANDARDS

LOT/PARKING COVERAGE:

N/A

LANDSCAPE: 15% MIN. OVERALL

MAX BUILDING HEIGHT: NONE

SETBACKS: FRONT: 10 FEET (STREET)

INTERIOR: O FEET

1 SPACE PER GUEST UNIT (HOTEL) PARKING:

TOTAL REQUIRED: 80 STALLS TOTAL SHOWN: 80 STALLS

DESIGN DOCUMENT COMPONENTS

THE DESIGN AND CONSTRUCTION DOCUMENTS INCLUDE THE FOLLOWING COMPONENTS:

1. DESIGN STANDARDS - FAIRFIELD INN & SUITES (MODULES 1-16)

2. CONSTRUCTION DRAWINGS

3. PROJECT MANUAL & SPECIFICATIONS INCLUDING:

INTERIOR FINISH INDEX (IFI)

EXTERIOR FINISH INDEX (EFI) SIGNAGE MANUAL

- INTERIOR GRAPHICS PACKAGE

- EXTERIOR GRAPHICS PACKAGE FOOD SERVICE AND GUEST LAUNDRY EQUIPMENT

PRODUCT MANUAL

TOILET AND BATH ACCESSORY MATRIX &

- TOILET AND BATH ACCESSORY PRODUCT MANUAL

(TECH SHEETS FOR ALL CFRST BRANDS)

PLUMBING FIXTURE MATRIX &

- PLUMBING FIXTURE PRODUCT MANUAL (TECH SHEETS FOR ALL CFRST BRANDS)

LIGHT FIXTURE MATRIX &

- LIGHT FIXTURE PRODUCT MANUAL

(TECH SHEETS FOR ALL CFRST BRANDS)

4. INTERIOR DESIGN SPECIFICATION MANUAL

ARCHITECTURA	L - GENERAL INFORMATION					
A001	COVER SHEET					
A002	DRAWING INDEX & GENERAL INFORMATION					
CIVIL						
G1	CIVIL COVER					
G2	CIVIL NOTES					
<i>G</i> 3	EXISTING CONDITIONS - SURVEY					
C1	SITE PLAN					
C2	COMPOSITE UTILITY PLAN					
СЗ	GRADING PLAN					
C4	DETAILS					
C5	DETAILS					
C6	DETAILS					
CT	DETAILS					
C8	DETAILS					
F1	FIRE PLAN					
EL1	PARKING LOT LIGHTING-PHOTOMETRIC					
EL2	PARKING LOT LIGHTING NOTES					
EL3	PUBLIC STREET LIGHTING-PHOTOMETRIC					
EL4	PUBLIC STREET LIGHTING NOTES					
LANDSCAPE						
L1.0	LANDSCAPE PLAN					
100	LANDS CARE CREEK PETAILS					

L2.0 LANDSCAPE SPECS-DETAILS ARCHITECTURAL SITE INFO & DETAILS A100.1 SITE INFORMATION A110 PORTE COCHERE PORTE COCHERE DETAILS A120 SITE DETAILS

ARCHITECTURAL - OVERALL PLANS, ELEVATIONS, SECTIONS & DETAILS

A201	FIRST FLOOR PLAN				
A202	SECOND FLOOR PLAN				
A203	THIRD FLOOR PLAN				
A204	FOURTH FLOOR PLAN				
A205	ROOF PLAN				
A206	ROOF SHADE DETAILS				
A207	FIRST FLOOR RCP				
A208	TYPICAL UPPPER FLOOR RCP				
A210	EXTERIOR PERSPECTIVES				
A211	EXTERIOR ELEVATIONS				
A212	EXTERIOR ELEVATIONS				
A213	EXTERIOR ELEVATIONS DETAILS				
A220	PRELIM BUILDING SECTIONS				
A221	PRELIM BUILDING SECTIONS				
A230	DOOR SCHEDULE				
A231	MINDOM SCHEDULE				
A240	MARRIOTT STC DIAGRAMS				
A241	MALL ASSEMBLIES				
A242	FLOOR-CEILING ASSEMBLIES				
A250	ASSEMBLY DETAILS				
A252	ASSEMBLY DETAILS				

ARCHITECTURAL - PUBLIC SPACES				
A300	LOBBY AREAS PLAN			
A301	LOBBY AREAS - REFLECTED CEILING PLAN			
A302	LOBBY AREAS - FURNITURE & FINISH PLAN			
A310	LOBBY AREAS - INTERIOR ELEVATIONS			
A320	MELCOME DESK			
A321	MELCOME DESK			
A322	MELCOME DESK			
A323	LOUNGE			
A324	LOUNGE			
A325	BANQUETTE SEATING			
A340	LOBBY AREA DETAILS			
A341	LOBBY AREA CEILING DETAILS			
A350	PUBLIC RESTROOMS			
A360	QUICK PRINT			

ARCHITECTUR	AL - PUBLIC SPACES
A400	BUFFET
A401	COFFFEE BAR & COMMUNAL TABLE
A402	COFFFEE BAR & COMMUNAL TABLE
A410	FOOD PREP PLANS
A411	FOOD PREP & BUFFET EQUIPMENT
A412	FOOD PREP & BUFFET EQUIPMENT ELEVATIONS
A420	FITNESS CENTER
A421	FITNESS CENTER DETAILS
A430	POOL PLANS
A431	POOL PLANS
A432	POOL PIPING PLAN
A433	POOL EQ. ROOM SCHEMATIC PLAN
A434	POOL DETAILS
A440	CORNER MARKET
A441	CORNER MARKET DETAILS
A442	CORNER MARKET EQUIPMENT

A500	GUESTROOM CORRIDOR / GUESTROOM SUPPORT					
A501	GUESTROOM CORRIDOR RCP					
A502	GUEST LAUNDRY - ICE DISPENSER - HYDRATION AREAS + EG					
A510	TYPICAL STAIRS - PROTO					
A520	KING GUESTROOM					
A521	ADA KING GUESTROOM					
A522	KING SUITE GUESTROOM-B					
A523	ADA KING SUITE GUESTROOM-B					
A530	QUEEN QUEEN GUESTROOM					
A531	ADA QUEEN QUEEN GUESTROOM-B					
A550	GUESTROOM DETAILS					
A560	TYPICAL GUESTROOM BATHROOMS					
A561	ADA GUESTROOM BATHROOMS-SHOWER					
A562	ADA GUESTROOM BATHROOMS-TUB					
A580	GUESTROOM BATHROOM DETAILS					
A581	ADA GUESTROOM BATHROOM DETAILS					
A600	EMPLOYEE BREAK ROOM					
A610	ADMINISTRATION AREA					
A620	BOH LAUNDRY					
A621	BOH LAUNDRY EQUIPMENT					

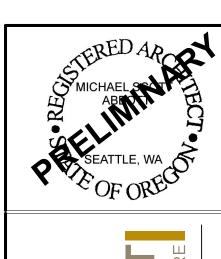
S1.01	GENERAL STRUCTURAL NOTES					
51.02	GENERAL STRUCTURAL NOTES					
S1.03	STATEMENT OF SPECIAL INSPECTIONS					
52.01	FOUNDATION PLAN					
52.02	SECOND FLOOR FRAMING PLAN					
52.03	THIRD FLOOR FRAMING PLAN					
52.04	FOURTH FLOOR FRAMING PLAN					
S2.05	ROOF FRAMING PLAN					
52.06	HIGH ROOF FRAMING PLAN					
52.07	PARTIAL FRAMING PLANS					
53. <i>0</i> 1	CONCRETE DETAILS					
S3. <i>0</i> 2	CONCRETE DETAILS					
S3.03	CONCRETE DETAILS					
54.01	STEEL DETAILS					
54.02	STEEL DETAILS					
55.01	WOOD FRAMING DETAILS					
S5. <i>0</i> 2	WOOD FRAMING DETAILS					
55. <i>0</i> 3	WOOD FRAMING DETAILS					
55.04	WOOD FRAMING DETAILS					
S5.05	WOOD FRAMING DETAILS					
S5.06	MOOD FRAMING DETAILS					

E001	ELECTRICAL COVER SHEET					
E002	ELECTRICAL ABBREVIATIONS & SYMBOL LEGEND					
E010	ELECTRICAL DETAILS SHEET					
E020	ONE-LINE DIAGRAM					
E030	ELECTRICAL SCHEDULES					
E031	EQUIPMENT ELECTRICAL CONNECTION SCHEDULES					
E040	LUMINAIRE SCHEDULE					
E101	ELECTRICAL SITE PLAN					
E201	FIRST FLOOR LIGHTING PLAN					
E202	SECOND FLOOR LIGHTING PLAN					
E203	THIRD FLOOR LIGHTING PLAN					
E204	FOURTH FLOOR LIGHTING PLAN					
E301	FIRST FLOOR POWER PLAN					
E302	SECOND FLOOR POWER PLAN					
E303	THIRD FLOOR POWER PLAN					
E304	FOURTH FLOOR POWER PLAN					
E305	ROOF POWER PLAN					
E401	FIRST FLOOR LOW VOLTAGE PLAN					
E402	SECOND FLOOR LOW VOLTAGE PLAN					
E403	THIRD FLOOR LOW VOLTAGE PLAN					
E404	FOURTH FLOOR LOW VOLTAGE PLAN					
E501	FIRST FLOOR FIRE ALARM PLAN					
E502	SECOND FLOOR FIRE ALARM PLAN					
E503	THIRD FLOOR FIRE ALARM PLAN					
E504	FOURTH FLOOR FIRE ALARM PLAN					
E600	ENLARGED FOOD PREP ELECTRICAL PLAN					
E601	ENLARGED POOL ELECTRICAL PLAN					
E701	PANEL SCHEDULES					
E702	PANEL SCHEDULES					
E703	PANEL SCHEDULES					
E704	PANEL SCHEDULES					
E705	PANEL SCHEDULES					
E706	PANEL SCHEDULES					

MO.1 SPECIFICATIONS, SYMBOLS & ABBREVIATIONS					
MO.2	SPECIFICATION & SCHEDULES				
M0.3	SCHEDULES				
M2.1	HVAC - FIRST FLOOR				
M2.2	HVAC - SECOND FLOOR				
M2.3	HVAC - THIRD FLOOR				
M2.4	HVAC - FOURTH FLOOR				
M2.5	HVAC - ROOF LEVEL				
M3.0	RISER DIAGRAMS				
M3.1	DETAILS				

P-001	PLUMBING LEGENDS & GENERAL NOTES
P-111	PLUMBING FIRST FLOOR WASTE & VENT PLAN
P-112	PLUMBING FIRST FLOOR DOMESTIC WATER PLAN
P-121	PLUMBING SECOND FLOOR WASTE & VENT PLAN
P-122	PLUMBING SECOND FLOOR DOMESTIC WATER PLAN
P-131	PLUMBING THIRD FLOOR WASTE & VENT PLAN
P-132	PLUMBING THIRD FLOOR DOMESTIC WATER PLAN
P-141	PLUMBING FOURTH FLOOR WASTE & VENT PLAN
P-142	PLUMBING FOURTH FLOOR DOMESTIC WATER PLAN
P-151	PLUMBING ROOF PLAN
P-601	PLUMBING SCHEDULES
P-602	PLUMBING RISER DIAGRAM - WASTE & VENT
P-603	PLUMBING RISER DIAGRAM - WASTE & VENT
P-604	PLUMBING RISER DIAGRAM - DOMESTIC WATER
P-605	PLUMBING RISER DIAGRAM - DOMESTIC WATER

FP 2	FIRE SPRINKLER STAND PIPE
FP 3	FIRST FLOOR FIRE SPRINKLER PLAN
FP 4	SECOND FLOOR FIRE SPRINKLER PLAN
FP 5	THIRD FLOOR FIRE SPRINKLER PLAN
FP 6	FOURTH FLOOR FIRE SPRINKLER PLAN

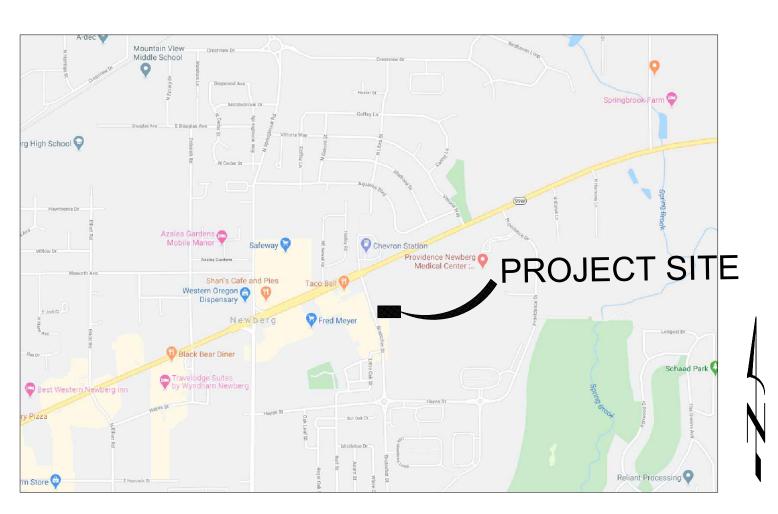




UITE AIRFIE

Fairfield Inn and Suites Marriott 901 N. Brutscher Street Newberg, OR

NEWBERG, OREGON FEBRUARY, 2020



VICINITY MAP

NOT TO SCALE

LEGEND

---- PROPOSED SAWCUT LINE

PROPOSED CONCRETE

PROPOSED ASPHALT

PROPOSED LANDSCAPING

ABBREVIATIONS

@ AC BV CB C/LP CO TO	AT ASPHALT BUTTERFLY VALVE CATCH BASIN CENTERLINE CORRUGATED METAL PIPE CLEAN OUT CLEAN OUT CLEAN OUT TO GRADE CUBIC YARDS DRIVE DUCTILE IRON PIPE EAST ELEVATION EDGE OF PAVEMENT EXISTING FLANGE GUTTER GATE VALVE HIGH DENSITY POLYETHYLENE HORIZONTAL HIGH POINT HYDRANT INVERT ELEVATION LINEAR FEET LINE LOW POINT LEFT MANHOLE MECHANICAL JOINT	N NE NTS NW PC C PT / C PV W RT SE W ST A ST A ST YP VER W W/R	NORTH NORTH EAST NOT TO SCALE NORTH WEST POINT OF CURVATURE POINT OF REVERSE CURVE POINT OF TANGENCY PROPERTY LINE POLYVINYL CHLORIDE POINT OF VERTICAL INTERSECTION RIGHT OF WAY RIGHT SOUTH SOUTH EAST SOUTH WEST STORM DRAIN SQUARE FEET SANITARY SEWER STREET STATION SLOPE EQUALS SIDEWALK THRUST BLOCK TYPICAL VERTICAL WEST WITH WATER
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TAX LOT INFORMATION

THIS PROJECT IS LOCATED ON TAX LOTS 1900 & 2002, SW $\frac{1}{4}$ SECTION 16, T. 3 S., R. 2 W., W.M. WITHIN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON.

