



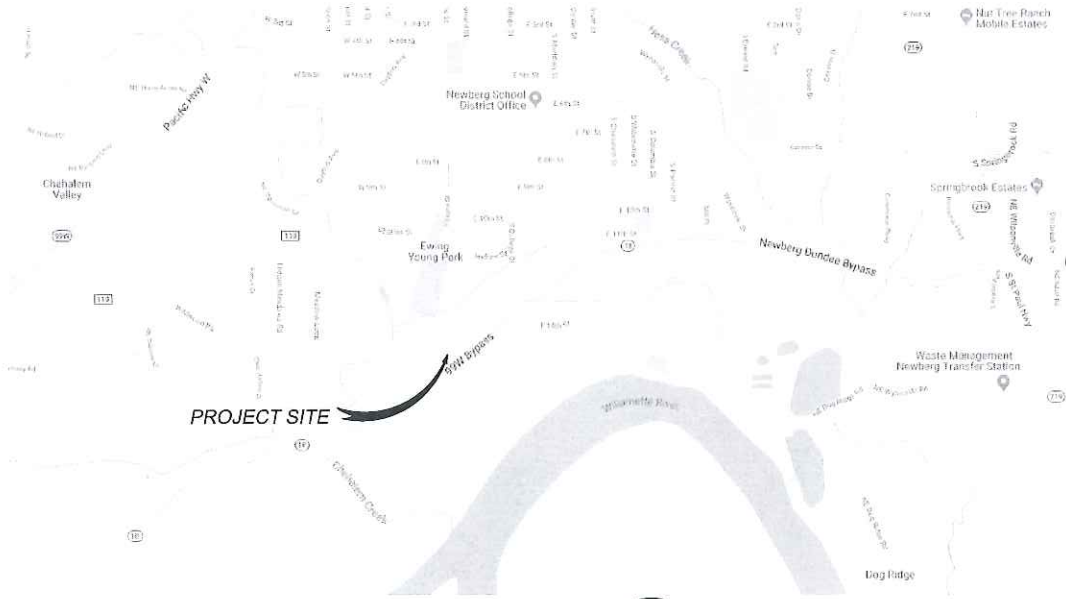
**EXHIBIT B**  
**Tentative Plans**

# SITE DEVELOPMENT PLANS

## RIVERRUN (A SUBDIVISION)

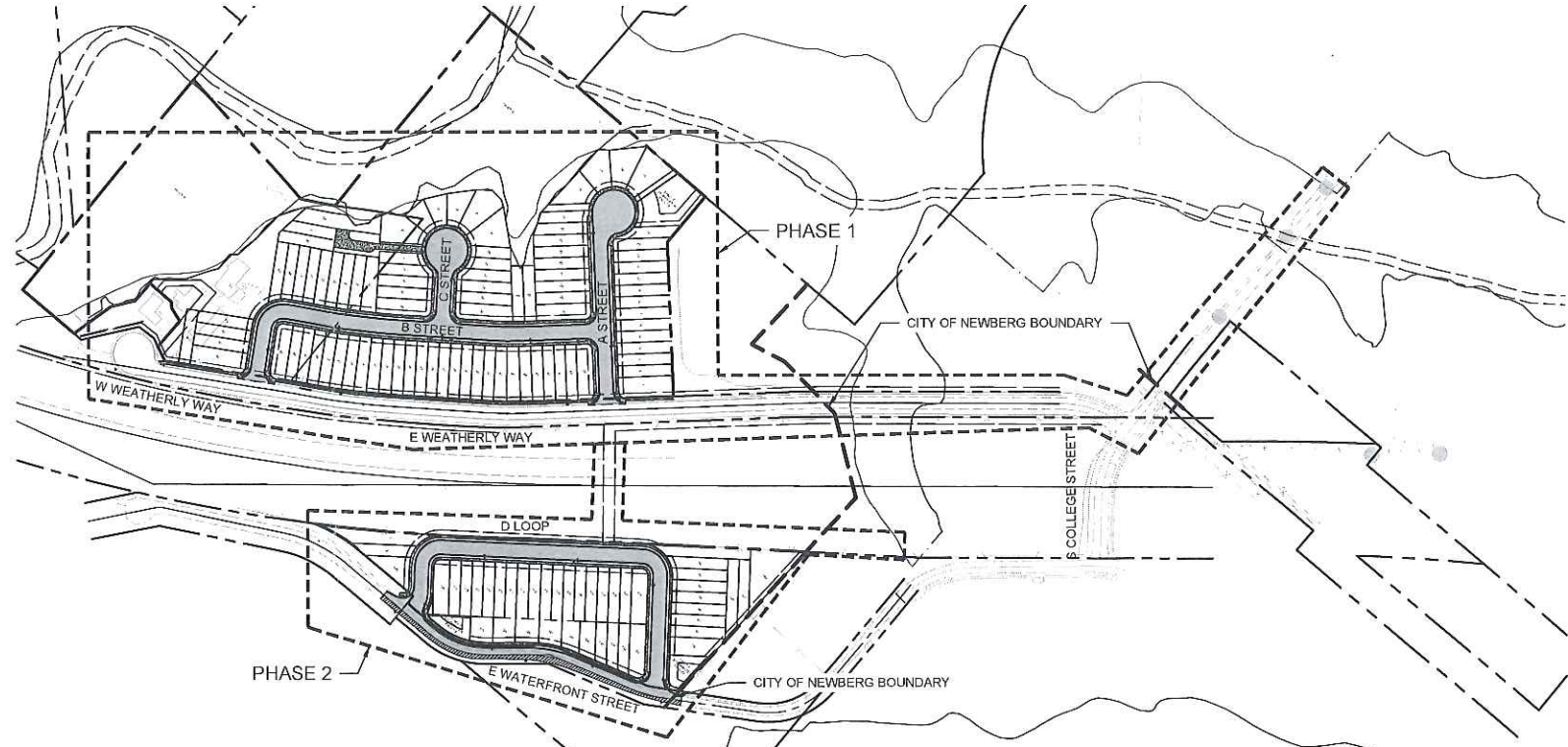
**DAVID EVANS AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

**DESIGN STUDIO**  
Registered Civil Engineers

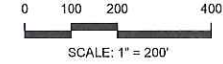


PROJECT SITE

1 VICINITY MAP  
SCALE: N.T.S.



2 SITE PLAN  
SCALE: 1"=200'



**DEVELOPER:**  
DEVELOPER: DEL BOCA VISTA LLC  
CONTACT: JESSICA CAIN  
500 E HANCOCK STREET  
NEWBERG, OR 97132  
PHONE: 971-706-2058

**PROJECT LOCATION:**  
NEWBERG, OREGON 97132  
LOCATED AT THE TERMINUS E WEATHERLY WAY  
& E WATERFRONT STREET  
YAMHILL COUNTY, OREGON  
LATITUDE = 45°17'10"N, LONGITUDE = 122°58'35"W

