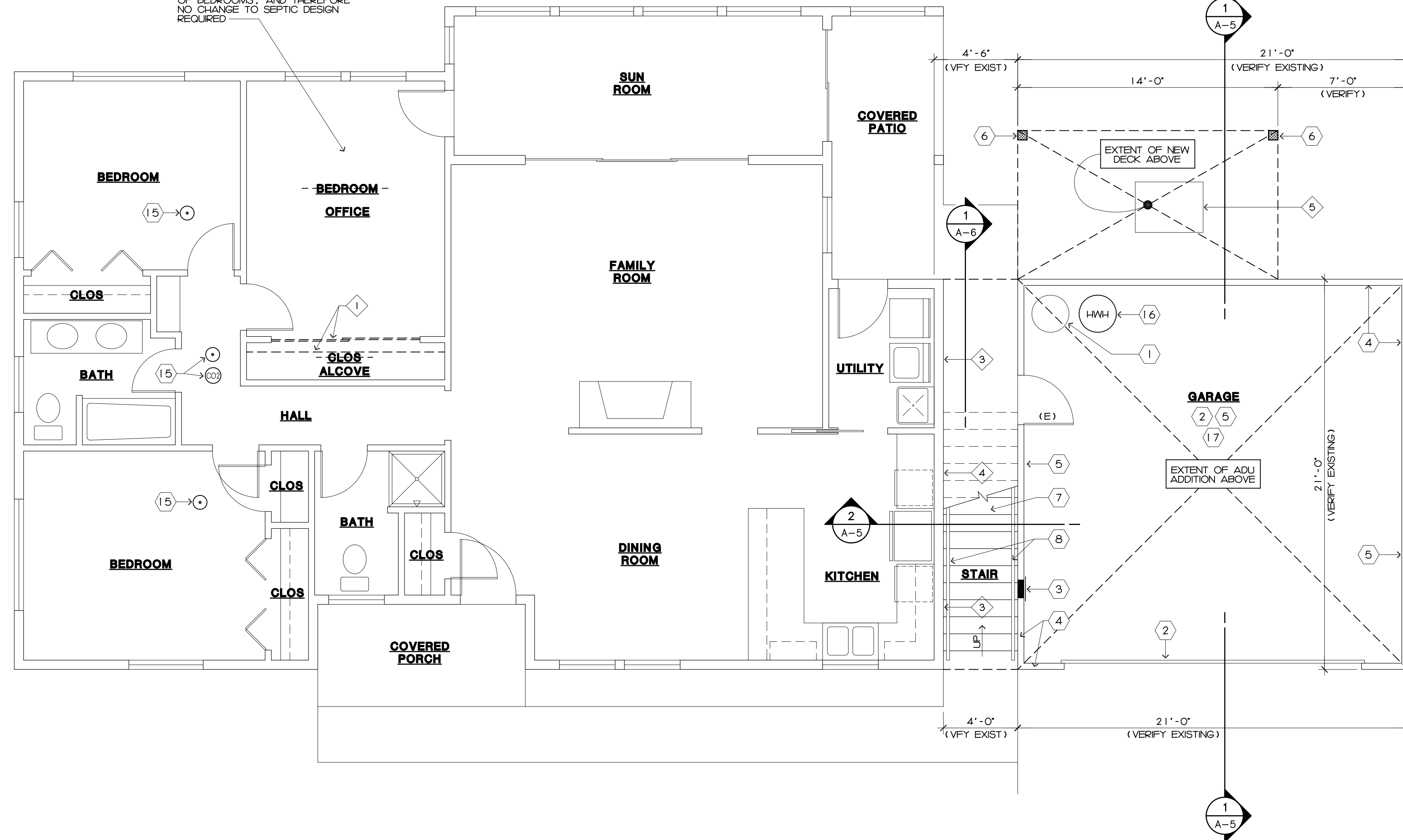