VERTICAL DATUM

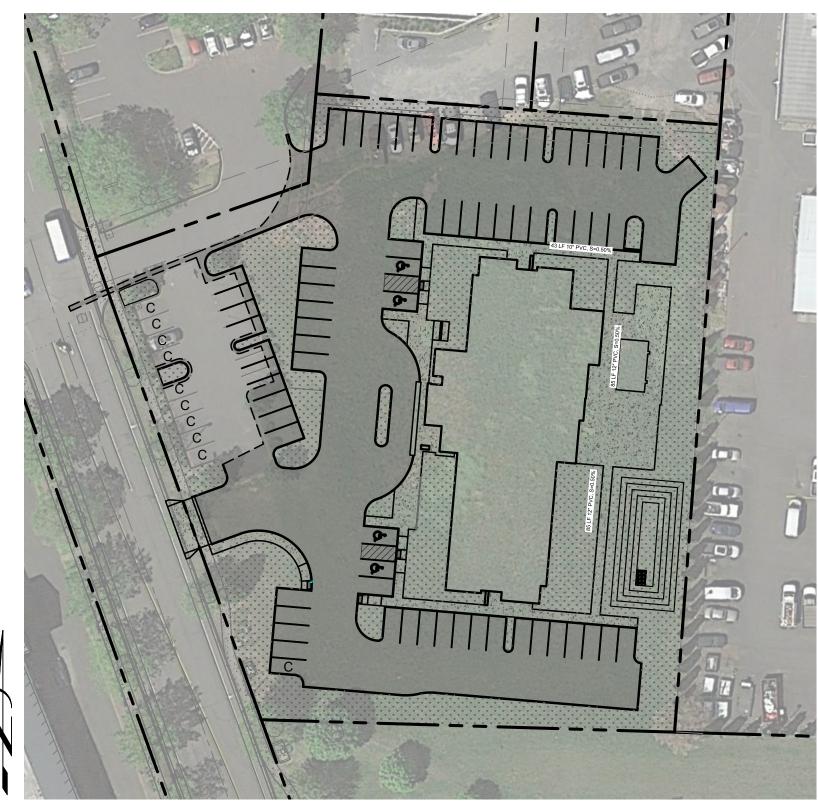
ELEVATIONS ARE BASED ON NAVD88 DERIVED FROM THE TRIMBLE NOW VRS.

PROJECT SITE ADDRESS

TAX LOT 1900 AND 2002 NEWBERG, OR 97132

LOCATE

(48 HOUR NOTICE PRIOR TO EXCAVATION) OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090 & ORS 757.542 THROUGH 757.562 AND ORS 757.993. YOU MAY OBTAIN COPIES OF THE RULES FROM THE CENTER BY CALLING (503) 232-1987. ONE CALL SYSTEM NUMBER 1-800-332-2344.



SITE PLAN

DEVELOPER:

HAWKINS COMPANIES LCC (FOR ESCAPE LODGING COMPANY) 855 BROAD STREET, SUITE 300 BOISE, ID 83702 CONTACT: BRANDON WHALLON PH: (208) 376-8522 EMAIL: BWHALLON@HCOLLC.COM

CIVIL ENGINEER

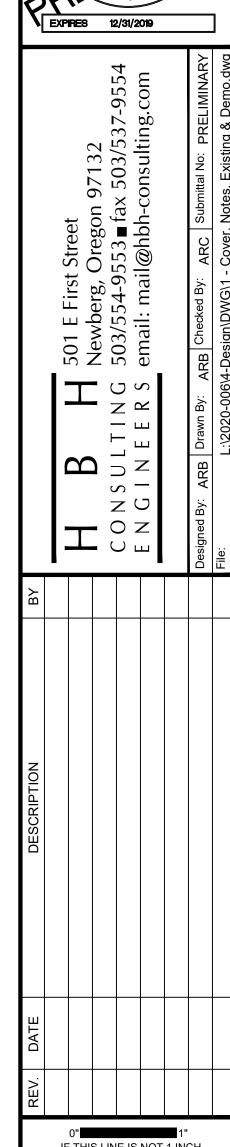
HBH CONSULTING ENGINEERS, INC. 501 E FIRST STREET NEWBERG, OREGON 97132 CONTACT: ANDREY CHERNISHOV, PE PH: (503) 554-9553 EMAIL: ACHERNISHOV@HBH-CONSULTING.COM

SURVEYOR:

AKS ENGINEERING & FORESTRY, LLC 12965 SW HERMAN RD, STE 100 TUALATIN, OR 97062 PH: (503) 563-6151 CONTACT: NICK WHITE

SHEET LIST TABLE:

- G1 COVER
- G2 NOTES
- G3 EXISTING CONDITIONS & DEMO C1 SITE PLAN
- C2 COMPOSITE UTILITY PLAN
- C3 GRADING PLAN C4 DETAILS
- C5 DETAILS
- C6 DETAILS
- C7 DETAILS C8 DETAILS
- F1 FIRE PLAN



IF THIS LINE IS NOT 1 INCH SCALE IS NOT AS SHOWN

G

3/30/2020 2020-006

GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS, SPECIFICATIONS, CODES AND REQUIREMENTS OF THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT AND ORDER 07-20, THE OREGON STATE PLUMBING SPECIALITY CODE, AND THE UNIFORM BUILDING CODE.
- 2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND OTHERS AS NECESSARY TO PROVIDE A COMPLETED PROJECT. THE CONTRACTOR SHALL HAVE APPROPRIATE PERMITS BEFORE COMMENCING WORK ON THIS PROJECT.
- 3. THE CONTRACTOR SHALL HAVE APPROPRIATE PERMITS BEFORE COMMENCING WORK ON THIS PROJECT.
- 4. THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS WITH ALL APPROVED REVISIONS ON THE PROJECT SITE AT ALL TIMES. ANY CHANGES SHALL BE DESIGNED BY THE ENGINEER AND SUBMITTED TO AGENCIES FOR APPROVAL.
- 5. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THIS SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THIS DRAWING, SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND, UNLESS OTHERWISE NOTED ON THE PLANS.
- 6. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO STARTING ANY WORK, INCLUDING POTHOLING.
- 7. THE EXISTENCE AND APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE DRAWINGS WERE DETERMINED BY A SEARCH OF AVAILABLE PUBLIC RECORDS. THE LOCATIONS AND DEPTHS OF THESE UTILITIES ARE FROM THESE RECORDS AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. NO RESPONSIBILITY IS ASSUMED BY EITHER THE OWNER OR THE ENGINEER FOR ACCURACY OR COMPLETENESS.
- 8. CONTRACTOR TO NOTIFY THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT AND ALL UTILITY COMPANIES A MINIMUM OF 48-HOURS (2 BUSINESS DAYS) PRIOR TO THE START OF CONSTRUCTION BY CALLING "ONE CALL" AT (503) 246-6699 OR 1-800-332-2344 AND ALL OTHER APPLICABLE AGENCIES, AND SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF OAR 952-001-0010 THROUGH OAR 952-001-00 90.
- 9. AFTER LOCATES ARE REQUESTED AND UTILITY COMPANIES HAVE PROVIDED LOCATES, CONTRACTOR SHALL POTHOLE TO THE DEPTH OF THE PROPOSED UTILITY TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND PROVIDE (ENGINEERING COMPANY NAME) AND THE APPROPRIATE INSPECTOR, 72-HOURS NOTICE OF ANY POTENTIAL CONFLICTS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF BURIED AND OVERHEAD UTILITIES.
- 11. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.
- 12. ALL EXISTING SITE CONDITIONS AND ELEVATIONS SHOWN ON THIS PLAN ARE FROM AS-BUILT DRAWINGS AND A SURVEY COMPLETED BY MACDONALD AND ASSOCIATES LAND SURVEYING. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS TO HIS OR HER SATISFACTION.
- 13. ANY ALTERATION OR VARIANCE FROM THESE PLANS, SHALL FIRST BE APPROVED BY THE APPLICABLE AGENCY REPRESENTATIVE.
- 14. ANY CONSTRUCTION OBSERVATION BY THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT OR THE ENGINEER, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
- 15. APPROVED EROSION CONTROL MEASURES SHALL BE TAKEN. THE CONTRACTOR SHALL PROVIDE All MATERIAL, EQUIPMENT, AND PERSONNEL NECESSARY TO MAINTAIN SUCH EROSION PROTECTION MEASURES. ANY DAMAGE CAUSED BY EROSION SHALL BE CORRECTED BY THE CONTRACTOR.
- 16. DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL STUMPS AND VEGETATION DEBRIS. CONFORMANCE WITH ALL REGULATIONS AND PERMITTING REQUIREMENTS FOR SUCH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 17. ALL OPEN CUTTING OF EXISTING STREETS SHALL BE PATCHED WITH A.C., COLD (TEMPORARY) OR HOT MIX, AT THE CLOSE OF EACH WORK DAY, TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT.
- 18. ALL TRAFFIC CONTROL SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS MODIFIED BY THE OREGON SUPPLEMENTS.
- 19. PROVIDE 12-GAGE TRACER WIRE FOR ALL UNDERGROUND STORM DRAINS, WATERLINES, AND SANITARY SEWERS. BLUE WATER. GREEN STORM AND SANITARY.
- 20. ALL PIPE BEDDING SHALL BE 3/4" O" CRUSHED ROCK FROM A MINIMUM 4-INCHES BELOW THE BOTTOM OF THE PIPE TO THE SPRING LINE FOR PIPE SMALLER THAN 18-INCH DIAMETER, AND 6-INCH MINIMUM FOR 18-INCH DIAMETER OR LARGER. TRENCH BACKFILL SHALL BE AS NOTED IN THE TRENCH BACKFILL DETAIL.
- 21. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH CITY INSPECTORS PRIOR TO STARTING ANY WORK. CITY OF NEWBERG PUBLIC WORKS INSPECTION REQUEST NUMBER: (503) 537-1236.
- 22. CONTRACTOR TO LOCATE ALL EXISTING PROPERTY MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 23. CONTRACTOR TO MAINTAIN A SET OF CONSTRUCTION PLANS "REDLINED" DOCUMENTING THE INSTALLATION OF IMPROVEMENTS IN ACCORDANCE WITH THE CITY OF NEWBERG'S REQUIREMENTS FOR AS-BUILT RECORD DRAWING OF PUBLIC IMPROVEMENTS.
- 24. CONTRACTOR TO PROVIDE A SET OF AS-BUILT REDLINED PLANS TO THE OWNER AND ENGINEER IN ACCORDANCE WITH THE CITY OF NEWBERG'S REQUIREMENTS FOR AS-BUILT RECORD DRAWINGS.

MISC UTILITES

- 1. ELECTRICAL, TELEPHONE, GAS AND TV SERVICE SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY.
- 2. UTILITY TRENCHES ARE TO BE DUG, UTILITY CONDUIT IS TO BE PLACED, UTILITY TRENCHES ARE TO BE BACKFILLED, VAULTS ARE TO BE INSTALLED AND, TRANSFORMER PADS ARE TO BE POURED BY THE CONTRACTOR PER ELECTRICAL, TELEPHONE, GAS, AND TV SERVICE PLANS AND STANDARD SPECIFICATIONS.

WATER LINES

- 1. NO VALVES SHALL BE OPENED OR CLOSED WITHOUT THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT PERSONNEL ON SITE TO OPERATE THEM.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE PROPER SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES AS REQUIRED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY AND STATE DEPARTMENT OF HEALTH, AND AS SHOWN ON THESE PLANS.
- 3. WATER LINE DISINFECTION AND PRESSURE TESTING SHALL CONFORM TO AWWA C-601 AND THE CITY OF NEWBERG PUBLIC WORKS WATER SYSTEM STANDARDS.
- 4. CONTRACTOR TO PROVIDE INVENTORY OF ALL VALVES INSTALLED ON THE PROJECT PER CITY OF NEWBERG AS-BUILT REQUIREMENTS. CONTRACTOR TO IDENTIFY TYPES OF FITTING IN INVENTORY.

SITE PREPARATION

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST OR DEBRIS.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ON-SITE STREETS CLEAN OF MUD, DUST OR DEBRIS AND TO PREVENT TRACKING OF DIRT OR ROCKS ON TO STREETS LEADING TO AND FROM THE SITE. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- 3. AREAS OF PROPOSED BUILDINGS, STREETS, AND AREAS OF FILL TO BE CLEARED OF VEGETATION AND ORGANIC AND INORGANIC DEBRIS.
- a. INORGANIC DEBRIS TO BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF BY THE CONTRACTOR.
 b. ORGANIC MATERIALS FROM CLEARING TO BE REMOVED FROM THE SITE AND PLACED AS LANDSCAPE FILL IN AREAS NOT PLANNED FOR STRUCTURES OR STREETS.
- 4. ORGANIC-RICH TOPSOIL TO BE STRIPPED FROM CONSTRUCTION AREAS AND LOCATIONS WHERE ENGINEERED FILL IS TO BE PLACED.
- a. THE FINAL DEPTH OF SOIL REMOVAL TO BE DETERMINED BASED ON SITE INSPECTIONS BY THE PROJECT GEOTECHNICAL ENGINEER AFTER INITIAL STRIPPING/EXCAVATION WORK.
 b. STRIPPED TOPSOIL TO BE STOCKPILED IN DESIGNATED AREAS.
- c. STRIPPING OPERATIONS TO BE OBSERVED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER OR S/HER REPRESENTATIVE.
- 5. UNDOCUMENTED FILLS, BURIED TOPSOIL AND SUBSURFACE STRUCTURES ENCOUNTERED DURING GRADING AND EXCAVATION TO BE REMOVED AND THE EXCAVATIONS BACKFILLED WITH ENGINEERED FILL.
- 6. EXPANSIVE SOILS ENCOUNTERED DURING GRADING AND EXCAVATION OPERATIONS TO BE COMPLETELY
- REMOVED BENEATH FOUNDATIONS AND SLABS ON GRADE TO AN AVERAGE DEPTH OF 3-FEET.

 a. EXCAVATIONS FOR EXPANSIVE SOIL REMOVAL TO BE BACKFILLED WITH ENGINEERED FILL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- b. EXPANSIVE SOILS TO BE COMPLETELY REMOVED 5-FEET BEYOND THE BUILDING ENVELOPES.
- 7. AFTER STRIPPING OF AN AREA IS APPROVED BY THE GEOTECHNICAL ENGINEER, THE AREA SHALL BE RIPPED OR TILLED TO A DEPTH OF 12-INCHES, MOISTURE CONDITIONED, ROOT PICKED, AND COMPACTED IN-PLACE PRIOR TO PLACEMENT OF ENGINEERED FILL OR CRUSHED AGGREGATE BASE FOR PAVEMENT.
- 8. EXPOSED SUBGRADE SOILS TO BE EVALUATED BY THE GEOTECHNICAL ENGINEER.
 a. FOR LARGE AREAS PERFORM A PROOF-ROLL OF THE EXPOSED SUBGRADE WITH A FULLY LOADED DUMP TRUCK OR OTHER MEANS ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- 9. PRIOR TO PLACEMENT OF ENGINEERED FILL, OR IDENTIFIED SOFT/LOOSE SOILS ENCOUNTERED DURING SUBGRADE PREPARATION TO BE; a) COMPACTED TO A FIRM, UNYIELDING CONDITION, b) OVER-EXCAVATED AND REPLACED WITH ENGINEERED FILL c) STABILIZED WITH ROCK.
- 10. THE DEPTH OF OVER-EXCAVATION, IF REQUIRED, TO BE EVALUATED BY THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION.