**ENGINEERING FIRM:**  
DAVID EVANS & ASSOCIATES, INC.  
CONTACT: BRADY BERRY, PE  
2100 SW RIVER PKWY  
PORTLAND, OR 97201  
PHONE: 503-499-0470  
EMAIL: brady.berry@deainc.com

**PROPERTY DESCRIPTION:**  
TAX LOTS R3230 00400, 00403, & 00500  
(YAMHILL COUNTY TAX MAP) LOCATED IN THE  
NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH,  
RANGE 2 WEST, WILLAMETTE MERIDIAN, YAMHILL  
COUNTY, OREGON

**PROPERTY OWNERS:**  
WEATHERLY PROPERTIES LLC  
(TAX LOTS 00400 & 00403)  
CONTACT: KAY WEATHERLY  
1718 NE CHEHALEM DRIVE  
NEWBERG, OR 97132  
PHONE: 503-538-2244

**PROJECT SITE ZONING & OVERLAYS:**  
STREAM CORRIDOR OVERLAY  
FLOOD HAZARD OVERLAY  
R-2/RD RIVERFRONT SUBDISTRICT  
URBAN GROWTH BOUNDARY

STEVEN & DENISE WOZNAK  
(TAX LOT 00500)  
CONTACT: STEVE WOZNAK  
1829 WATERFRONT STREET  
NEWBERG, OR 97132  
PHONE: 503-538-5644

### SHEET INDEX:

- |      |  |
|------|--|
| C001 | COVER SHEET                            |
| C002 | EXISTING CONDITIONS (PHASE 1)          |
| C003 | EXISTING CONDITIONS (PHASE 2)          |
| C100 | SITE PLAN / PRELIMINARY PLAT (PHASE 1) |
| C101 | SITE PLAN / PRELIMINARY PLAT (PHASE 2) |
| C200 | GRADING PLAN (PHASE 1)                 |
| C201 | GRADING PLAN (PHASE 2)                 |
| C300 | COMPOSITE UTILITY PLAN (PHASE 1)       |
| C301 | COMPOSITE UTILITY PLAN (PHASE 2)       |
| C302 | COMPOSITE UTILITY PLAN (PHASE 1)       |
| E200 | ILLUMINATION PLAN (PHASE 1)            |
| E201 | ILLUMINATION PLAN (PHASE 2)            |
| L100 | LANDSCAPE PLAN (PHASE 1)               |
| L101 | LANDSCAPE PLAN (PHASE 2)               |

PROJECT:  
RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

SHEET TITLE:  
COVER SHEET

BY:  
REVISION:  
NO. DATE

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO:  
**C001**

PROJECT NO.: DBVX0000-0002

Plot Date: 7/20/2018 10:23 AM  
Save Date: 7/20/2018 3:48 PM  
Drawing File: P:\DBV\00000000000000000000\00000000000000000000\00000000000000000000\00000000000000000000.dwg  
By: Nju  
Plot Date: 7/20/2018 10:23 AM  
Save Date: 7/20/2018 3:48 PM



POTENTIAL UNDERGROUND  
FACILITY OWNERS  
"ONE CALL"  
UTILITY NOTIFICATION CENTER  
1-800-332-2344

ATTENTION:  
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED  
BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE  
RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH  
OAR 952-001-0050. YOU MAY OBTAIN COPIES OF THE  
RULES BY CALLING THE CENTER.  
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY  
NOTIFICATION CENTER IS 1-800-332-2344 or 811).

**GENERAL NOTES**

1. PRESERVE ALL EXISTING UTILITY STRUCTURES.
2. BEARINGS BASED ON THE OREGON COORDINATE REFERENCE SYSTEM, PORTLAND ZONE, NORTH AMERICAN DATUM OF 1983.
3. VERTICAL DATUM IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (YAMHILL COUNTY VERTICAL DATUM), GEOID 12B, YAMHILL COUNTY BENCHMARK #21 WAS HELD FOR ELEVATIONS.

**LEGEND**

- EXISTING ROW / PROPERTY LINE
- EXISTING EASEMENT
- EXISTING CONTOUR
- [Hatched] REMOVE EXISTING PAVEMENT/STRUCTURES
- [Symbol] BENCH MARK
- [Symbol] BLOW OFF
- [Symbol] BORE HOLE
- [Symbol] CLEANOUT
- [Symbol] CABLE TV JUNCTION BOX
- [Symbol] CABLE TV MANHOLE
- [Symbol] CABLE TV VAULT
- [Symbol] CONTROL POINT
- [Symbol] ELECTRICAL JUNCTION BOX
- [Symbol] ELECTRICAL MANHOLE
- [Symbol] ELECTRICAL LIGHT POLE
- [Symbol] ELECTRICAL TRANSFORMER
- [Symbol] ELECTRICAL VAULT
- [Symbol] ELECTRONIC TEST STATION
- [Symbol] FIRE DEPARTMENT CONNECTION
- [Symbol] FOUND MONUMENT
- [Symbol] FOUND ALUMINUM CAP
- [Symbol] FOUND BRASS CAP
- [Symbol] FOUND BRASS SCREW
- [Symbol] FOUND HUB AND TACK
- [Symbol] FOUND IRON PIPE
- [Symbol] FOUND IRON ROD
- [Symbol] FOUND NAIL
- [Symbol] FOUND RAILROAD SPIKE
- [Symbol] FIRE HYDRANT
- [Symbol] FUEL FILL
- [Symbol] FUEL PUMP
- [Symbol] FUEL JUNCTION BOX
- [Symbol] GUY POLE
- [Symbol] GRAVE
- [Symbol] GUY ANCHOR
- [Symbol] HIGH WATER MARK
- [Symbol] IRRIGATION MANHOLE
- [Symbol] IRRIGATION VAULT
- [Symbol] JUNCTION BOX (AS NOTED)
- [Symbol] LIGHT
- [Symbol] LIGHT W/ ARM
- [Symbol] MAILBOX
- [Symbol] MILE MARKER
- [Symbol] MONITORING WELL
- [Symbol] NATURAL GAS MANHOLE
- [Symbol] NATURAL GAS VAULT
- [Symbol] POST INDICATOR VALVE
- [Symbol] POLE
- [Symbol] POST
- [Symbol] RAILROAD CROSSING ARM
- [Symbol] RAILROAD CROSSING SIGNAL
- [Symbol] RECLAIMED WATER MANHOLE
- [Symbol] RECLAIMED WATER VAULT
- [Symbol] SANITARY MANHOLE LID
- [Symbol] SANITARY MANHOLE STRUCTURE
- [Symbol] SEWER SCRUB
- [Symbol] SHRUB
- [Symbol] SIGN
- [Symbol] SIGNAL JUNCTION BOX
- [Symbol] SIGNAL POLE
- [Symbol] SIGNAL POLE W/ LIGHT
- [Symbol] STEAM MANHOLE
- [Symbol] STORM AREA DRAIN
- [Symbol] STORM CATCH BASIN
- [Symbol] STORM CURB INLET
- [Symbol] STORM DRAIN
- [Symbol] STORM FIELD INLET
- [Symbol] STORM MANHOLE LID
- [Symbol] STORM MANHOLE STRUCTURE
- [Symbol] STORM ROOF DRAIN/ DOWNSPOUT
- [Symbol] STORM VAULT
- [Symbol] TIE DOWN
- [Symbol] TELEPHONE JUNCTION BOX
- [Symbol] TELEPHONE MANHOLE
- [Symbol] TELEPHONE VAULT
- [Symbol] TREE - CONIFER
- [Symbol] TREE - DECIDUOUS
- [Symbol] UNKNOWN JUNCTION BOX
- [Symbol] UNKNOWN MANHOLE
- [Symbol] UNKNOWN VAULT
- [Symbol] UTILITY CABINET (AS NOTED)
- [Symbol] UTILITY METER (AS NOTED)
- [Symbol] UTILITY RISER (AS NOTED)
- [Symbol] UTILITY MARKER SIGN (AS NOTED)
- [Symbol] UTILITY STANDPIPE (AS NOTED)
- [Symbol] UTILITY VALVE (AS NOTED)
- [Symbol] VENT
- [Symbol] WATER BACK FLOW PREVENTER
- [Symbol] WATER MANHOLE
- [Symbol] WATER VAULT
- [Symbol] WELL
- [Symbol] WETLAND PLOT

