

ADU ADDITION FOR: ZONE HOLDINGS RESIDENCE

CITY OF NEWBERG

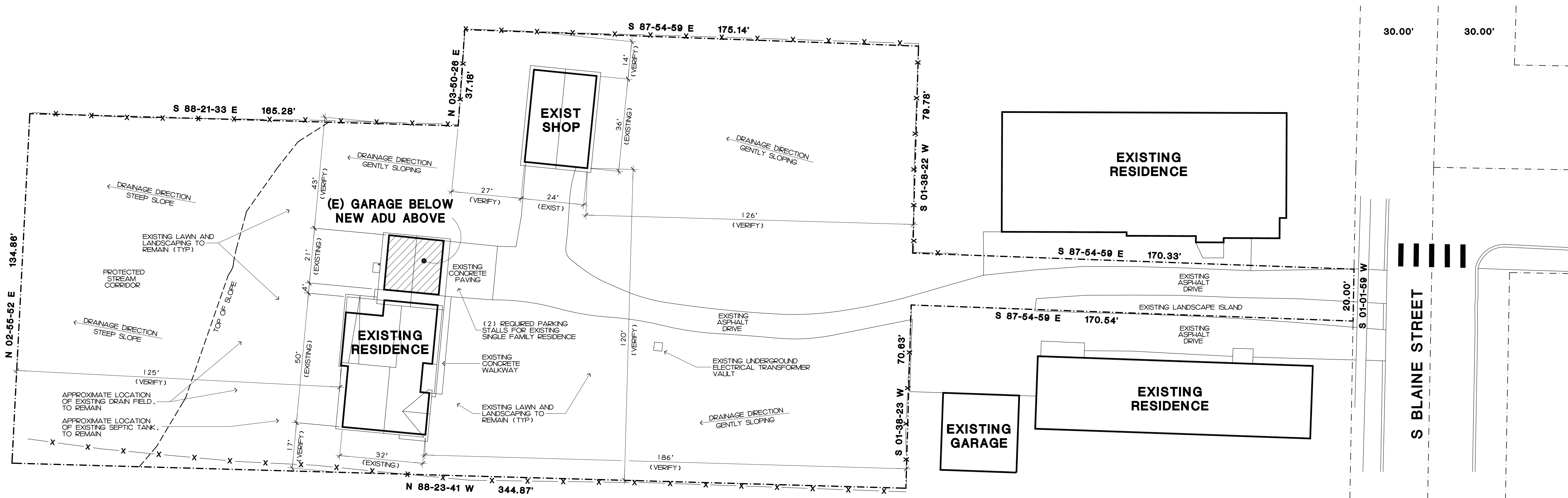
NEWBERG, OREGON

SLATER
ARCHITECTURE

8900 NE Livingston
Mtn Rd
Camas, WA 98607

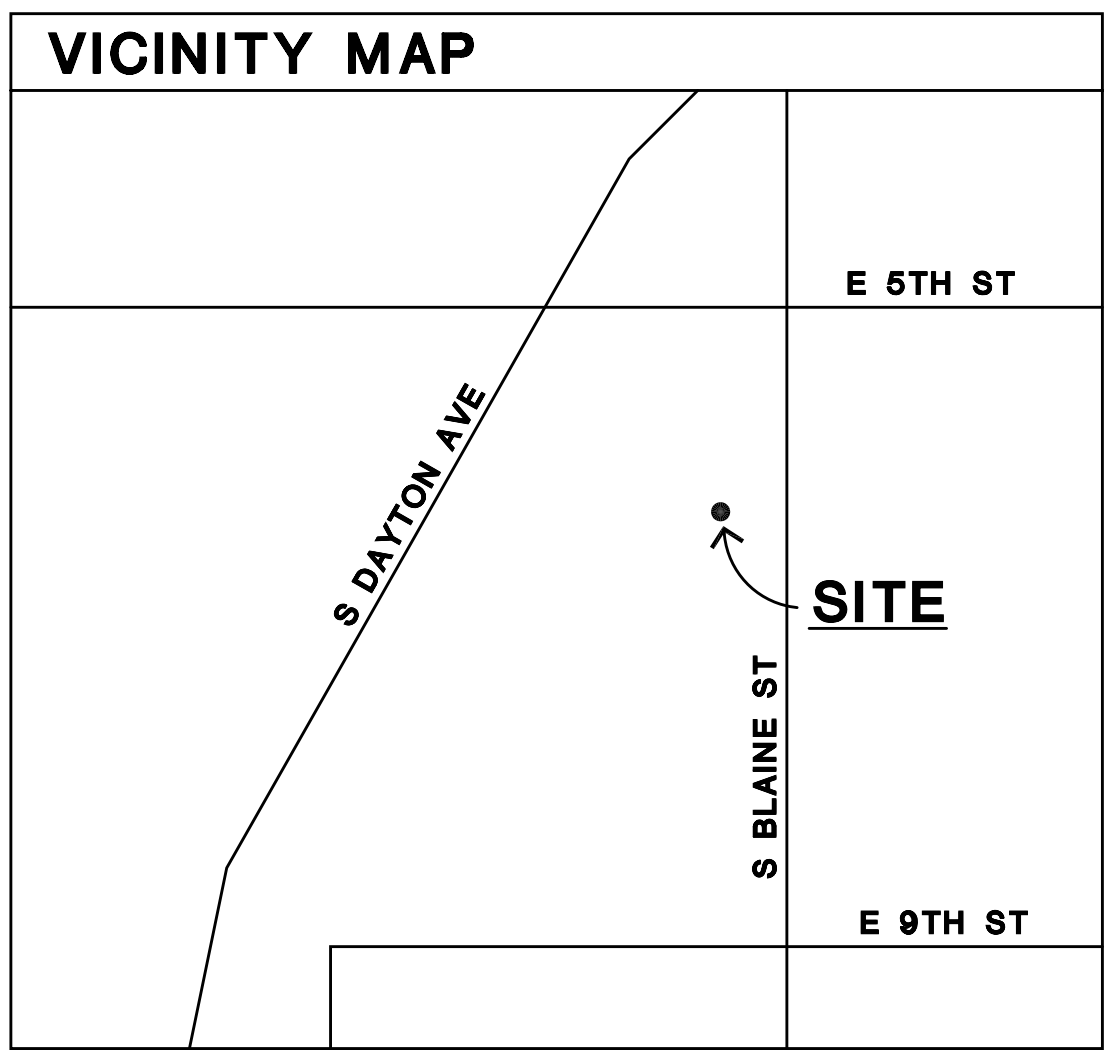
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1 SITE PLAN
SCALE: 1"=20'
NORTH