PAVING NOTES

- 1. PAVING NOTES AND DETAILS WITHIN THESE PLANS ARE INTENDED FOR DRY WEATHER CONSTRUCTION CONDITIONS.
- 2. POCKETS OF ORGANIC DEBRIS OR LOOSE FILL ENCOUNTERED DURING RIPPING OR FILL SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- 3. PERFORM PROOF-ROLL DIRECTLY ON PREPARED SUBGRADE WITH A FULLY LOADED DUMP TRUCK DURING DRY WEATHER. SOFT AREAS THAT PUMP, RUT OR WEAVE TO BE STABILIZED PRIOR TO PAVING.
 - a. PROOF-ROLL TO BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE.
- 4. DENSITY TESTING FOR COMPLIANCE WITH PROJECT PLANS/SPECIFICATIONS TO BE PERFORMED BY THE PROJECT GEOTECHNICAL ENGINEER DURING PLACEMENT OF PAVEMENT SECTION MATERIALS.

GRADING NOTES

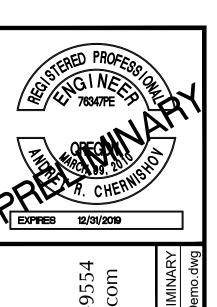
- 1. SPREADING OF MUD OR DEBRIS UPON ANY PUBLIC ROAD IS PROHIBITED. THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION, AT ANY TIME.
- 2. EFFECTIVE EROSION CONTROL, DUST CONTROL, AND DRAINAGE CONTROL IS REQUIRED AT ALL TIMES. THE CITY OF NEWBERG MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION, AT ANY TIME.
- 3. EMBANKMENTS OR STRUCTURAL FILLS FOR ROADWAY CONSTRUCTION OR FILLS TO BE CONSTRUCTED ON BUILDABLE LOTS SHALL BE CONSTRUCTED FROM EXCAVATED MATERIALS ACCEPTABLE TO THE SOILS ENGINEER AND SHALL BE BROUGHT TO THE GRADE IN LIFTS NOT TO EXCEED 10-INCH LOOSE THICKNESS. EACH LIFT SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS OBTAINED BY AASTHO T-99 COMPACTION TEST.
- 4. STRUCTURAL FILLS SHALL COMPLY WITH APPENDIX CHAPTER 33 OF THE UNIFORM BUILDING CODE. THE FILL SLOPES SHALL NOT EXCEED 2:1 AT FINISH GRADE. NO ROCK OR SIMILAR MATERIAL EXCEEDING A 12-INCH DIAMETER SHALL BE ALLOWED IN THE STRUCTURAL FILL.
- 5. IF SPRINGS OR GROUND WATER ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE SOILS AND CIVIL ENGINEERS AND THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT OF THE CONDITIONS FOUND AND COORDINATE HIS ACTIVITIES IN A MANNER THAT WILL ALLOW THE ENGINEERS TIME TO REVIEW THE SITUATION AND PEPARE A PLAN TO PROPERLY MITIGATE THE WATER ENCOUNTERED. THE CONTRACTOR SHALL HAVE THE SOILS ENGINEER TAKE COMPACTION TESTS. A MINIMUM OF ONE TEST WILL BE REQUIRED FOR EACH 2-FEET OF FILL.

SANITARY SEWERS

- 1. THE ENDS OF SANITARY SERVICE LATERALS OR PIPE STUBS SHALL BE MARKED WITH A ONE PIECE 2"X4" MARKER EXTENDING A MINIMUM OF 24-INCHES ABOVE THE GROUND WITH THE END PAINTED GREEN. THE 2"X4" TOP TO BE MARKED WITH DEPTH OF LATERAL MEASURED FROM GROUND TO INVERT OF PIPE PER THE CITY OF NEWBERG PUBLIC WORKS STANDARDS.
- 2. ALL SANITARY SEWER PIPE SHALL BE PVC PIPE, CONFORMING TO ASTM D-3034 (SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D-2321, UNLESS OTHERWISE NOTED.
- 3. ALL SANITARY SERVICE LATERAL CONNECTIONS ARE TO BE TEES UNLESS OTHERWISE NOTED.
- 4. MAINTAIN A MINIMUM 10-FOOT HORIZONTAL CLEAR DISTANCE BETWEEN WATER AND SANITARY SEWER LINES EXCEPT AT CROSSINGS. VERTICAL SEPARATION SHALL BE A MINIMUM OF 18-INCHES CLEAR DISTANCE WHERE WATER LINES CROSS OVER SANITARY SEWER LINES.
- 5. BOTH SANITARY SEWER AND WATER LINES SHALL BE TESTED TO ENSURE SYSTEM INTEGRITY. BOTH SHALL BE TESTED AFTER CONSTRUCTION IS COMPLETED INCLUDING SERVICE LATERAL, BACKFILLING, AND COMPACTION OF BASE ROCK.
- 6. UNLESS OTHERWISE NOTED ON THE PLANS, LATERALS SHALL BE 4-INCH DIAMETER WITH A MINIMUM GRADE OF 2.0%.
- 7. THE LOCATION AND/OR STATIONING AND THE VERTICAL DISTANCE ROM THE GROUND TO THE INVERT ELEVATION OF ALL SEWER SERVICE LATERALS SHALL BE RECORDED BY THE CONTRACTOR AND PROVIDED TO THE ENGINEER.
- 8. BACKFILL MUST BE COMPACTED TO A DENSITY NOT LESS THAN 95% IN PAVED OR STRUCTURAL FILL AREAS. MINIMUM COMPACTION IN UNPAVED, NON-STRUCTURAL FILL AREAS IS 90%. COMPACTION IS TO BE PER ASTM D-1557. MAXIMUM COMPACTION TEST SPACING OVER PUBLIC SANITARY LINES IS 100-FEET.
- 9. ALL SANITARY SEWER LINES SHALL BE THOROUGHLY CLEANED PRIOR TO MANDRELL TESTING, AIR TESTING, VIDEO TAPING, AND MANHOLE TESTING. (VACUUM TEST REQUIRED.)
- 10. NOTIFY THE CITY OF NEWBERG PUBLIC WORKS INSPECTOR 48-HOURS PRIOR TO PERFORMING ANY WORK. CALL THE CITY OF NEWBERG INSPECTION REQUEST LINE AT (503) 537-1273.
- 11. CLEANOUTS REQUIRED FOR ALL LATERALS (SINGLE AND DOUBLE) AT RIGHT-OF-WAY.

STORM DRAINS

- ALL STORM DRAIN CONNECTIONS ARE TO BE TEES UNLESS OTHERWISE NOTED.
- 2. ALL STORM DRAIN PIPE SHALL BE INSTALLED WITH WATERTIGHT JOINTS.
- 3. STORM DRAIN PIPE SHALL BE AS NOTED ON PLANS AND INSTALLED IN ACCORDANCE WITH ASTM D-2321, UNLESS OTHERWISE NOTED.
- 4. BACKFILL MUST BE COMPACTED TO A DENSITY NOT LESS THAN 95% IN PAVED OR STRUCTURAL FILL AREAS. MINIMUM COMPACTION IN UNPAVED, NON-STRUCTURAL FILL AREAS IS 90%. COMPACTION IS TO BE PER ASTM D-1557. MAXIMUM COMPACTION TEST SPACING OVER PUBLIC STORM LINES IS 100-FEET.
- 5. STORM DRAIN LINES SHALL BE TESTED ACCORDING TO THE REQUIREMENTS OF THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT. TESTING SHALL BE PERFORMED AFTER CONSTRUCTION IS COMPLETED INCLUDING BACKFILLING AND COMPACTION OF BASE ROCK. THE DEFLECTION TEST AS DESCRIBED IN THE AMERICAN PUBLIC WORKS ASSOCIATION MANUAL OREGON CHAPTER AND THE CITY OF NEWBERG PUBLIC WORKS CONSTRUCTION STANDARDS IS REQUIRED. ALL STORM DRAIN LINES SHALL BE THOROUGHLY CLEANED PRIOR TO DOING ANY TESTING OR VIDEO TAPING.
- 6. THE ENDS OF STORM DRAIN LATERALS OR PIPE STUBS SHALL BE MARKED WITH A ONE PIECE 2"X4" MARKER EXTENDING A MINIMUM OF 24-INCHES ABOVE THE GROUND WITH THE END PAINTED WHITE.
- 7. NOTIFY THE CITY OF NEWBERG PUBLIC WORKS DEPARTMENT 48-HOURS PRIOR TO PERFORMING ANY WORK.
- 8. ALL LATERALS WILL BE 4-INCH DIAMETER, WHITE IN COLOR AND HAVE A MINIMUM SLOPE OF 2.0% UNLESS OTHERWISE NOTED ON PLANS.
- 9. THE LOCATION AN/OR STATIONING AND VERTICAL DISTANCE FROM THE GROUND TO THE INVERT ELEVATION OF ALL STORM SERVICE LATERALS SHALL BE RECORDED BY THE CONTRACTOR AND PROVIDED TO THE ENGINEER.
- 10. CLEANOUTS REQUIRED FOR ALL LATERALS AT RIGHT-OF-WAY



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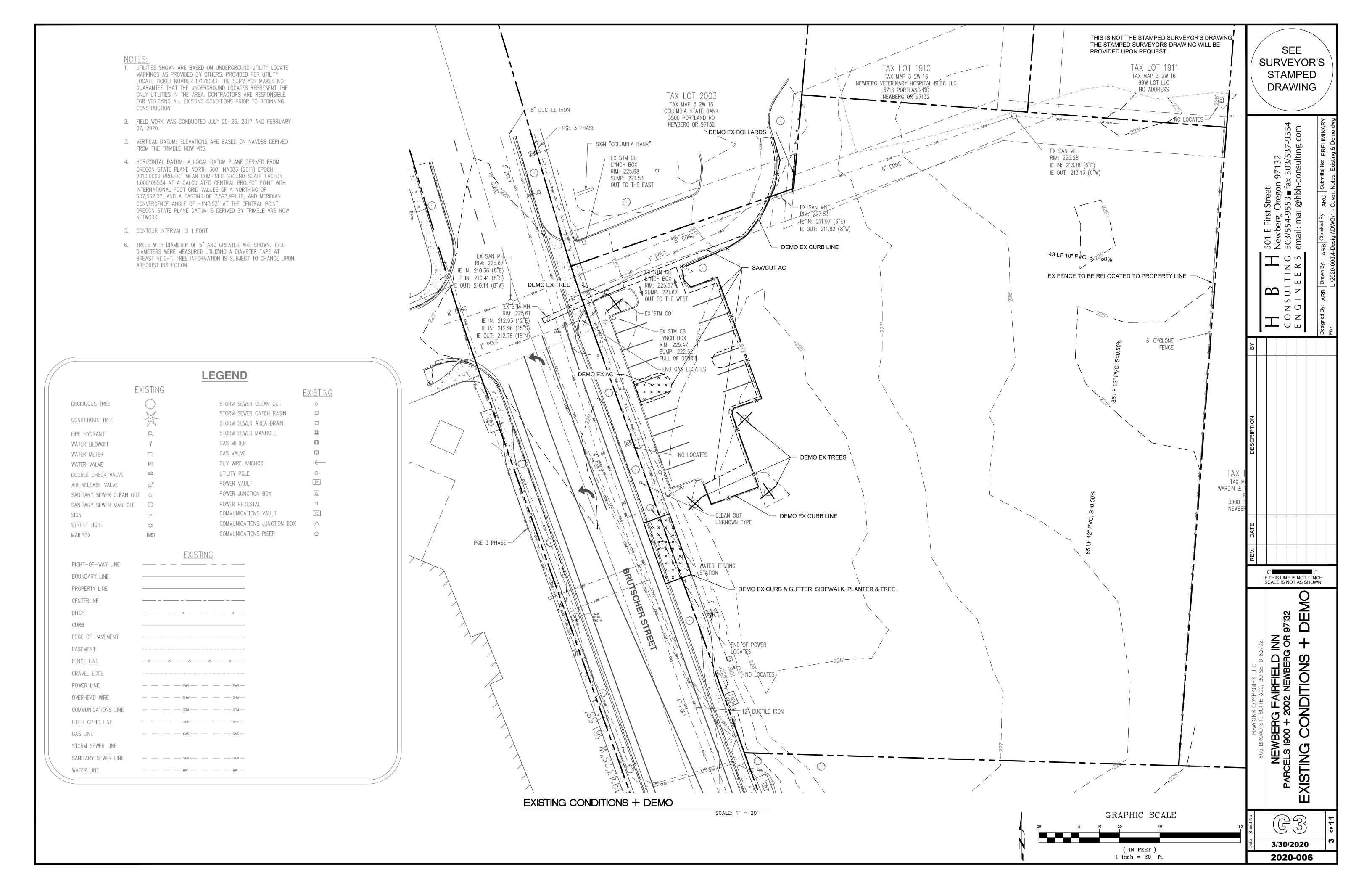
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855 BROAD ST. SUITE 300, BOISE ID 83702