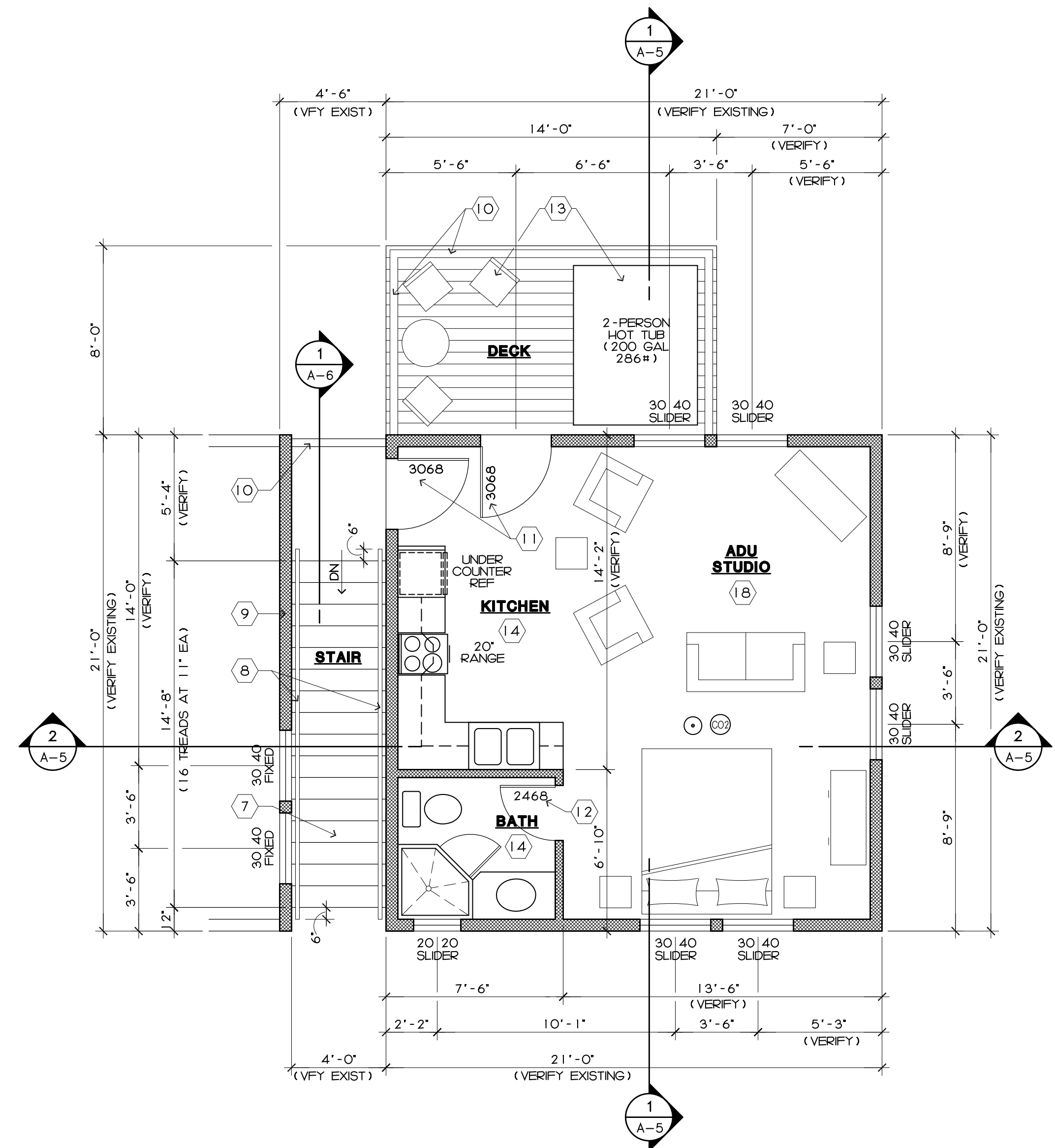