PROJECT: RIVERRUN (A SUBDIVISION)  
 RIVERRUN SUBDIVISION LLC  
 NEWBERG, OREGON

SHEET TITLE: EXISTING CONDITIONS  
 (PHASE 1)

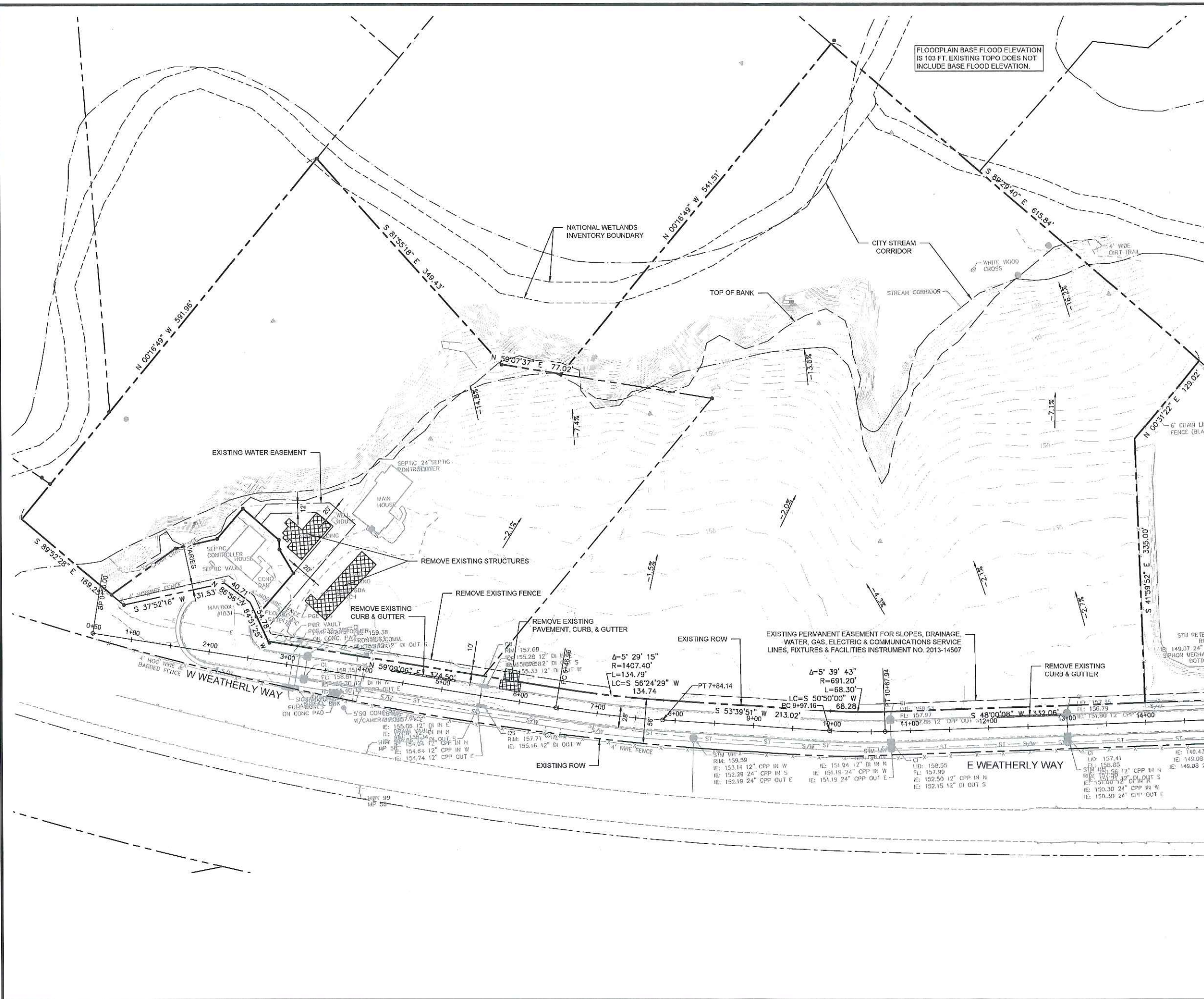
BY: [Symbol]  
 NO. DATE REVISION

30% CD'S

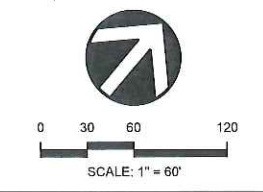
**PRELIMINARY**

DATE: 04/16/18  
 DESIGN: NJRU  
 DRAWN: NJRU

SHEET NO.  
**C002**  
 PROJECT NO. DBV0000-0002



Plot Date: 2/20/18 8:34 AM  
 Save Date: 2/20/18 4:08 PM  
 Drawing File: P:\DBV\00000002\0400\CA\DWG\HELE\SE\CS-001.DWG  
 By: Nathan Raedt  
 Plt: NJR