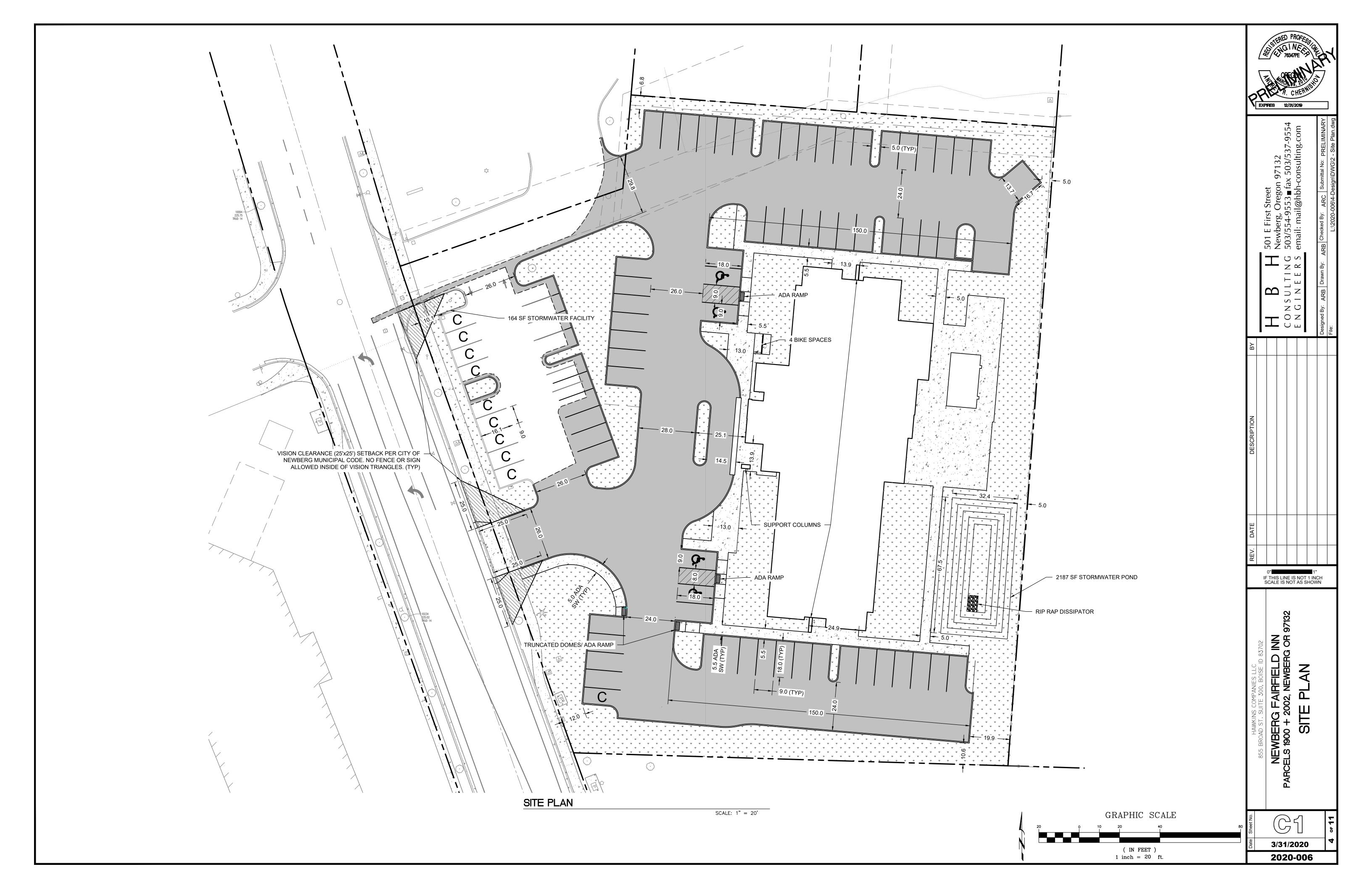
NEWBERG FAIRFIELD INN
PARCELS 1900 + 2002, NEWBERG OR 97132

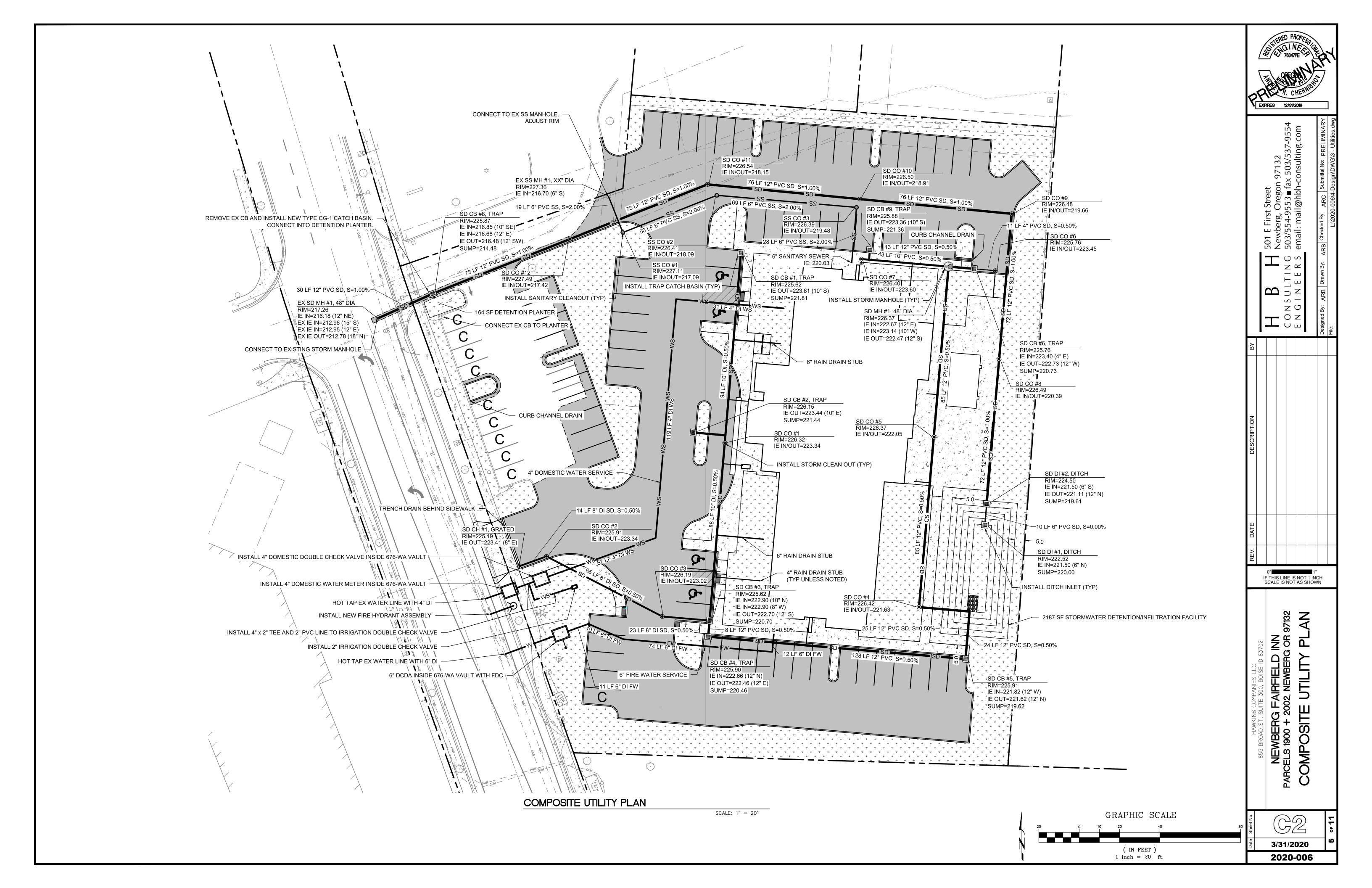
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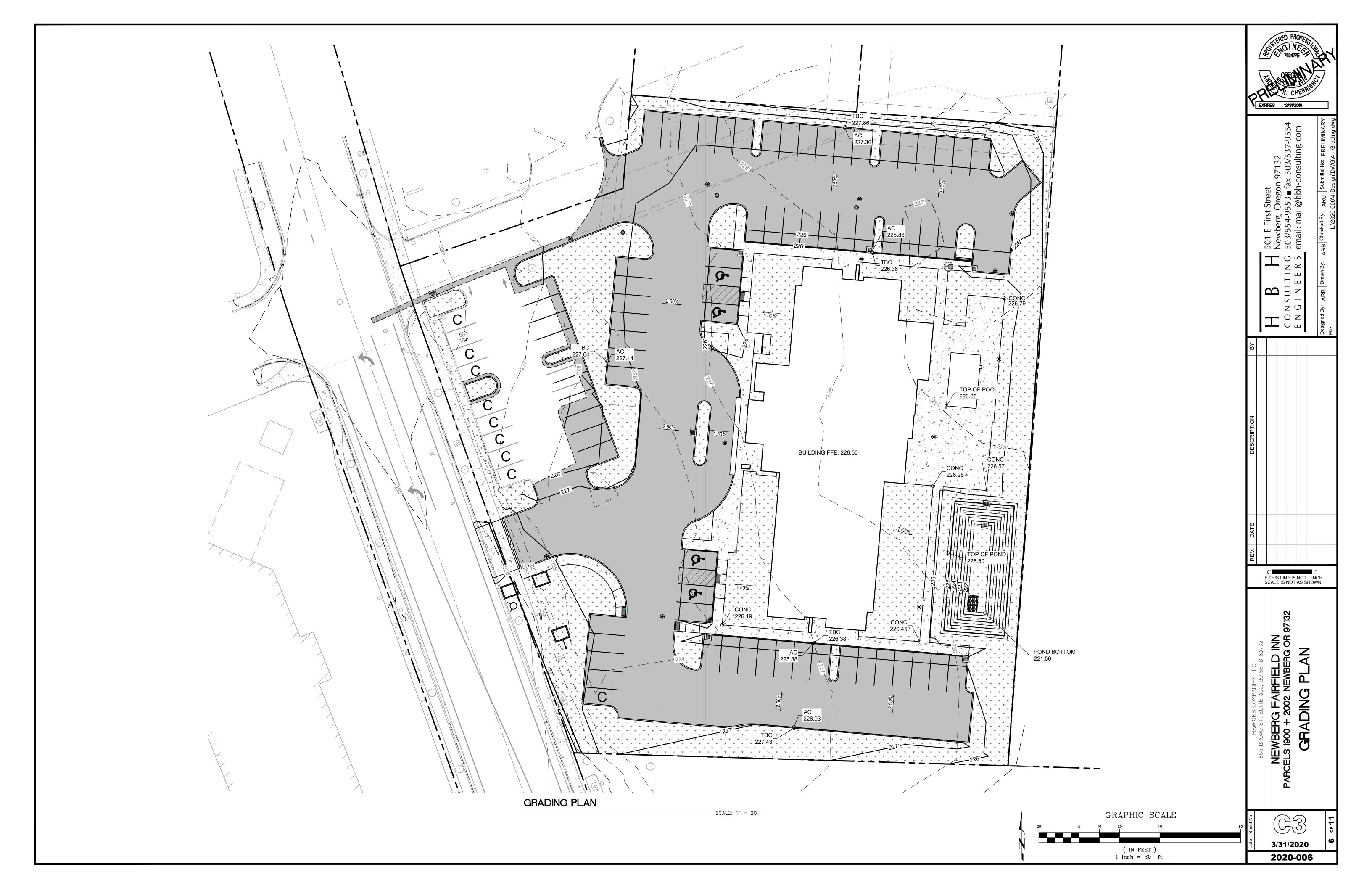
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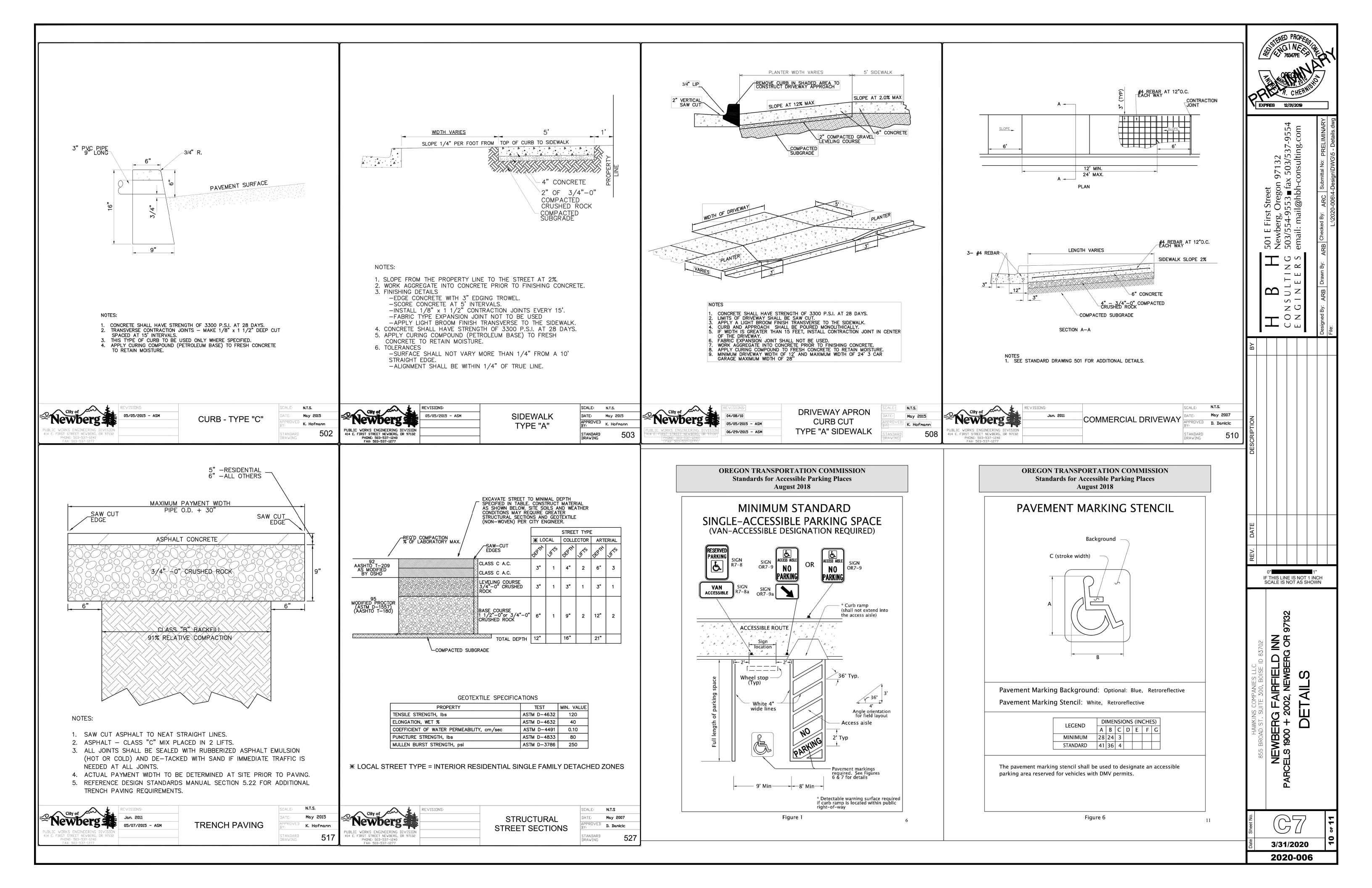
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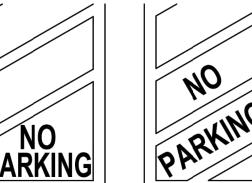






OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018

PAVEMENT MARKING LEGEND



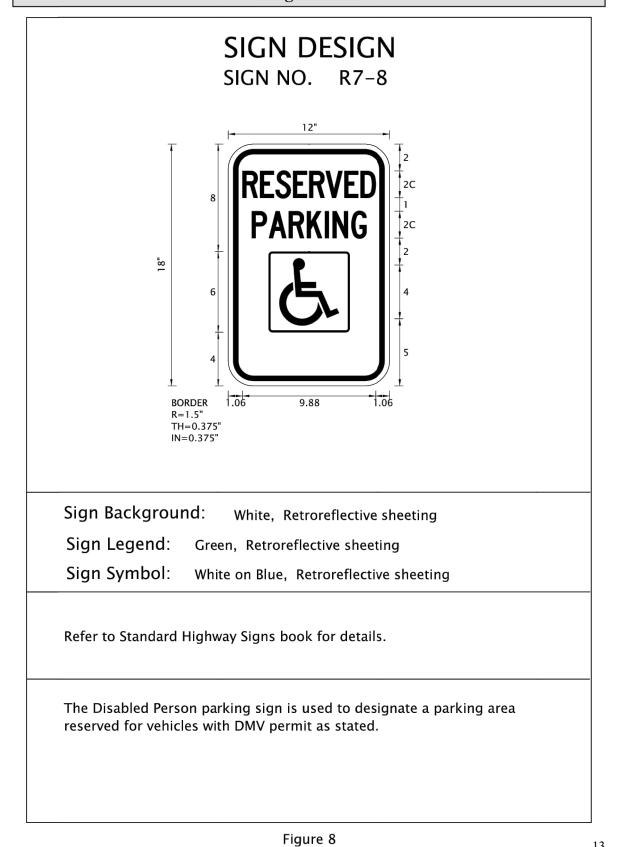


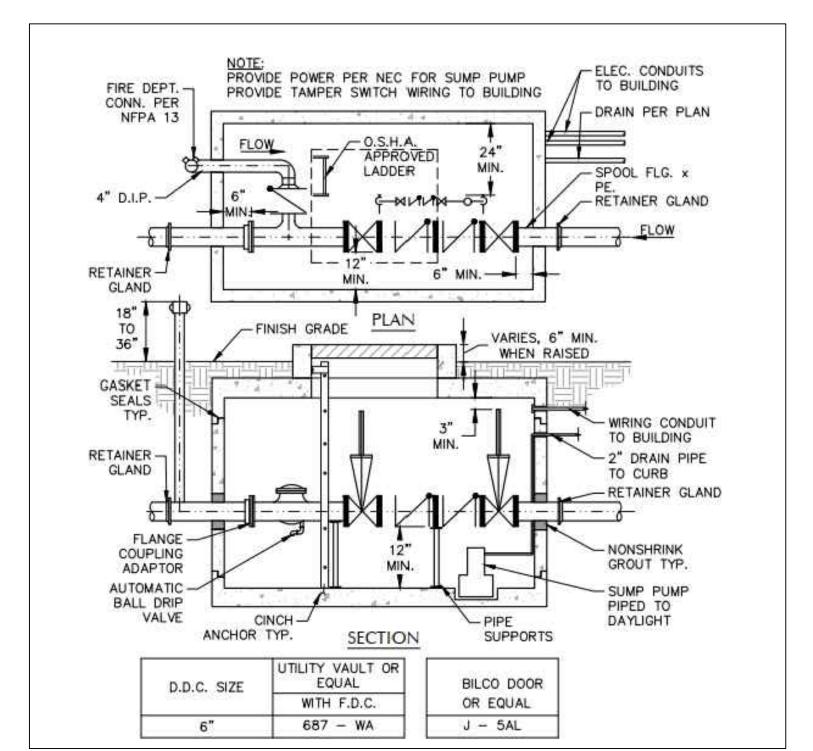
Pavement Marking Legend: White or Yellow, Retroreflective

The "No Parking" pavement marking is used to designate an access aisle reserved for persons use parking with a DMV permit. This marking shall be required for all access aisles next to accessible parking spaces. Engineering judgement should be used for placement location to give best visual location to prevent illegal use of access aisle. Yellow may be used instead of white to increase contrast between access aisle white lines and the "No Parking" legend.