NOTE: EXISTING BEDROOM SHALL BE CONVERTED TO OFFICE WHEN ADU IS ADDED, SO THERE WILL BE NO CHANGE TO TOTAL NUMBER OF BEDROOMS, AND THEREFORE NO CHANGE TO SEPTIC DESIGN REQUIRED



1 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"
NORTH



2 UPPER FLOOR PLAN - NEW ADU
SCALE: 1/4"=1'-0"

DEMO PLAN KEY NOTES

- 1 REMOVE CLOSET DOORS AND CLOTHES ROD FROM BEDROOM CLOSET TO CONVERT BEDROOM SPACE TO OFFICE USE. CLOSET TO BE USED AS OFFICE ALCOVE
- 2 REMOVE ROOF AND CEILING FRAMING OVER EXISTING GARAGE AS SHOWN ON 2/A-4 ROOF DEMOLITION PLAN (INCLUDING CEILING LIGHTING AND WIRING)
- 3 SEE NOTES ON 2/A-4 ROOF DEMOLITION PLAN AND WALL SECTION 7/A-5 FOR EXTENT OF ROOF DEMOLITION NEEDED TO CONSTRUCT NEW WALL ABOVE THIS EXISTING EXTERIOR WALL
- 4 SEE FRAMING PLANS ON SHEET A-7 FOR NEW BEARING POSTS REQUIRED IN THIS WALL. FIELD VERIFY IF POSTS SHOULD BE INSTALLED FROM INTERIOR OR EXTERIOR. IF WIRING NEEDS TO BE RE-ROUTED, OR IF SIDING NEEDS TO BE REMOVED AND RE-INSTALLED IN ORDER TO ACCOMPLISH TASK
- 5 EXISTING HEAT PUMP LOCATION. VERIFY WITH MECHANICAL CONTRACTOR TO DETERMINE IF DECK ABOVE IS ALLOWABLE, AND VERIFY WITH OWNER IF RELOCATION IS DESIRABLE

SYMBOL LEGEND

- DRAWING NUMBER
BUILDING SECTION
SHEET NUMBER
- DRAWING NUMBER
DETAIL
SHEET NUMBER
- FLOOR PLAN KEY NOTE -
SEE NOTES THIS SHEET
- DEMOLITION PLAN KEY NOTE -
SEE NOTES THIS SHEET
- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED OR RELOCATED
- SMOKE ALARM
- CARBON MONOXIDE ALARM

INSULATION REQUIREMENTS

- (INSULATION REQUIREMENTS APPLY TO NEW CONSTRUCTION ONLY)
- INSULATION REQUIREMENTS BASED ON THE 2017 OR RESIDENTIAL SPECIALTY CODE, (TABLE N1101.1(1))
PRESCRIPTIVE APPROACH:
- ATTIC - R-49 MIN
 - EXTERIOR WALLS - R-21 MIN
 - FLOORS - R-30 MIN
 - GLAZING
VERTICAL OVERHEAD - U-0.30 MAXIMUM
U-0.50 MAXIMUM
 - EXTERIOR DOORS - U-0.20 MAXIMUM
(A MAXIMUM OF 28 SF OF EXTERIOR DOOR AREA CAN HAVE A U-FACTOR OF 0.54 OR LESS)
- PER ORSC SECTION N1101.3.2 - SMALL ADDITIONS LESS THAN 40% OF THE EXISTING BUILDING HEATED FLOOR AREA SHALL PROVIDE ONE MEASURE FROM TABLE N1101.1(2) OR COMPLY WITH TABLE N1101.3
- ITEM "C" FROM TABLE N1101.1(2) SELECTED!
PROVIDE DUCTLESS HEAT PUMP HSPF 10.0 IN PRIMARY ZONE OF ADDITION