**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

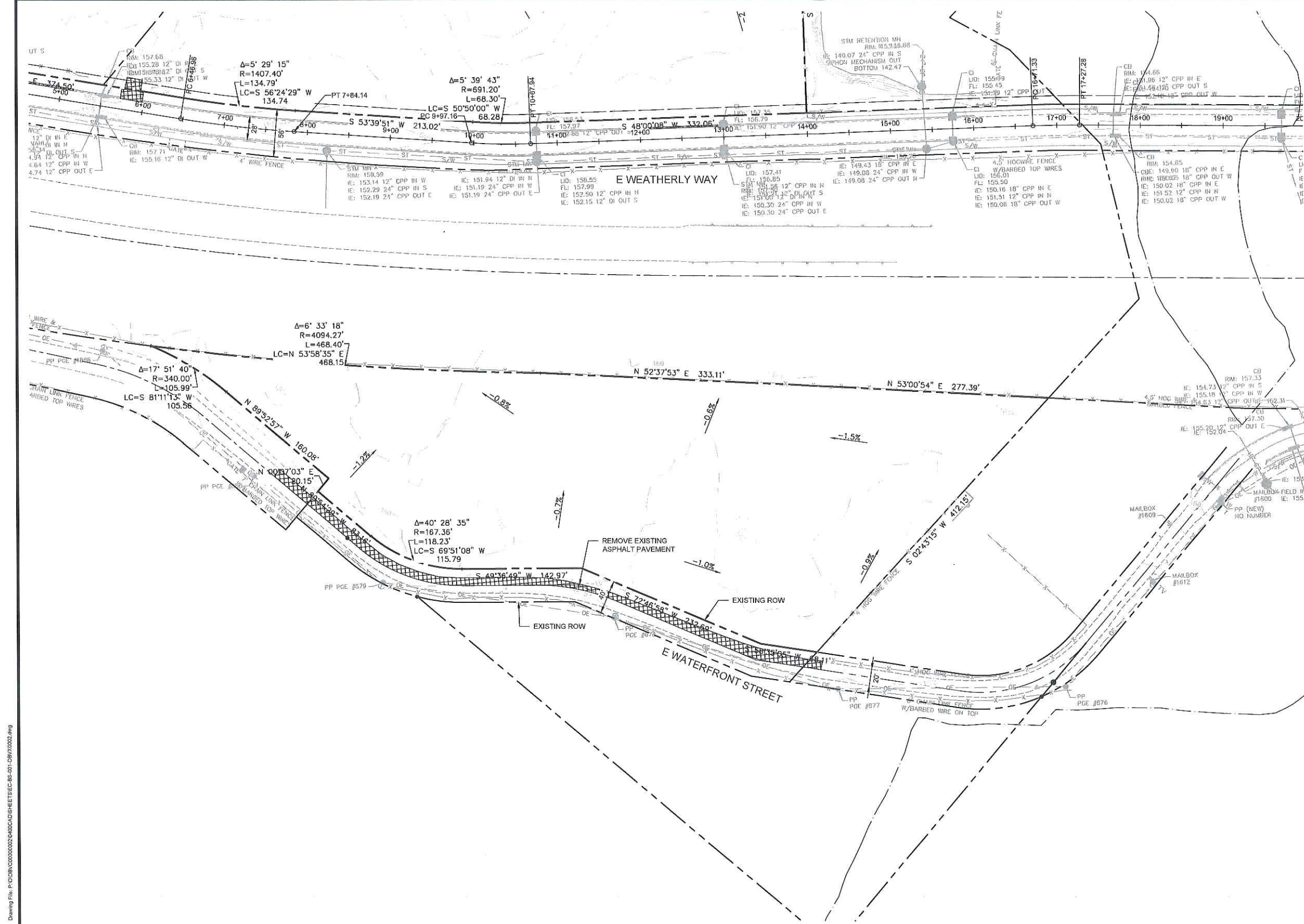
**DESIGN STUDIO**  
By David Evans Inc.

**GENERAL NOTES**

1. PRESERVE ALL EXISTING UTILITY STRUCTURES.
2. BEARINGS BASED ON THE OREGON COORDINATE REFERENCE SYSTEM, PORTLAND ZONE, NORTH AMERICAN DATUM OF 1983.
3. VERTICAL DATUM IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (YAMHILL COUNTY VERTICAL DATUM), GEOID 12B, YAMHILL COUNTY BENCHMARK #21 WAS HELD FOR ELEVATIONS.

**LEGEND**

- EXISTING ROW / PROPERTY LINE
- EXISTING EASEMENT
- EXISTING CONTOUR
- █ REMOVE EXISTING PAVEMENT
- BENCH MARK
- BLOW OFF
- BORE HOLE
- CLEANOUT
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE
- CABLE TV VAULT
- CONTROL POINT
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- ELECTRICAL LIGHT POLE
- ELECTRICAL TRANSFORMER
- ELECTRICAL VAULT
- ELECTRONIC TEST STATION
- FIRE DEPARTMENT CONNECTION
- FOUND MONUMENT
- FOUND ALUMINUM CAP
- FOUND BRASS CAP
- FOUND BRASS SCREW
- FOUND HUB AND TACK
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND NAIL
- FOUND RAILROAD SPIKE
- FIRE HYDRANT
- FUEL FILL
- FUEL PUMP
- FUEL JUNCTION BOX
- GUY POLE
- GRAVE
- GUY ANCHOR
- HIGH WATER MARK
- IRRIGATION MANHOLE
- IRRIGATION VAULT
- JUNCTION BOX (AS NOTED)
- LIGHT
- LIGHT W/ ARM
- MAILBOX
- MILE MARKER
- MONITORING WELL
- NATURAL GAS MANHOLE
- NATURAL GAS VAULT
- POST INDICATOR VALVE
- POLE
- POST
- RAILROAD CROSSING ARM
- RAILROAD CROSSING SIGNAL
- RECLAIMED WATER MANHOLE
- RECLAIMED WATER VAULT
- SANITARY MANHOLE LID
- SANITARY MANHOLE STRUCTURE
- SEWER SCRUB
- SHRUB
- SIGN
- SIGNAL JUNCTION BOX
- SIGNAL POLE
- SIGNAL POLE W/ LIGHT
- STEAM MANHOLE
- STORM AREA DRAIN
- STORM CATCH BASIN
- STORM CURB INLET
- STORM DRAIN
- STORM FIELD INLET
- STORM MANHOLE LID
- STORM MANHOLE STRUCTURE
- STORM ROOF DRAIN/ DOWNSPOUT
- STORM VAULT
- TIE DOWN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE
- TELEPHONE VAULT
- TREE - CONIFER
- TREE - DECIDUOUS
- UNKNOWN JUNCTION BOX
- UNKNOWN MANHOLE
- UNKNOWN VAULT
- UTILITY CABINET (AS NOTED)
- UTILITY METER (AS NOTED)
- UTILITY RISER (AS NOTED)
- UTILITY MARKER SIGN (AS NOTED)
- UTILITY STANDPIPE (AS NOTED)
- UTILITY VALVE (AS NOTED)
- VENT
- WATER BACK FLOW PREVENTER
- WATER MANHOLE
- WATER VAULT
- WELL
- WETLAND PLOT