Figure 7

OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018

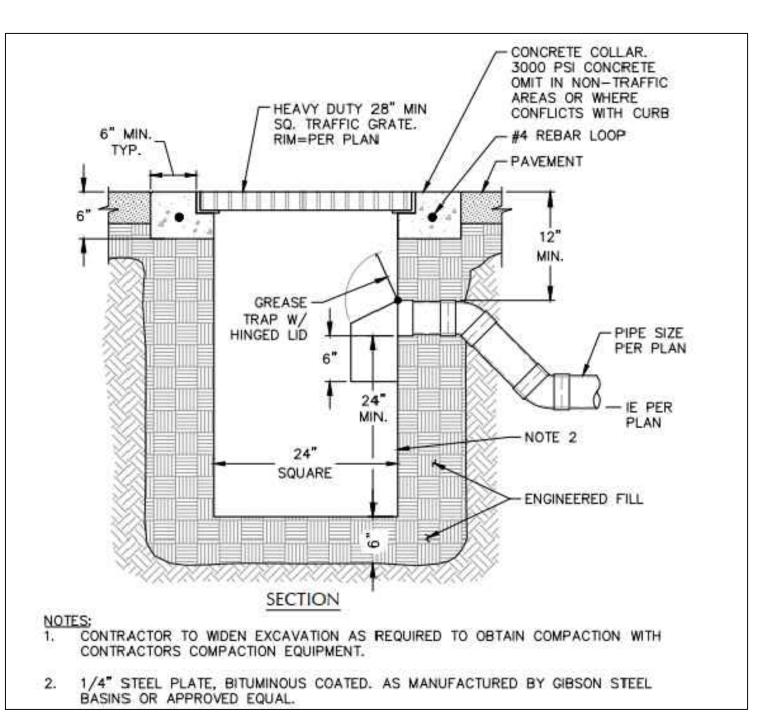




DETAIL 1 - DOUBLE CHECK DETECTOR ASSEMBLY FIRE SERVICE VAULT WITH SUMP PUMP

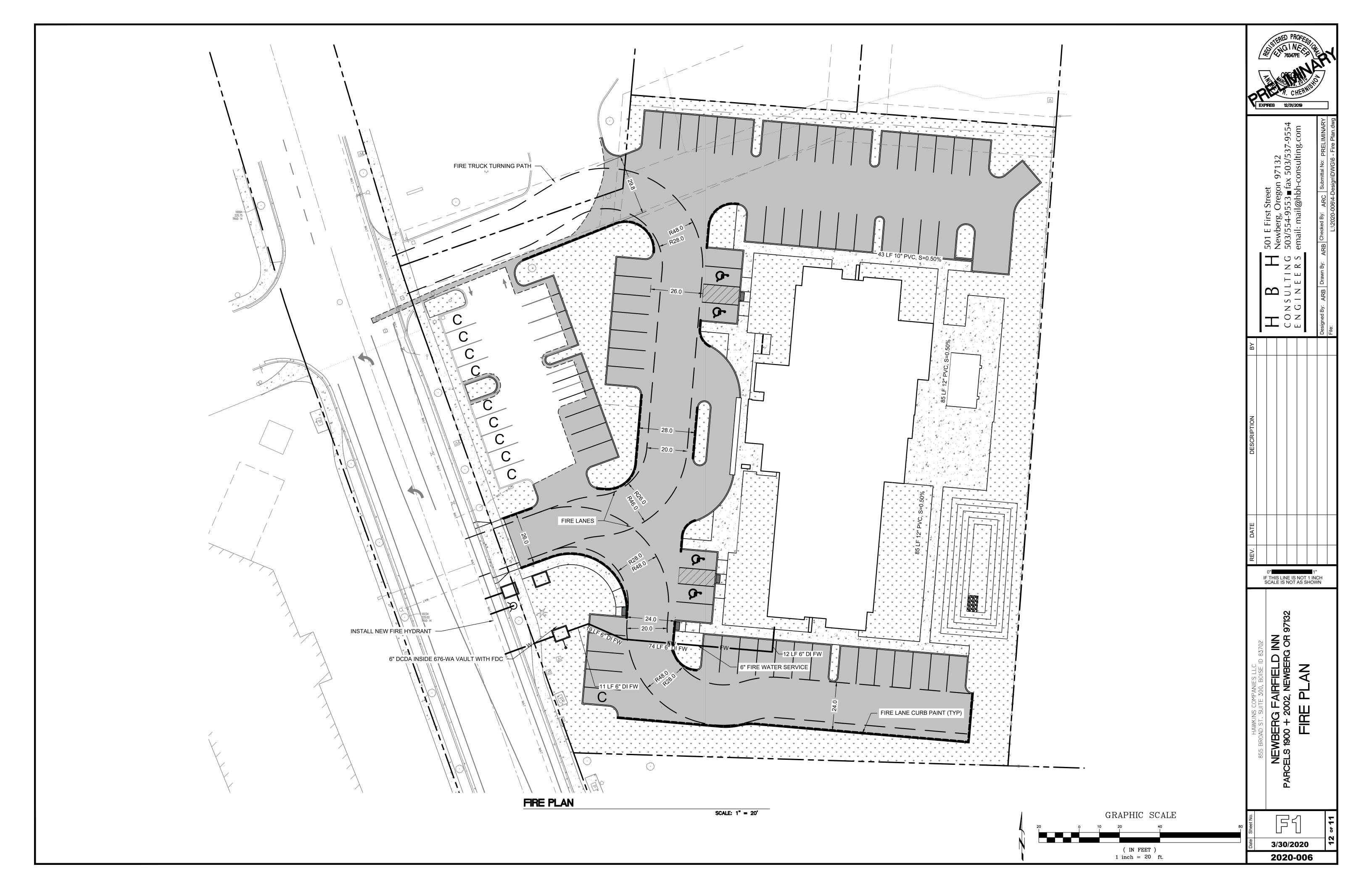
PLAN - DUAL PORT INLET. VERIFY MAKER, MODEL AND SIZE. FDC STAND PIPE. -VERIFY SIZE 36" MAX. NOTE 1 -FINISH GRADE THRUST BLOCK -TO VALVE AND BOX SECTION 1. CONCRETE ANCHOR PAD TO BE 12"x12"x6" THICK, UNLESS NOTED OTHERWISE. ELIMINATE IF INSTALLED IN CONCRETE PAVED AREA. USE FLANGE OR THREADED FITTINGS. 3. CONTRACTOR SHALL PROVIDE SINGLE CHECK VALVE AND BALL DRIP VALVE IN ACCESSIBLE LOCATION INSIDE DDCV VAULT. COORDINATE WITH PLUMBING.

DETAIL 2 - FIRE DEPARTMENT CONNECTION (FDC)



DETAIL 3 - TRAPPED CATCH BASIN

1 97132 ax 503/537-9554 consulting.com IF THIS LINE IS NOT 1 INCH SCALE IS NOT AS SHOWN G() 3/31/2020 2020-006





STREET LIGHTING NOTES:

1: LIGHT POLES SHALL BE 25-FOOT STEEL LIGHT POLE, WITH DARK PLATINUM FINISH.

APPROVED LIGHT POLES ARE: LUMARK SSS-5-A-25-S-L-M-1

2. LUMINAIRES SHALL BE 131 WATT LED, 240V, MAST ARM MOUNTED, DARK PLATINUM, SHOEBOX FIXTURE, WITH TWISTLOCK P.E. RECEPTACLE.

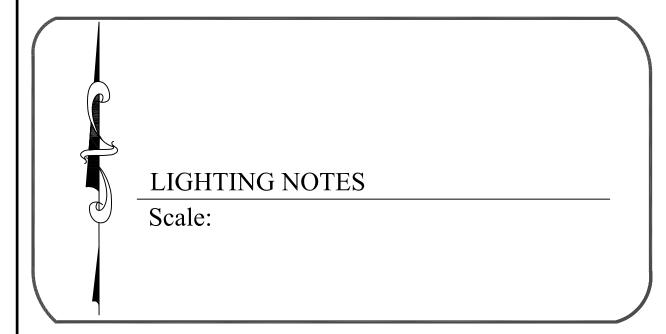
APPROVED SHOEBOX LUMINAIRES ARE:

LP1: 131W LUMARK PRV C40-D-UNV-T3-SA-DP-HSS
LP2: 131W LUMARK PRV C40-D-UNV-T4-SA-DP-HSS
LP3: 131W LUMARK PRV C40-D-UNV-T4-SA-DP
LP4: 131W LUMARK PRV C40-D-UNV-T2-SA-DP
LP5: 131W LUMARK PRV C40-D-UNV-T4-SA-DP

3. LIGHTING CONTRACTOR/INSTALLER IS SOLELY RESPONSIBLE FOR INSTALLATION OF CORRECT MATERIAL BASED ON JURISDICTION SPECIFICATIONS AND STANDARDS. LIGHT POLE AND FIXTURE SUBMITTAL TO PROPER JURISDICTION IS REQUIRED.

LIGHT POLE LOCATION TABLE						
POLE NUMBER	мн	WATTS	LUMENS	ARM	ARRANGEMENT	POLE TYPE
1	25 FT	131	15573	0.67	SINGLE	STEEL POLE
2	25 FT	131	15518	0.67	SINGLE	STEEL POLE
3	25 FT	131	17087	0.67	BACK-TO-BACK	STEEL POLE
4	25 FT	131	17172	0.67	SINGLE	STEEL POLE
5	25 FT	131	17087	0.67	SINGLE	STEEL POLE

NUMERIC SUMMARY							
PROJECT: FAIRFIELD INN AND SUITES							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	
PARKING LOT	ILLUMINANCE	FC	1.29	6.50	0.30	4.31	



LIGHT LEVEL REQUIREMENTS						
ROADWAY	CLASSIFICATION		LIGHT LEVEL	UNIFORMITY		
	PARKING LOT	TARGET	1.0 FC AVG	5:1 AVG/MIN		
PARKING LOT	FAINNU LUI	ACHIEVED	1.29 FC AVG	4.31:1 AVG/MIN		



DWG NO

EL2

= INSTALL 101W LED COBRAHEAD LUMINAIRE ON AN ALUMINUM POLE. (X= POLE NUMBER).

INSTALL COOPER B-LINE CUP4111-GRN STREET LIGHT CONTROLLER VERIFY POWER SOURCE WITH PGE

(JB) = INSTALL JB 10" X 17" WITH LID MARKED "STREET LIGHTING"

(PF) = INSTALL PHOTOELECTRIC CONTROL

) = INSTALL WIRE AND CONDUIT BASED ON PGE PLANS.

LEGEND

1 = CONDUIT SIZE IN INCHES

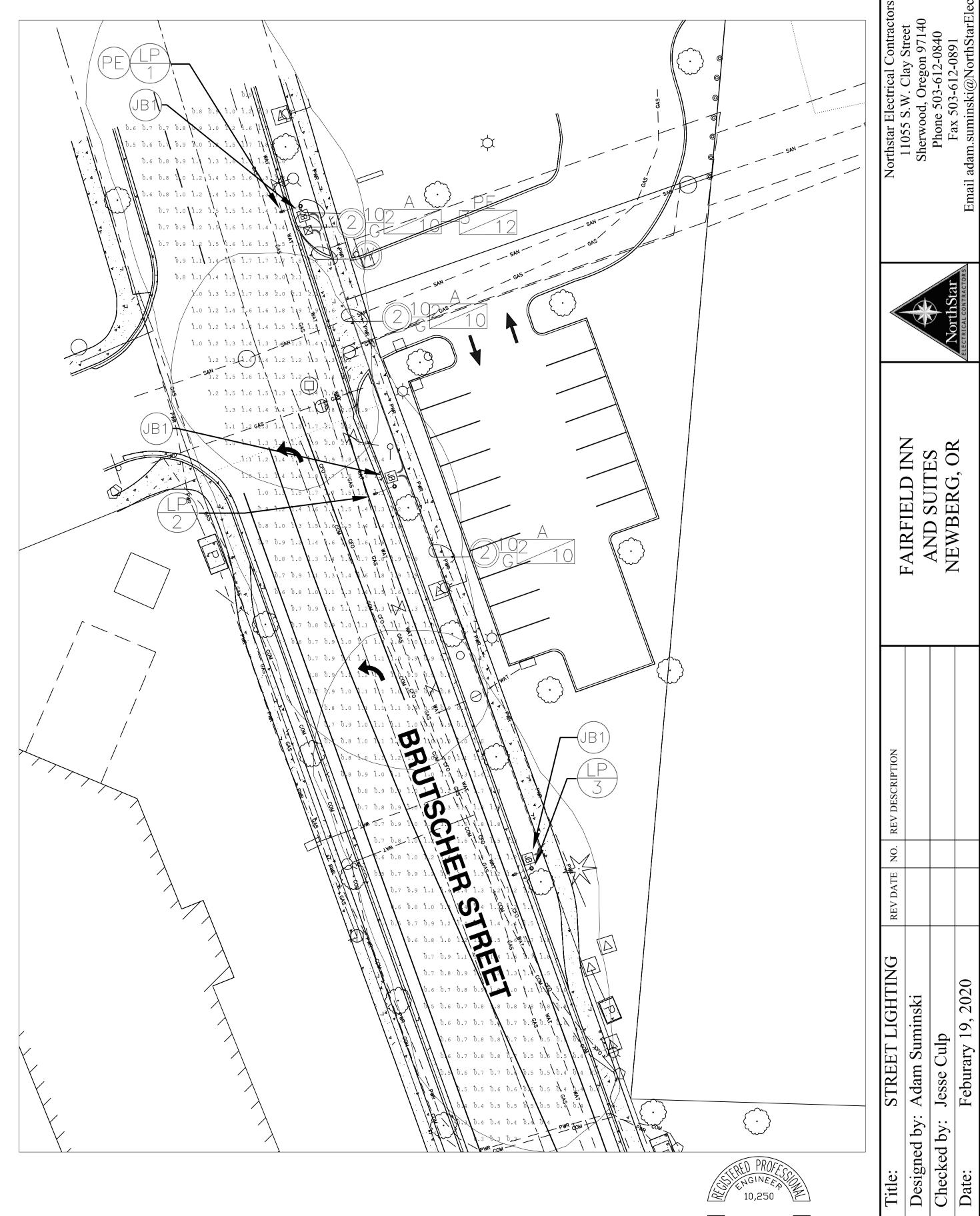
2 = GROUNDING CONDUCTOR SIZE

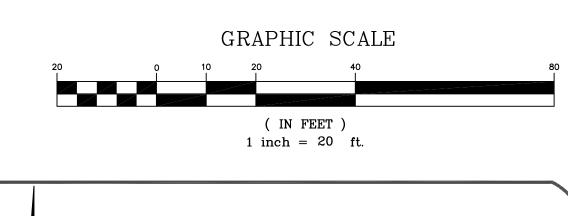
3 = NUMBER OF LIGHTING CONDUCTORS

4 = LIGHTING CONDUCTORS SIZE

5 = LIGHTING CIRCUIT NUMBER

G = DESIGNATES A GROUNDING CONDUCTOR





STREETLIGHTING DESIGN Scale: 1"= 20'

EXPIRES 6-30-20

DWG. NO

EL3

STREET LIGHTING NOTES:

1: LIGHT POLES SHALL BE ALUMINUM LIGHT POLE, WITH 6' ELLIPTICAL MAST ARM, MOUNTED 30 FEET HIGH ON A PRECAST CONCRETE BASE.