SITE PLAN / TITLE SHEET
 ADU ADDITION TO:
ZONE HOLDINGS RESIDENCE
 NEWBERG, OREGON
 CITY OF NEWBERG



INDEX OF DRAWINGS	
A-1	SITE PLAN / TITLE SHEET
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PROJECT INFORMATION															
OWNER:	CASEY AND SHANNON BERNARD 375 SW VEVIMONT DRIVE DUNES, OREGON 97115 PHONE: (503) 997-1608 EMAIL: CASEY@BERNARD@YAHOO.COM														
ARCHITECT AND CONTACT PERSON:	SLATER ARCHITECTURE - LISA SLATER 8900 NE LIVINGSTON Mtn RD CAMAS, WASHINGTON 98607 PHONE: (360) 903-6886 EMAIL: LISA@SLATERARCHITECTURE.COM														
STRUCTURAL ENGINEER:	HEH CONSULTING ENG - ANDREY CHERNISHOV 501 E FIRST STREET NEWBERG, OREGON 97132 PHONE: (503) 584-9553 EMAIL: ACHERNISHOV@HEH-CONSULTING.COM														
SITE ADDRESS:	601 S BLAINE STREET NEWBERG, OREGON 97132														
PARCEL NUMBER:	R3219AC04100														
LOT SIZE:	1.25 ACRES														
EXISTING ZONING:	R-3														
OCCUPANCY TYPE:	R-3 (SINGLE FAMILY RESIDENCE)														
CONSTRUCTION TYPE:	V-N														
BUILDING HEIGHT:	20'														
SQUARE FOOTAGE CALCULATIONS:	<table border="0"> <tr> <td>EXISTING RESIDENCE</td> <td></td> </tr> <tr> <td>1ST FLOOR LIVING AREA</td> <td>- 1410 SF</td> </tr> <tr> <td>1ST FLOOR SUN ROOM</td> <td>- 164 SF</td> </tr> <tr> <td>EXIST DETACHED GARAGE</td> <td>- 441 SF</td> </tr> <tr> <td>NEW ADDITION</td> <td></td> </tr> <tr> <td>2ND FLOOR ADU</td> <td>- 441 SF</td> </tr> <tr> <td>(MAX 50% OF HOUSE)</td> <td>- (315)</td> </tr> </table>	EXISTING RESIDENCE		1ST FLOOR LIVING AREA	- 1410 SF	1ST FLOOR SUN ROOM	- 164 SF	EXIST DETACHED GARAGE	- 441 SF	NEW ADDITION		2ND FLOOR ADU	- 441 SF	(MAX 50% OF HOUSE)	- (315)
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SITE PLAN REQUIREMENTS	
ALL NEW CONSTRUCTION TO OCCUR WITHIN THE FOOTPRINT OF THE EXISTING STRUCTURE. NO SITEWORK IS PROPOSED.	
PER CITY OF NEWBERG MUNICIPAL CODE, AN ADU DOES NOT REQUIRE ADDITIONAL PARKING.	
THE FOLLOWING REQUIREMENTS ARE BASED ON THE "TYPE I DESIGN REVIEW APPLICATION CHECKLIST", WHICH ARE TO BE SHOWN ON THE SITE PLAN, BUT ARE EXISTING CONDITIONS THAT SHALL REMAIN AND ARE NOT PROPOSED TO BE ALTERED:	
UTILITIES PUBLIC IMPROVEMENTS ACCESS, PARKING AND CIRCULATION EXTERIOR LIGHTING LANDSCAPING	

ISSUE DATE:
5-3-21
REVISION:

JOB # 1909
DESIGN REVIEW

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SHEET NO:
A-1
SITE PLAN / TITLE SHEET