PROJECT  
**RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON**

BY

REVISION

NO. DATE

SHEET TITLE  
**EXISTING CONDITIONS  
(PHASE 2)**

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.  
**C003**

PROJECT NO. DBVX0000-0002

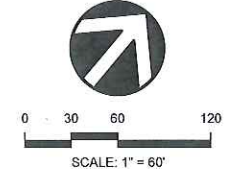
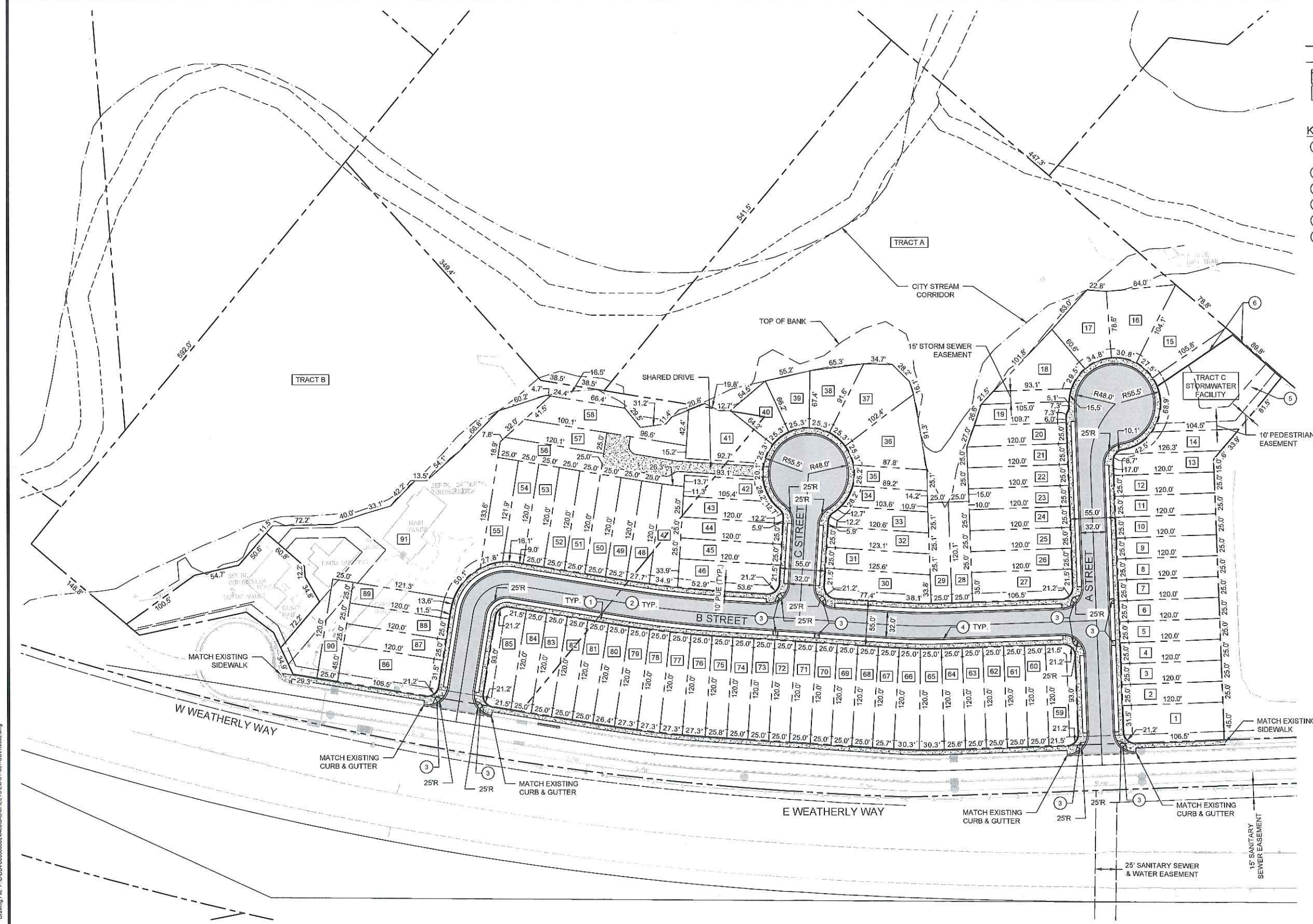
Plot Date: 7/20/2018 3:10 PM  
 User: njru  
 Drawing File: P:\DBV\0000\0002\0002\CADD\SET\SEC\AS\LOT1\DBV\X0003.dwg  
 By: Nathan Field  
 Sjr, NJ

**LEGEND**

- ROW / PROPERTY LINE
- EASEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED PUBLIC STREETS

- KEYNOTES**
- 1 PROPOSED 5' WIDE SEPARATED SIDEWALK WITH 5' WIDE PLANTER STRIP. PROPOSED CURB-TIGHT SIDEWALK TO BE 6' WIDE.
  - 2 PROPOSED FULL-DEPTH AC PAVEMENT
  - 3 PROPOSED CURB RAMP
  - 4 PROPOSED CURB & GUTTER
  - 5 PROPOSED WATER QUALITY POND WITH ACCESS
  - 6 PROPOSED WALL

LOT AREAS		LOT AREAS	
LOT	AREA (SF)	LOT	AREA (SF)
TRACT A	153,682	45	3,000
TRACT B	149,988	46	4,100
TRACT C	12,290	47	3,670
1	5,361	48	3,161
2	3,000	49	3,015
3	3,000	50	3,000
4	3,000	51	3,000
5	3,000	52	3,000
6	3,000	53	3,000
7	3,000	54	3,010
8	3,000	55	3,168
9	3,000	56	3,110
10	3,000	57	2,753
11	3,000	58	5,277
12	3,000	59	4,122
13	3,039	60	3,000
14	2,781	61	3,000
15	5,362	62	3,000
16	4,781	63	3,000
17	4,169	64	3,037
18	4,123	65	3,315
19	2,680	66	3,315
20	2,872	67	3,044
21	3,000	68	3,000
22	3,000	69	3,000
23	3,000	70	3,000
24	3,000	71	3,000
25	3,000	72	3,000
26	3,000	73	3,000
27	4,161	74	3,000
28	3,001	75	3,047
29	3,001	76	3,140
30	4,400	77	3,140
31	3,109	78	3,140
32	3,047	79	3,140
33	2,880	80	3,083
34	2,377	81	3,000
35	2,191	82	3,000
36	5,122	83	3,000
37	5,111	84	3,000
38	3,272	85	4,122
39	2,586	86	5,361
40	2,502	87	3,000
41	5,125	88	3,000
42	2,449	89	3,006
43	2,895	90	3,000
44	3,000	91	31,773



PROJECT  
 RIVERRUN (A SUBDIVISION)  
 RIVERRUN SUBDIVISION LLC  
 NEWBERG, OREGON

SHEET TITLE  
 SITE PLAN / PRELIMINARY PLAT  
 (PHASE 1)

BY

NO.	DATE	REVISION
1		

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
 DESIGN: NJRU  
 DRAWN: NJRU

SHEET NO.  
**C100**  
 PROJECT NO. DBV\0000-0002

Plot Date: 7/20/2018 10:26 AM  
 Save Date: 7/20/2018 3:47 PM  
 Drawing File: P:\DBV\00000000\0400CAD\GIS\HEETS\EC-ST-001-DBV\0000.dwg  
 By: Nujan Radd  
 By: Nujan Radd



**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

**DESIGN STUDIO**  
Imagine Greater Things

PROJECT  
**RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON**

BY  
**RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON**

SHEET TITLE  
**SITE PLAN / PRELIMINARY PLAT  
(PHASE 2)**

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.