CITY OF NEWBERG APPROVED LIGHT POLES ARE: VALMONT 270840705T4/1MA0632S

2. JUNCTION BOXES SHALL BE REINFORCED PRECAST CONCRETE, WITH TAMPER RESISTANT FASTENERS. ALL BOXES SHALL BE INSTALLED NO MORE THAN 3 FEET FROM THE LIGHT POLE.

"STREET LIGHTING" SHALL BE IN THE LID MARKING AREA.

3. LUMINAIRES SHALL BE CITY OF NEWBERG APPROVED 101 WATT LED, 240V, MAST ARM MOUNTED, GRAY, COBRAHEAD, FLAT LENS FIXTURE, WITH TWISTLOCK P.E. RECEPTACLE.

CITY OF NEWBERG PREFERRED COBRAHEAD LUMINAIRES ARE: 101W LEOTEK GC1-60F-MV-NW-2-GY-530-WL

4. THE PHOTOELECTRIC CONTROL SHALL BE CITY OF NEWBERG APPROVED TWISTLOCK, FAIL—ON ELECTRONIC, 105—300 VAC, 60 HZ PER ANSI 136.10, BRONZE HOUSING, 1.5 LUMEN TURN—ON, RATED 1000W TUNGSTEN (1800 VA BALLAST) 1.5:1 TURN—OFF/TURN—ON RATIO, SOLID BRASS PLUG BLADES, CONFORMALLY COATED CDS CELL, 160 JOULE MOV, 2—4 SEC. TURN—OFF DELAY.

CITY OF NEWBERG APPROVED PHOTOELECTRIC CONTROLS ARE: DTL D124-1.5-1704

5. BASES SHALL BE CITY OF NEWBERG APPROVED PRECAST BASES: CITY OF NEWBERG APPROVED PRECAST BASES ARE: UTILITY VAULT 20R-LB-5

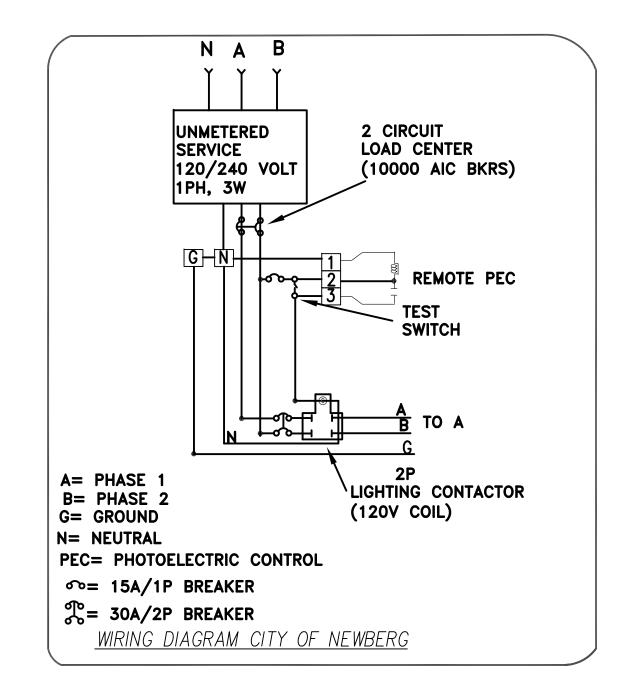
6. THE WIRING FROM THE SPLICE BOX TO THE LUMINAIRE SHALL BE PGE APPROVED #10 AWG, 600-VOLT, 3-CONDUCTOR, CLASS B STANDING TYPE TC WITH 45-MIL SUNLIGHT RESISTANT PVC JACKET, SUITABLE FOR DIRECT BURIED APPLICATIONS. RATED 90°C DRY AND 75°C WET.

FOR 240-VOLT APPLICATIONS, THE WIRING CONFIGURATION IS: BLACK AND RED (HOT) GREEN (GROUND)

7. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO P.G.E. SCHEDULE "95" OPTION "C" SPECIFICATIONS. ALL MATERIALS AND INSTALL BE APPROVED BY CITY OF NEWBERG. LIGHT POLES, BASES, CONDUIT, WRES, AND STREET LIGHTS TO BE INSTALLED BY ELECTRICAL CONTRACTOR.

8. THE CONTRACTOR SHALL COORDINATE WORK WITH TRACY AGUILAR AT (503) 463-5139 TO DETERMINE POWER SOURCE FOR THE LIGHTING SYSTEM.

9. LIGHTING CONTRACTOR/INSTALLER IS SOLELY RESPONSIBLE FOR INSTALLATION OF CORRECT MATERIAL BASED ON CURRENT CITY OF NEWBERG APPROVED MATERIAL LIST AND JURISDICTION SPECIFICATIONS AND STANDARDS. LIGHT POLE, JUNCTION BOX, AND FIXTURE SUBMITTAL TO PROPER JURISDICTION IS REQUIRED.

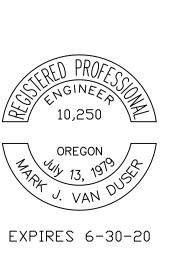


LIGHT POLE LOCATION TABLE							
POLE NUMBER	мн	WATTS	LUMENS	ARM	ARRANGEMENT	STREET	POLE TYPE
1	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE
2	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE
3	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE

NUMERIC SUMMARY						
PROJECT: FAIRFIELD INN AN	D SUITES					
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
BRUTSCHER STREET	ILLUMINANCE	FC	1.20	2.20	0.30	4.00

LIGHTING NOTES
Scale:

LIGHT LEVE	EL REQUIREMENT	TS		
ROADWAY	CLASSIFICATION		LIGHT LEVEL	UNIFORMITY
DDUTCOUED CIDEET	COLLECTOR	TARGET	1.2 FC AVG	4:1 AVG/MIN
BRUTSCHER STREET	COLLLOTOIN	ACHIEVED	1.20 FC AVG	4.00:1 AVG/MIN



11055 S.W. Clay Street
Sherwood, Oregon 97140
Phone 503-612-0840
Fax 503-612-0891
Email adam.suminski@NorthStarElect.



FAIRFIELD INN AND SUITES NEWBERG, OR

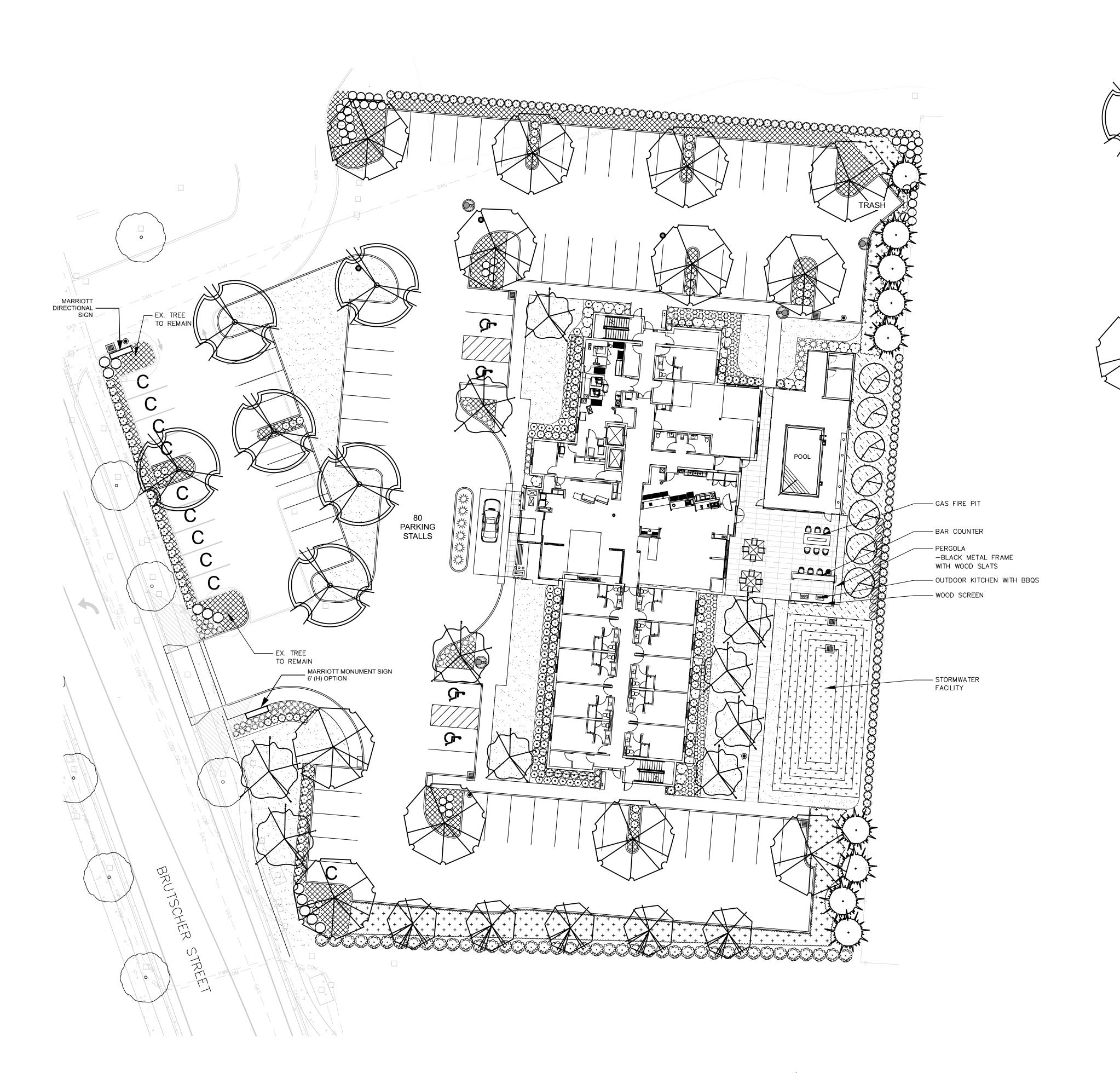
Title: LIGHTING NOTES

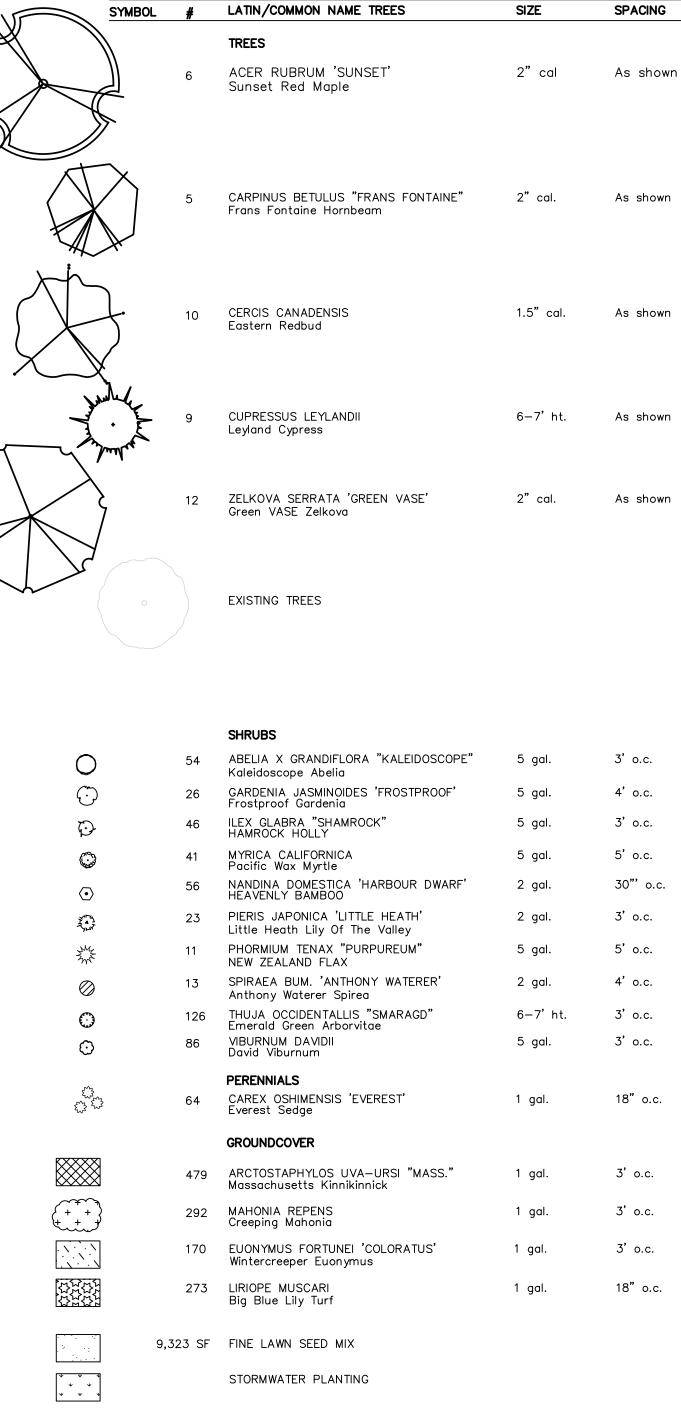
Designed by: Adam Suminski

Checked by: Jesse Culp

Checked by: Echangari 10, 2020

EL4





PLANT LIST: GENERAL LANDSCAPING

GENERAL NOTES:

- Contractor is to verify all plant quantities.
 Adjust plantings in the field as necessary.
- 3. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/build by Landscape Contractor. Guarantee system for a minimum one year. Show drip
- systems as alternate bid only.
 4. All plants are to be fully foliaged, well branched and true to form. 5. Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or
- 6. Contractor shall notify the Landscape Architect if specified materials or methods are not consistent with local climate and/or practices.

cause future problems to any structural elements of the project.