FLOOR PLAN KEY NOTES

- 1 EXISTING WATER HEATER FOR MAIN RESIDENCE, TO REMAIN
- 2 EXISTING OVERHEAD GARAGE DOOR TO REMAIN. PROVIDE NEW OPENER PER OWNER SELECTION
- 3 EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY OF PANEL AND DETERMINE LOAD REQUIREMENTS FOR NEW ADDITION. SEE 3/A-6 ELECTRICAL PLAN FOR NEW ELECTRICAL ITEMS
- 4 EXISTING LOWER FLOOR WALLS TO REMAIN. SEE WALL SECTIONS AND DETAILS FOR NEW WALLS ABOVE TO CONNECT TO EXISTING
- 5 CEILING OF GARAGE TO HAVE (1) LAYER 5/8" TYPE 'X' GWB FOR FIRE SEPARATION, WALLS SUPPORTING FLOOR FRAMING SHALL HAVE (1) LAYER 1/2" GWB OVER STUDS
- 6 NEW 6x6 PRESSURE TREATED POST PER FRAMING PLANS
- 7 NEW STAIR CONSTRUCTION IN BREEZEWAY BETWEEN EXISTING HOUSE AND GARAGE. EXISTING CONCRETE WALK IN BREEZEWAY TO REMAIN
- 8 NEW HANDRAIL ON EACH SIDE OF STAIR, SEE STAIR SECTION 1/A-6 FOR NOTES AND DIMENSIONS
- 9 NEW 2x6 WALL CONSTRUCTED OVER EXISTING LOWER FLOOR WALL PER WALL SECTION 7/A-5
- 10 NEW 36" HIGH GUARDRAIL PER DETAIL 3/A-5
- 11 NEW INSULATED PRE-HUNG EXTERIOR DOOR TO MEET ENERGY CODE REQUIREMENTS. OWNER TO SELECT STYLE AND FINISH OF DOOR AND HARDWARE
- 12 NEW HOLLOW CORE PRE-HUNG DOOR WITH PRIVACY LOCK AND DOOR STOP. OWNER TO SELECT STYLE AND FINISH OF DOOR AND HARDWARE

- 13 HOT TUB AND DECK FURNITURE TO BE PROVIDED BY OWNER (SHOWN FOR REFERENCE ONLY)
- 14 ALL CABINETS, COUNTER TOPS, APPLIANCES, FIXTURES AND HARDWARE TO BE SELECTED BY OWNER. THIS ROOM
- 15 SMOKE ALARM OR CARBON MONOXIDE ALARM REQUIRED IN THIS LOCATION. FIELD VERIFY IF ONE EXISTS AND PROVIDE WHERE NEEDED
- 16 NEW WATER HEATER TO PROVIDE FOR NEW ADDITION. VERIFY WITH OWNER FOR SIZE NEEDED AND LOCATION DESIRED
- 17 PLUMBING CONTRACTOR TO COORDINATE WITH OWNER TO LOCATE FUTURE WASHER / DRYER INSTALLATION AND PROVIDE WATER AND WASTE LINES TO THAT LOCATION IN PREPARATION. ALSO SEE NOTE ON SHEET A-6 FOR ELECTRICAL PROVISIONS AT SAME LOCATION
- 18 HEAT SOURCE AT NEW ADDITION SHALL BE A DUCTLESS MINI-SPLIT SYSTEM. COORDINATE WITH OWNER TO SELECT MAKE AND MODEL, AND LOCATION ON EXTERIOR WALL

FLOOR PLAN GENERAL NOTES

1. TYPICAL DIMENSIONING IS TO FACE OF CONCRETE OR FACE OF STUD
2. WHERE DOOR OPENINGS ARE NOT DIMENSIONALLY LOCATED, PLACE JAMB 4" OFF OF ADJACENT WALL AND PROVIDE (2) MIN STUDS
3. TYPICAL STUD SIZES:
2x4 STUDS AT EXTERIOR, OR WHERE INDICATED ON PLAN
2x4 STUDS AT INTERIOR WALLS, UNLESS NOTED OTHERWISE.
4. ALL NEW FLOOR, WALL AND CEILING FINISHES SHALL BE SELECTED BY OWNER
5. ALL NEW WINDOWS TO BE WHITE VINYL (MAKE AND MODEL TO BE VERIFIED WITH OWNER) SEE INSULATION REQUIREMENTS FOR MAXIMUM U-VALUE
6. PROVIDE NEW HARD-PLANK LAP SIDING AT PERIMETER OF NEW ADDITION (WILL NOT MATCH EXISTING LAP SIDING)
7. OWNER TO MAKE DECISIONS REGARDING THE FOLLOWING ITEMS:
 - PLUMBING FIXTURES
 - LIGHT FIXTURES
 - CABINETS
 - COUNTER TOPS
 - BASE TRIM
 - DOOR / WINDOW TRIM
 - DOORS
 - DOOR HARDWARE
 - FLOORING
 - INTERIOR PAINT

ISSUE DATE:
5-3-21

REVISION:

JOB # 1909

DESIGN REVIEW

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SHEET NO:
A-2

FLOOR PLANS / SCHEDULES