**C101**

PROJECT NO. DBVX0000-0002

**LEGEND**

- - - - - ROW / PROPERTY LINE
- EASEMENT
- [Hatched Box] PROPOSED CONCRETE PAVEMENT
- [Dotted Box] PROPOSED ASPHALT PAVEMENT
- [Diagonal Lines] PROPOSED REHABILITATION OF EXISTING PAVEMENT SECTION
- [Grid Pattern] PROPOSED ROADWAY IMPROVEMENTS TO YAMHILL CO. STANDARD W/O CURBS TO 24' WIDTH

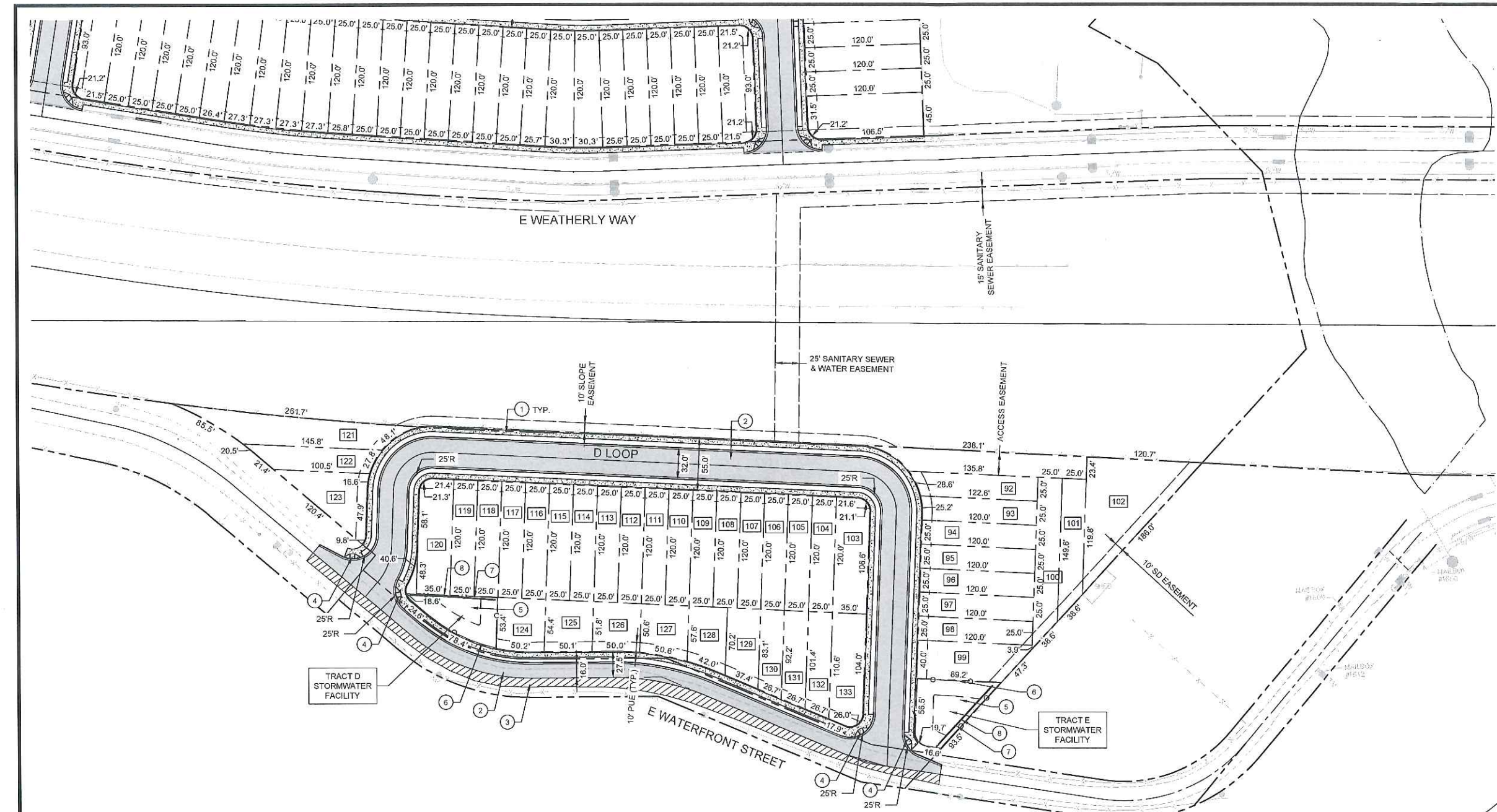
**KEYNOTES**

- 1 PROPOSED 5' WIDE SEPARATED SIDEWALK WITH 5' PLANTER STRIP
- 2 PROPOSED HALF-STREET IMPROVEMENT
- 3 PROPOSED REHABILITATION OF EXISTING PAVEMENT SECTION
- 4 PROPOSED CURB RAMP
- 5 PROPOSED CURB & GUTTER
- 6 PROPOSED WATER QUALITY POND WITH ACCESS
- 7 PROPOSED FENCE
- 8 PROPOSED WALL

LOT AREAS		LOT AREAS	
LOT	AREA (SF)	LOT	AREA (SF)
TRACT D	3,470	112	3,000
TRACT E	4,139	113	3,000
92	3,203	114	3,000
93	3,016	115	3,000
94	3,000	116	3,000
95	3,000	117	3,000
96	3,000	118	3,000
97	3,000	119	3,000
98	3,000	120	4,160
99	4,244	121	5,772
100	4,106	122	3,043
101	3,366	123	3,732
102	8,623	124	2,745
103	4,162	125	2,656
104	3,000	126	2,537
105	3,000	127	2,660
106	3,000	128	2,536
107	3,000	129	2,682
108	3,000	130	2,191
109	3,000	131	2,421
110	3,000	132	2,651
111	3,000	133	4,011



0 30 60 120  
SCALE: 1" = 60'



File Path: F:\2018\18\_04\18\_04\_DBVX0000-0002\18\_04\_DBVX0000-0002\18\_04\_DBVX0002.dwg  
 Drawing File: P:\DBV\000000000000\18\_04\_DBVX0000-0002\18\_04\_DBVX0002.dwg  
 By: Nathan Rood  
 Date: 02/20/2018 3:08 PM