LANDSCAPE PLAN



SCALE 1" = 20'-0"

SHEET NO

2-28-2020

NOTED

CHECKED

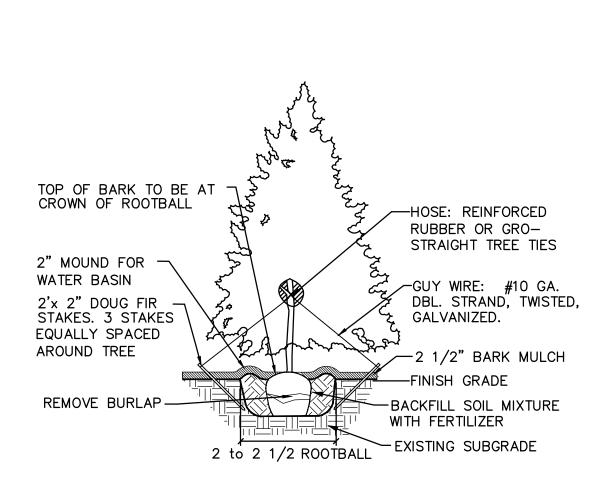
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901 N. BRUTSCHER NEWBERG, OR

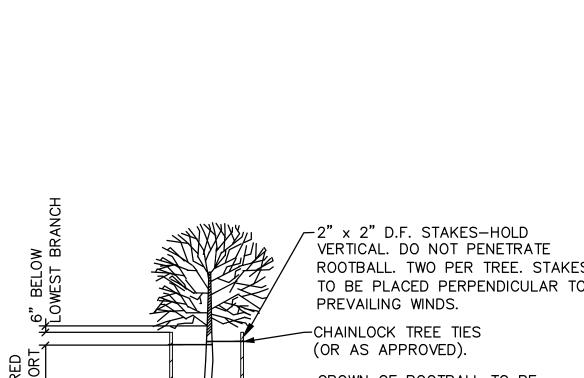
FAIRFIELD INN AND SUITES MARRIOTT

OREGON 5/10/2013

Exp. 5/31/20 CAPE ARCHIT







' BARK MULCH

BACKFILL SOIL MIXTURE

SHRUB PLANTING DETAIL

NOT TO SCALE

WITH FERTILIZER

- EXISTING SUBGRADE

ROOTBALL. TWO PER TREE. STAKES TO BE PLACED PERPENDICULAR TO -CROWN OF ROOTBALL TO BE 2" ABOVE FINISHED GRADE. -2" MOUND FOR WATER BASIN. -2 1/2" BARK MULCH. KEÉP MULCH 6" AWAY FROM TRUNK. FINISH GRADE. -BACKFILL SOIL MIXTURE WITH FERTILIZER. ~EXISTING SUBGRADE. 2 to 2 1/2 X ROOTBALL - DO NOT OVER EXCAVATE DIRECTLY UNDER ROOTBALL

NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

GENERAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 — 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container—grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. Grow container plants in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well—branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitablility of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round—up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1½" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:

2 part native topsoil (no subsoil)

1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates: Small shrubs - 1/8 lb./ plant

Shrubs - 1/3 to 1/2 lb./ plant

Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. slow-releasing nitrogen. <u>DO NOT</u> apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2½" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluetag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis. Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as

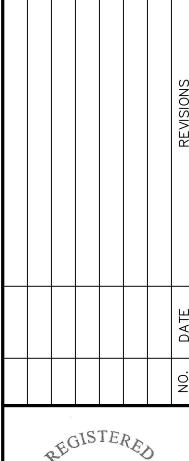
approved) Sow Seed at 5 lbs. / 1000 sq. ft.

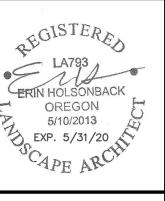
MAINTENANCE OF SEEDED AREAS:

Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1½" to 2" in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.





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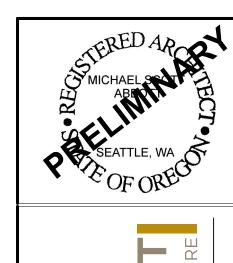
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DRAWN CHECKED MPL

SHEET NO







FAIRFIELD INN AND SUITES BY MARRIOTT

Fairfield Inn and Suites Marriott

901 N. Brutscher Street

Newberg, OR

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ARCHITECTURAL SITE

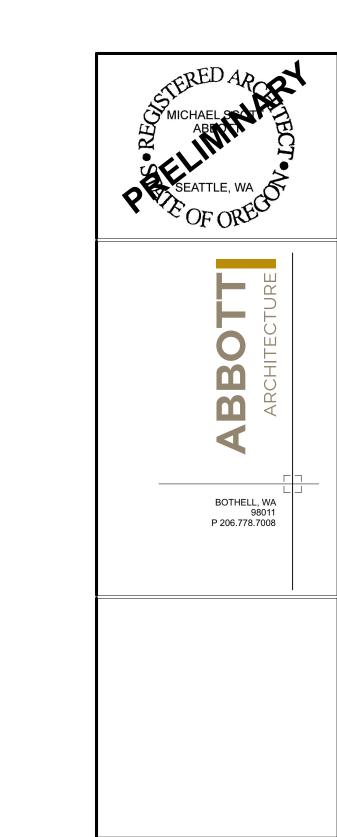
PLAN

PLAN





2 EXTERIOR 3D VIEW - OUTDOOR POOL CONDITION
NO SCALE



FAIRFIELD INN AND SUITES

NSTRUCTION - DD PRICING SET ONLY

DATE:

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A/1/2020

PROJECT:

4/1/2020

PROJECT:

1907

DATE:

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DATE:

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LAYOUT NAME:

SITE INFORMATION

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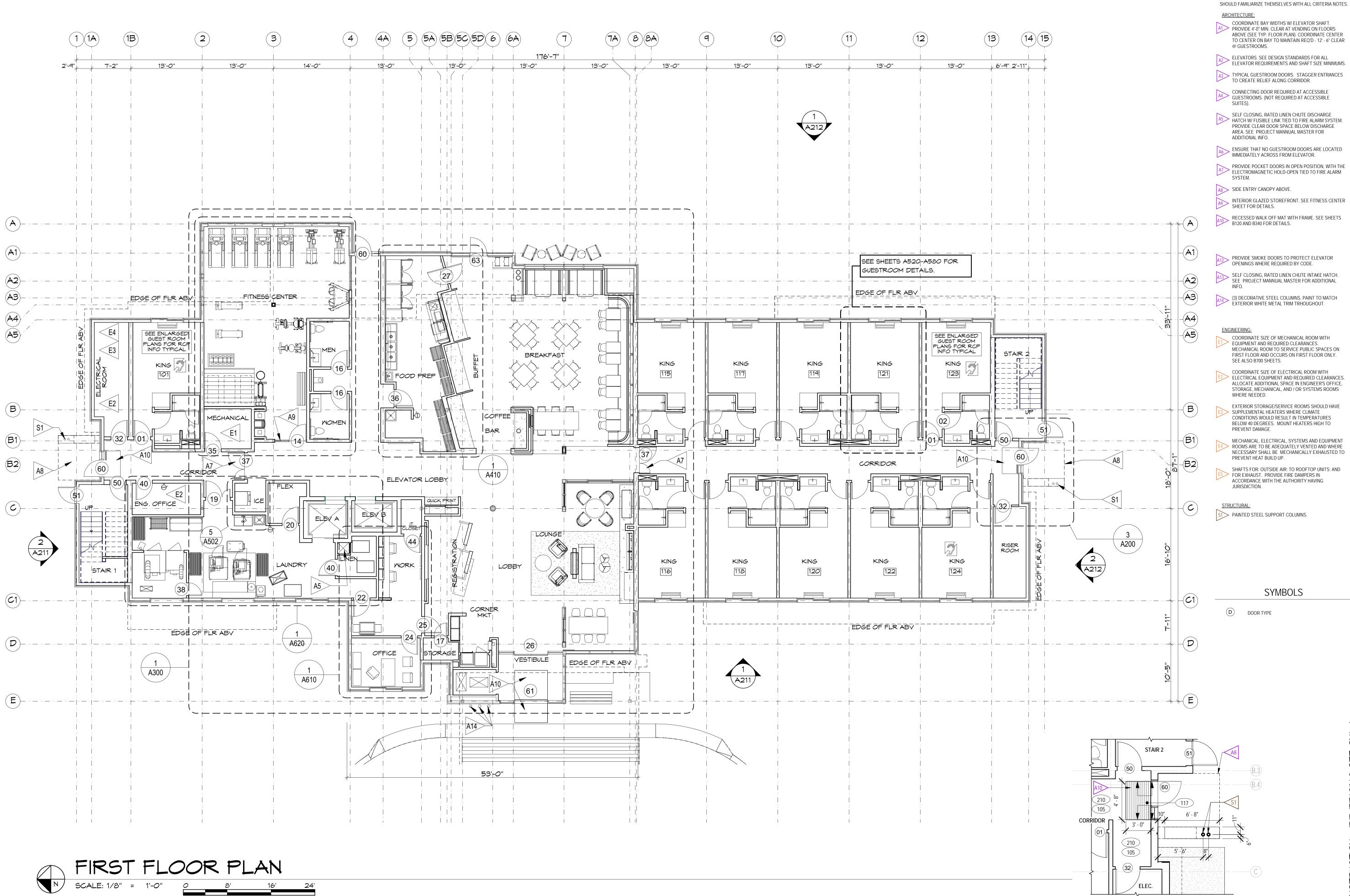
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COORDINATE BAY WIDTHS W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12' - 6" CLEAR

ELEVATORS. SEE DESIGN STANDARDS FOR ALL

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CONNECTING DOOR REQUIRED AT ACCESSIBLE GUESTROOMS. (NOT REQUIRED AT ACCESSIBLE CONNECTING DOOR REQUIRED AT ACCESSIBLE

SELF CLOSING, RATED LINEN CHUTE DISCHARGE HATCH W/ FUSIBLE LINK TIED TO FIRE ALARM SYSTEM. PROVIDE CLEAR DOOR SPACE BELOW DISCHARGE AREA. SEE PROJECT MANNUAL MASTER FOR

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BOTHELL, WA

P 206.778.7008

ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS FROM ELEVATOR.

PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE

INTERIOR GLAZED STOREFRONT. SEE FITNESS CENTER

RECESSED WALK OFF MAT WITH FRAME. SEE SHEETS B120 AND B340 FOR DETAILS.

PROVIDE SMOKE DOORS TO PROTECT ELEVATOR

SELF CLOSING, RATED LINEN CHUTE INTAKE HATCH. SEE PROJECT MANNUAL MASTER FOR ADDITIONAL

EXTERIOR WHITE METAL TRIM TRHOUGHOUT.

COORDINATE SIZE OF MECHANICAL ROOM WITH EQUIPMENT AND REQUIRED CLEARANCES. MECHANICAL ROOM TO SERVICE PUBLIC SPACES ON FIRST FLOOR AND OCCURS ON FIRST FLOOR ONLY.

COORDINATE SIZE OF ELECTRICAL ROOM WITH ELECTRICAL EQUIPMENT AND REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEER'S OFFICE, STORAGE, MECHANICAL, AND / OR SYSTEMS ROOMS

EXTERIOR STORAGE/SERVICE ROOMS SHOULD HAVE SUPPLEMENTAL HEATERS WHERE CLIMATE CONDITIONS WOULD RESULT IN TEMPERATURES BELOW 40 DEGREES. MOUNT HEATERS HIGH TO

MECHANICAL, ELECTRICAL, SYSTEMS AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD UP.

SHAFTS FOR: OUTSIDE AIR; TO ROOFTOP UNITS; AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN

SYMBOLS

FAIRFIEI Fairfield Inn and Suites Marriott

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901 N. Brutscher Street Newberg, OR A201

3 FIRST FLOOR/LOBBY LEVEL - CORRIDOR END

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SHAFTS FOR: OUTSIDE AIR; TO ROOFTOP UNITS; AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN

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BOTHELL, WA

P 206.778.7008

Fairfield Inn and Suites Marriott 901 N. Brutscher Street Newberg, OR 1907 A202

WINDOW TYPE

DOOR TYPE

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

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- PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE
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DOOR TYPE

WINDOW TYPE

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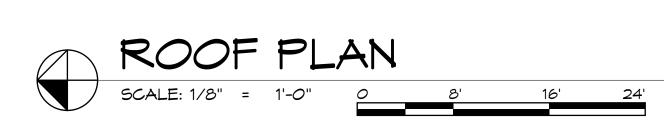
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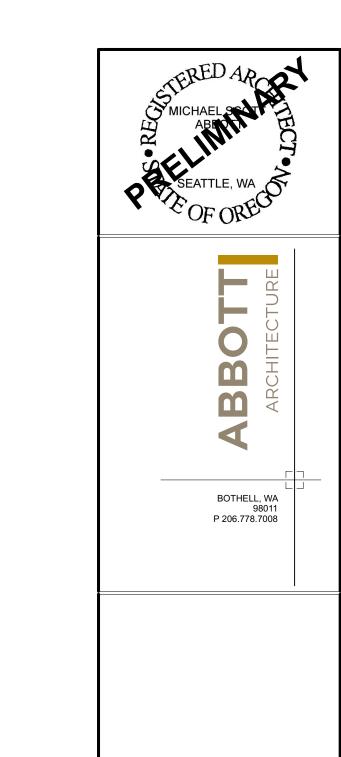
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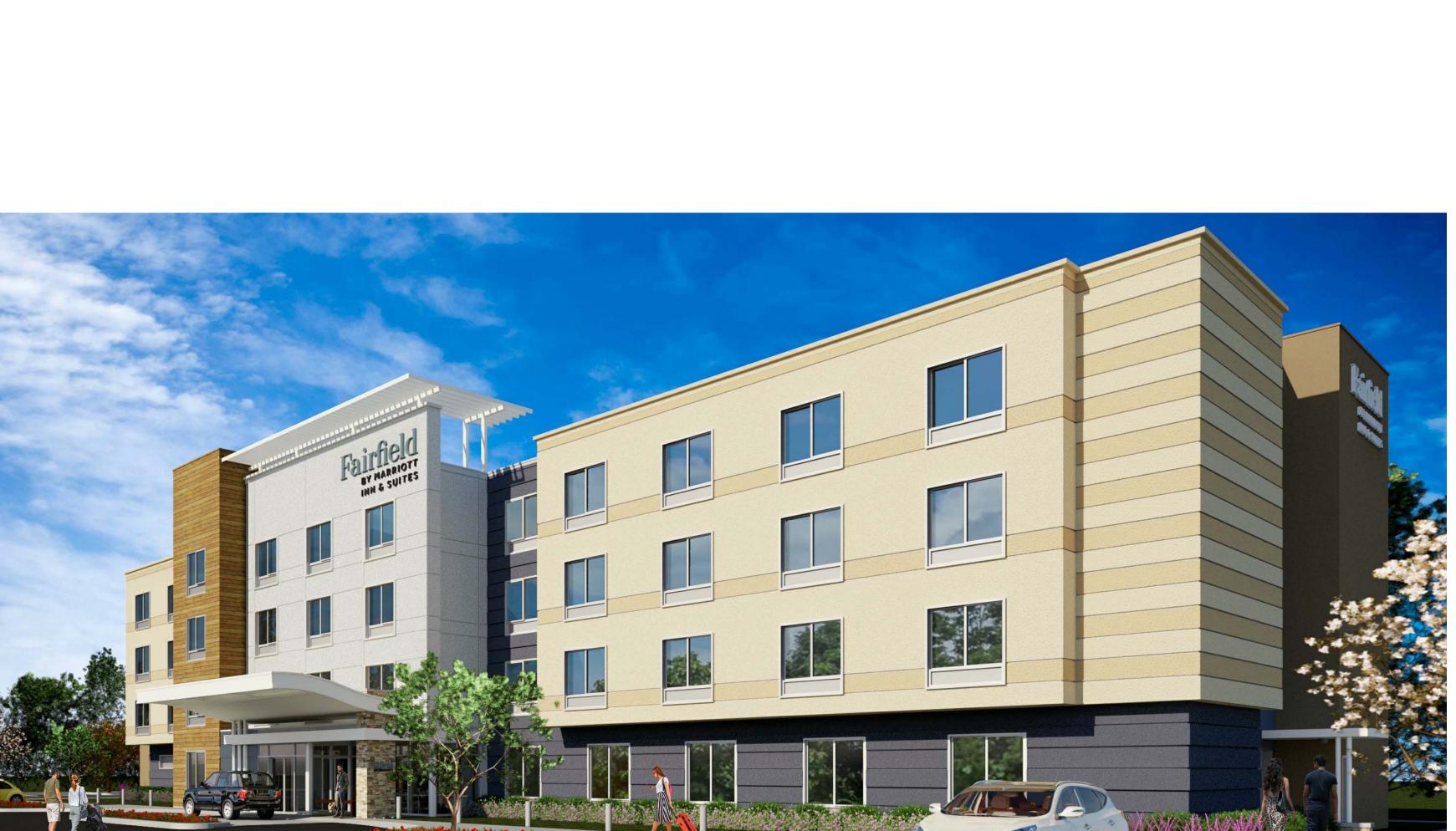


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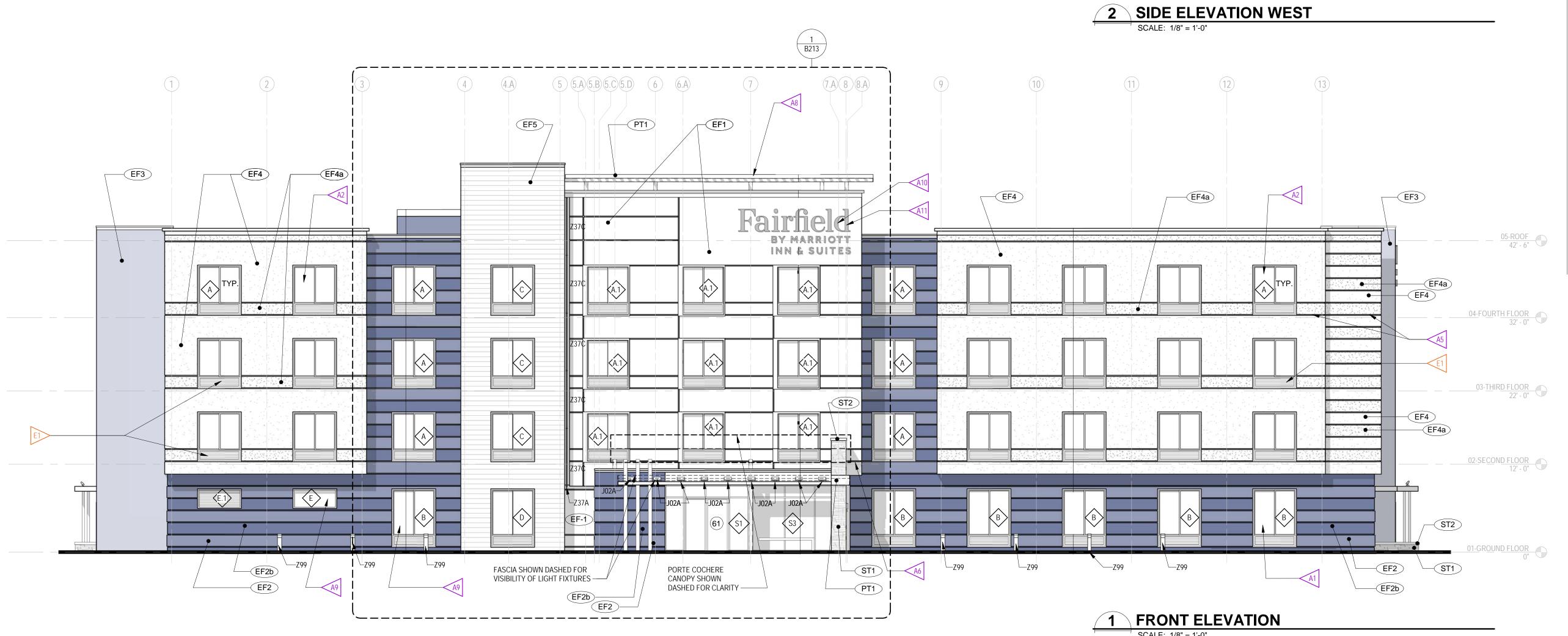


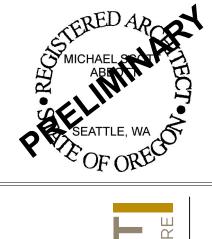
EVENING VIEW @ ENTRY



EXTERIOR PERSPECTIVE
NO SCALE

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ARCHITECTURE:

05-ROOF 42' - 6"

02-SECOND FLOOR 12' - 0"

EF5

EF4

- A1 > TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
- > TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
- OPT 1 PREFERRED LOCATION FOR OPTIONAL CHANNEL LETTER SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE BASED ON BUILDING ORIENTATION. VERIFY PARAPET HEIGHT OR WALL CONSTRUCTION IN THE AREA SIGN TO BE INSTALLED WILL ALLOW FOR REAR ACCESS REQUIRED FOR CHANNEL LETTER INSTALLATION AND OPERATION.
- OPT 2 SECONDARY LOCATION FOR OPTIONAL SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE AND SEE NOTE A3 ABOVE FOR WALL REQUIREMENTS FOR CHANNEL LETTER INSTALLATION.
- ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
- A6 CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING.
- SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR
- DETAILS.
- A8 ROOF SHADE CANOPY,
- MINDOW TO BE "FROSTED" TO CREATED VISUAL SCREEN TO LAUNDRY ROOM.
- CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
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 BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
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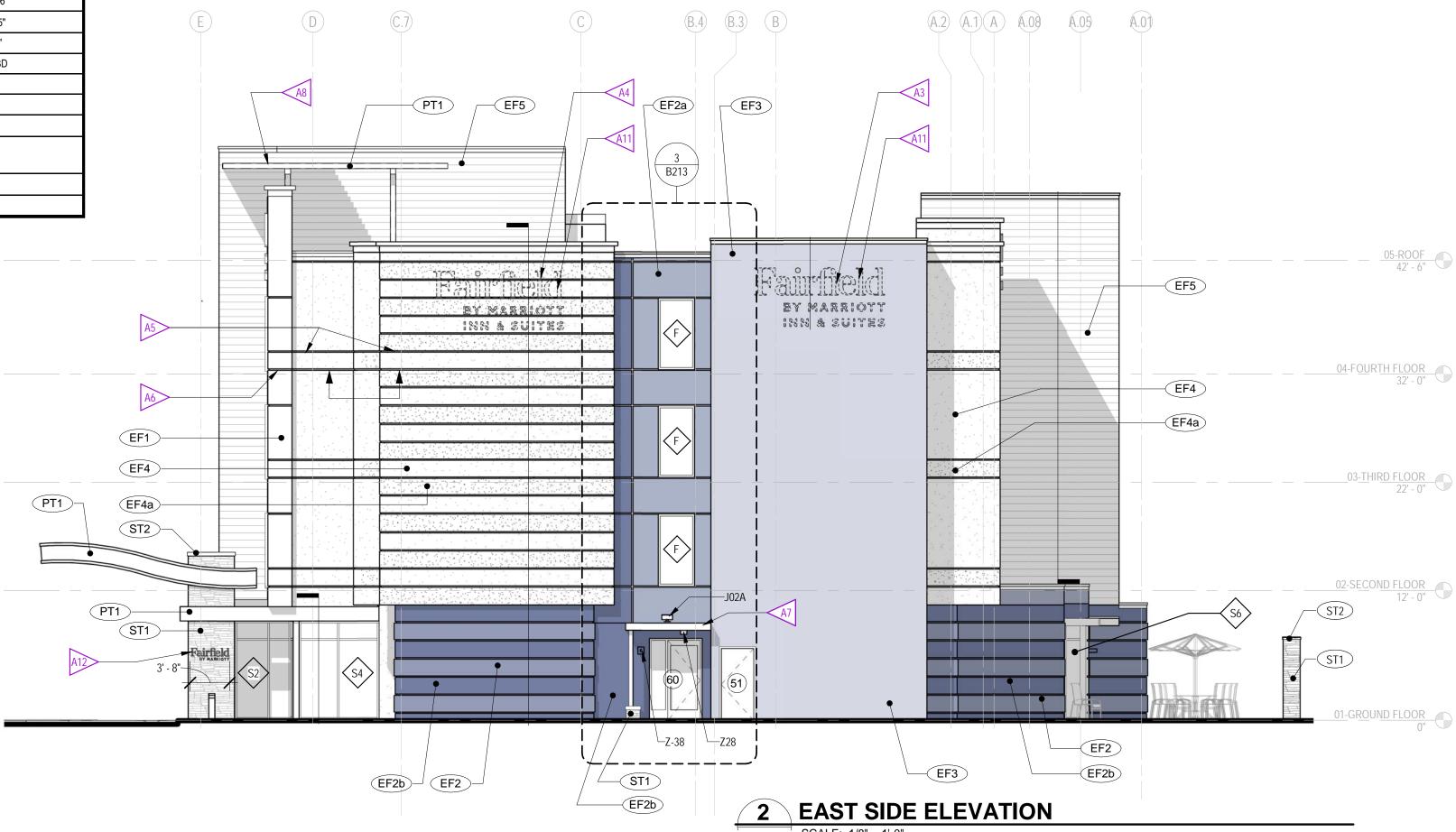
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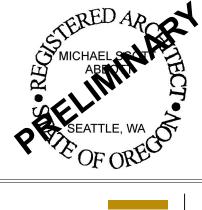
	Fairfield Inn and Suites Marriott								
	901 N. Brutscher Street								
γ	Newberg, OR								
O PRICING SET O	30% REVIEW SET/PRICING 1/20/2020 LAND USE REVIEW SET 3/3/2020	MARRIOTT 30% REVIEW 3/4/2020 DD SET - PRICING 4/1/2020							
OT FOR CONSTRUCTION - DD PRICING SET ONLY	_{рате:} 4/1/2020	ркојест: 190 7	DRAWN BY: MV-MA	LAYOUTNAME:	EXTERIOR ELEVATIONS				
	A211								





1 REAR ELEVATION

SCALE: 1/8" = 1'-0"





CRITERIA NOTES

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 CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY
 BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
- SIGNAGE AT PORTE COCHERE. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
- A13 LOUVERED SUNSHADE.

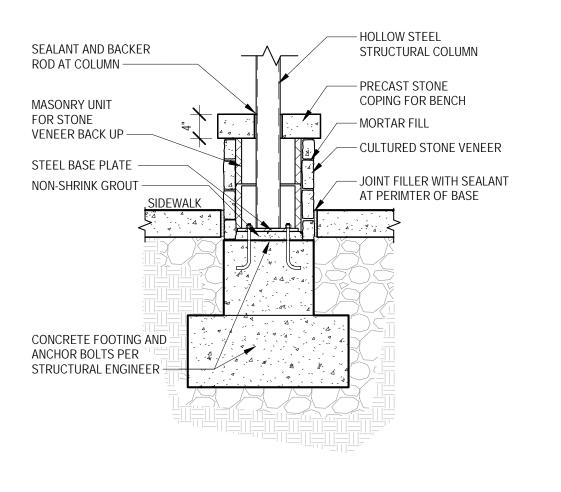
ENGINEERING:

PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME.

FAIRFIELD INN AND SUI

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	Fairfield Inn and Suites Marriott 901 N. Brutscher Street						
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OT FOR CONSTRUCTION - DD PRICING SET ONLY	30% REVIEW SET/PRICING 1/20/2020 LAND USE REVIEW SET 3/3/2020	MARRIOTT 30% REVIEW 3/4/2020 DD SET - PRICING 4/1/2020					
NSTRUCTION - D	DATE: 4/1/2020	PROJECT. 1907	DRAWN BY: MV-MA	EXTERIOR ELEVATIONS			
OT FOR CO		A	2	12	6		



-FLASHING & TRIM -ROOF MEMBRANE —SHEATHING —ALUM COPING, FLASHING & TRIM SLOPE ROOF AWAY FROM BUILDING. PROVIDE CONEALED DRAIN -FRAMING PER STRUCTURAL ENGINEER -GYP. BD SOFFIT

PRECAST & STONE BENCH @ SIDE ENTRY

Referenced from B213

SCALE: 1/4" = 1'-0" Referenced from B211

CANOPY OVER SIDE DOOR

SCALE: 1/4" = 1'-0"

Referenced from B211

SCALE: 1/2" = 1'-0"



REFERENCE NOTES

- REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS; AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, PORTE COCHERE AND CANOPY

STRUCTURE FINISHES, ETC.

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
- PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
- 3. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH
- TRANSITIONS AT OUTSIDE CORNER. 4. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF
- DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

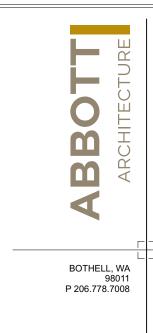
CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

- 1 ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)
- ALUMINUM JAMB AND HEADER EXTENSION WITH FINISH ACCENT COLOR TO MATCH WINDOW. SEE WINDOW SCHEDULE FOR DETAILS.
- EIFS VENEER FINISH SCORED AT 8" O.C. HORIZONTALLY, SEE DETAILS B222

LOCATIONS

- A4 1" EIFS REVEAL, SEE WALL PROFILES FOR DETAILS.
- ALIGN RUSTICATION ACROSS BUILDING, MAINTAIN CONSISTENCY BETWEEN DARK AND LIGHT EIFS FINISHES.
- CMU KNEE WALL WITH CULTURED STONE FINISH AND PRECAST TOP TO CREATE BENCH.
- SEE GUESTROOM PLANS FOR TYPICAL WINDOW
- AS ALUMINUM CLADDING FINISH AT COVE TO MATCH STOREFRONT FINISH.
- A9 BLANK LOUVER TO MATCH GUESTROOM LOUVER.
- ALUMINUM ROOF SHADE CANOPY, SEE SHEET B202 FOR DETAILS.



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