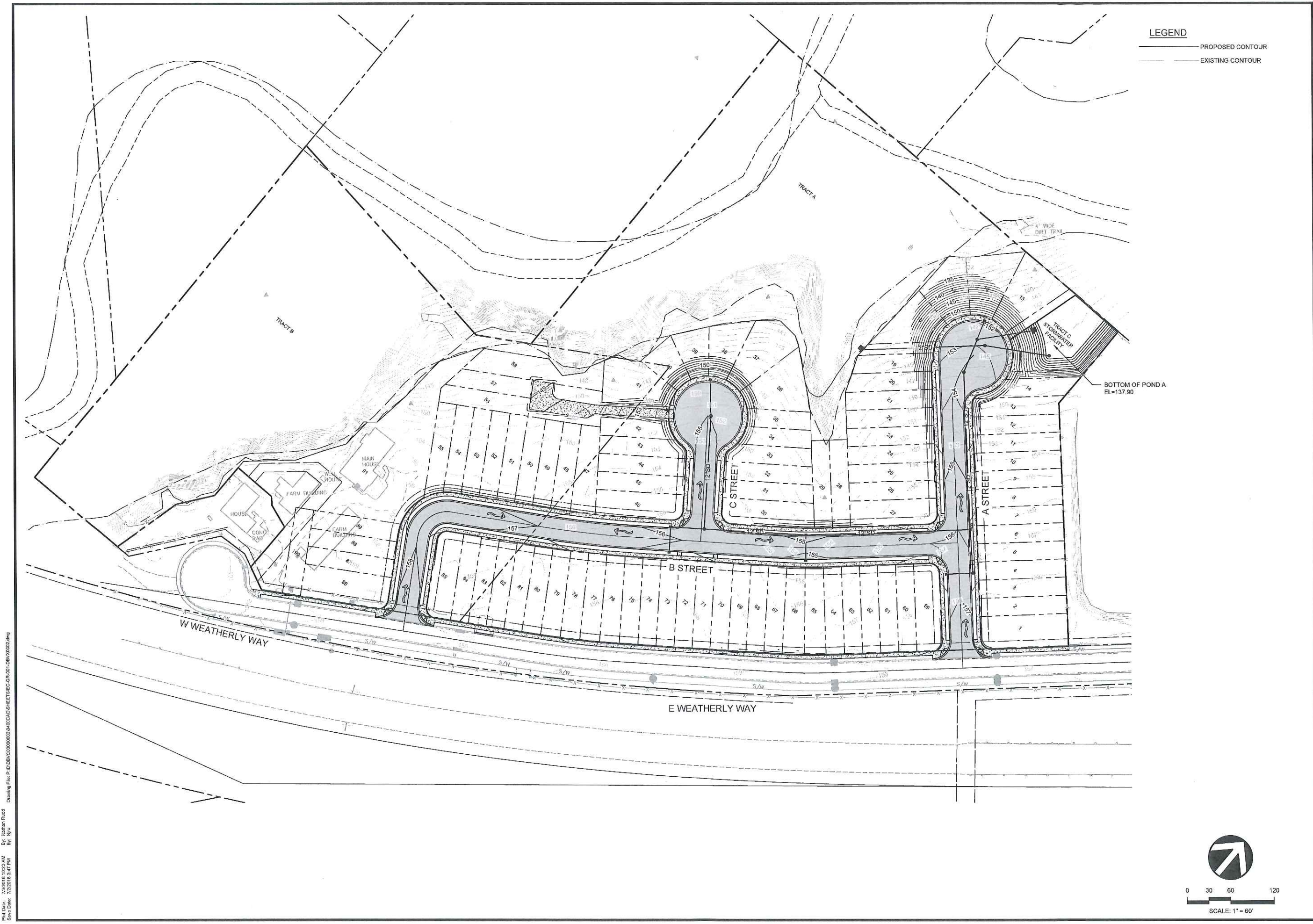


**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

**DESIGN STUDIO**  
*Suggested Living Spaces*

**LEGEND**

- PROPOSED CONTOUR
- - - EXISTING CONTOUR



PROJECT  
**RIVERRUN (A SUBDIVISION)**  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

SHEET TITLE  
**GRADING PLAN  
(PHASE 1)**

BY  
NO. DATE REVISION

30% CD'S  
**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.  
**C200**  
PROJECT NO. DBVX0000-0002

Plotted Date: 7/2/2018 1:24:51 AM  
 User: njr  
 Drawing File: P:\DBVX\C0000002\000002\CADD\SHETS\EC\C-C-GR-001-DBVX0000.dwg  
 By: NJR

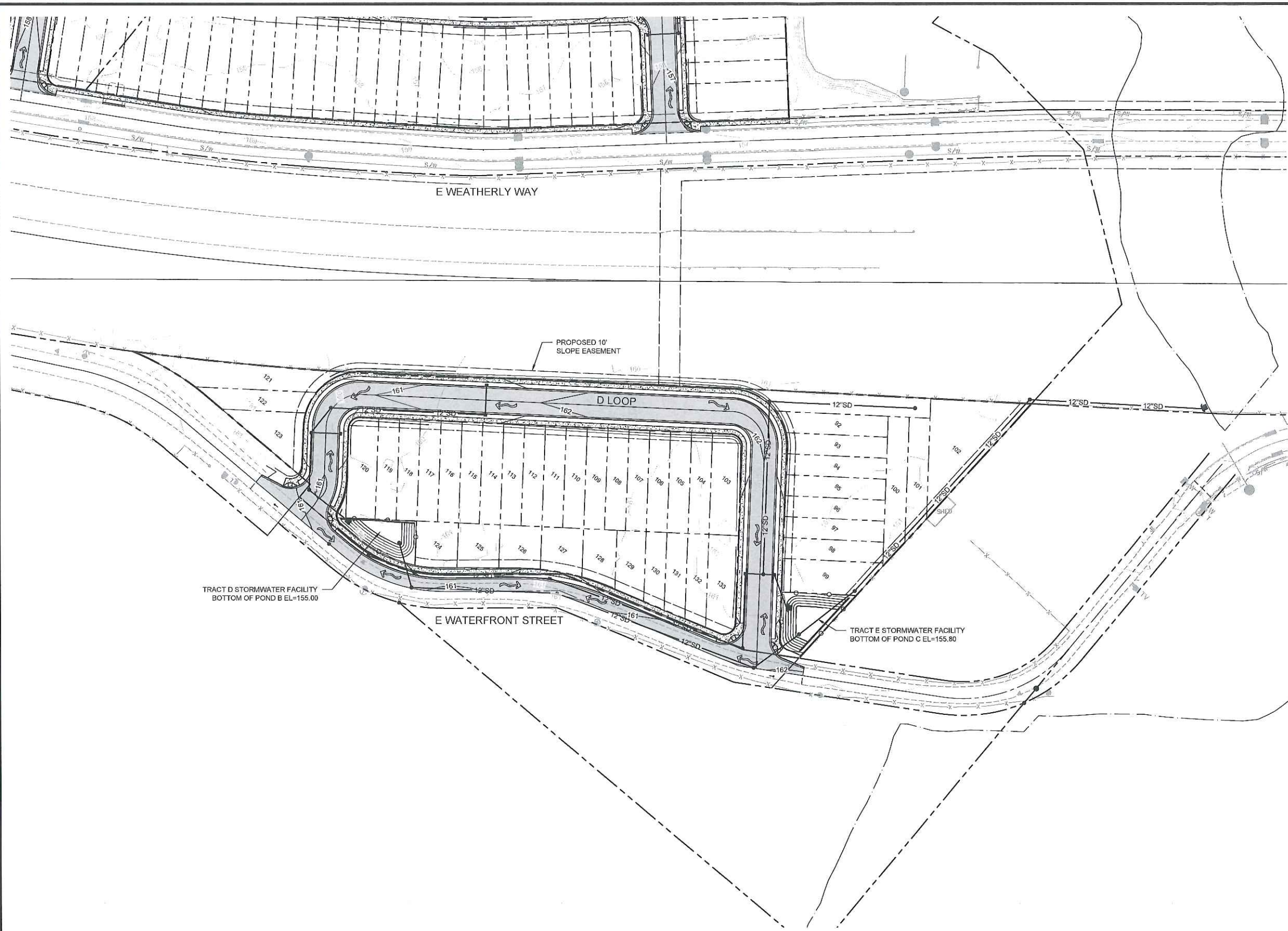


DAVID EVANS AND ASSOCIATES INC.

2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

DESIGN STUDIO  
*Supporting Life's Progress*

LEGEND  
— PROPOSED CONTOUR  
- - - EXISTING CONTOUR



PROJECT  
RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

SHEET TITLE  
GRADING PLAN  
(PHASE 2)

BY  
NO. DATE REVISION

30% CD'S

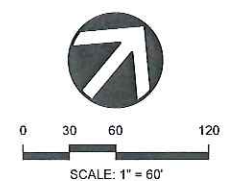
PRELIMINARY

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.  
C201

PROJECT NO. DBV0000-0002

Plot Date: 7/2/2018 2:21 PM  
Save Date: 6/28/2018 4:06 PM  
By: Njru  
Drawing File: P:\DBV\0000000000\0400CAD\04HEETS\C-CR-001-DBV\0002.dwg







**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

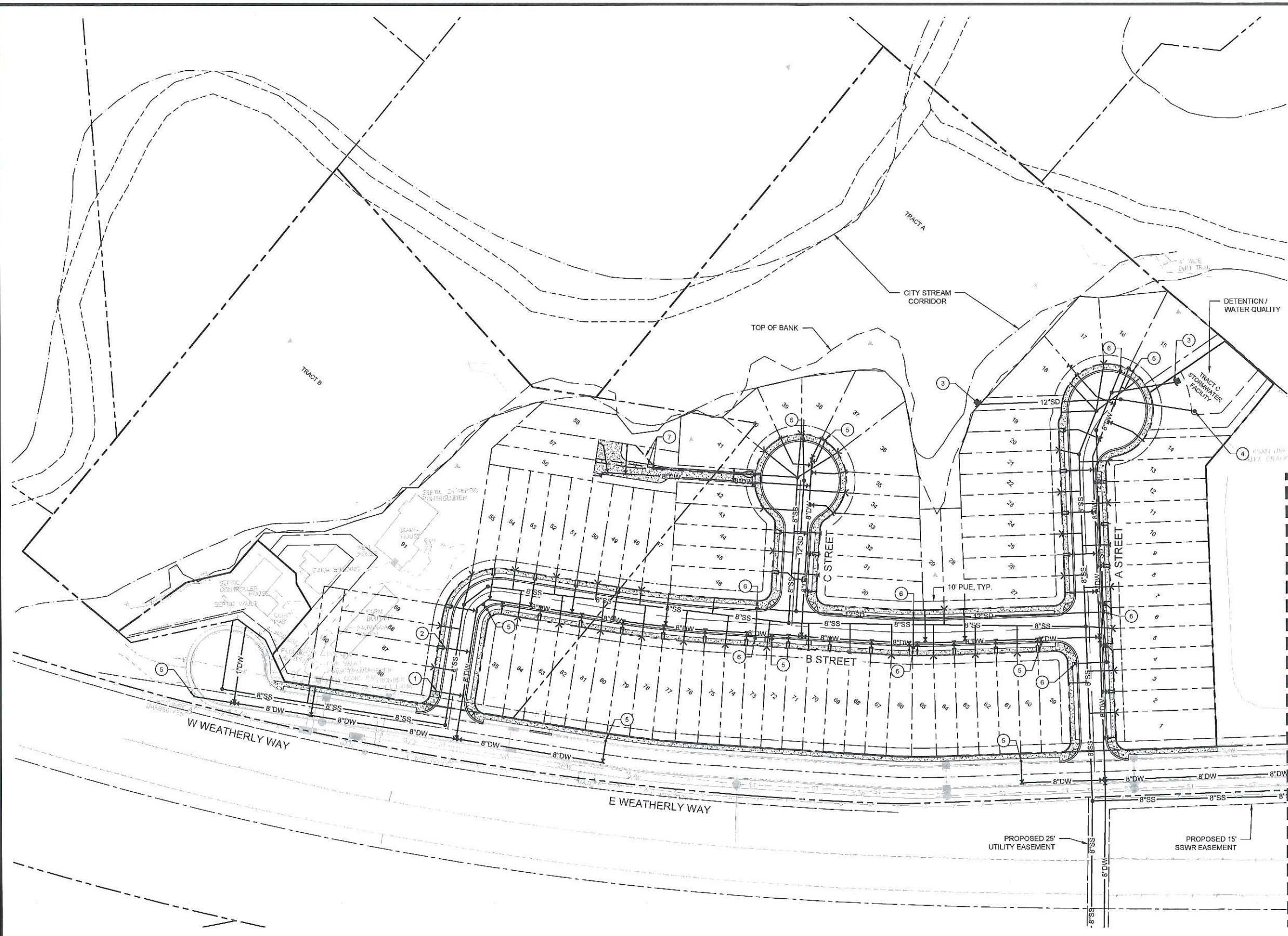
**DESIGN STUDIO**  
*Beyond Lines & Plans*

### LEGEND

- ROW / PROPERTY LINE
- EASEMENT
- SD PROPOSED STORM DRAIN
- PROPOSED SD MANHOLE
- PROPOSED SD INLET
- PROPOSED CONCRETE HEADWALL
- PROPOSED OVERFLOW STRUCTURE
- SS PROPOSED SANITARY SEWER
- PROPOSED SSWR MANHOLE
- DW PROPOSED WATER LINE
- PROPOSED GATE VALVE
- PROPOSED SERVICE METER
- PROPOSED BLOWOFF ASSEMBLY
- FW PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT

### KEYNOTES

- 1 PROPOSED SINGLE WATER SERVICE METER (TYPICAL FOR SINGLE SERVICE TO LOTS)
- 2 PROPOSED DOUBLE WATER SERVICE METER (TYPICAL FOR DOUBLE SERVICE TO LOTS)
- 3 PROPOSED CONCRETE HEADWALL, STORM OUTFALL
- 4 PROPOSED OVERFLOW STRUCTURE
- 5 PROPOSED FIRE HYDRANT
- 6 PROPOSED SD INLET
- 7 PROPOSED 4" SSWR FORCE SERVICE



PROJECT: RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

SHEET TITLE: COMPOSITE UTILITY PLAN  
(PHASE 1)

NO. DATE REVISION BY

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.

**C300**

PROJECT NO. DBVX0000-0002



0 30 60 120  
SCALE: 1" = 60'

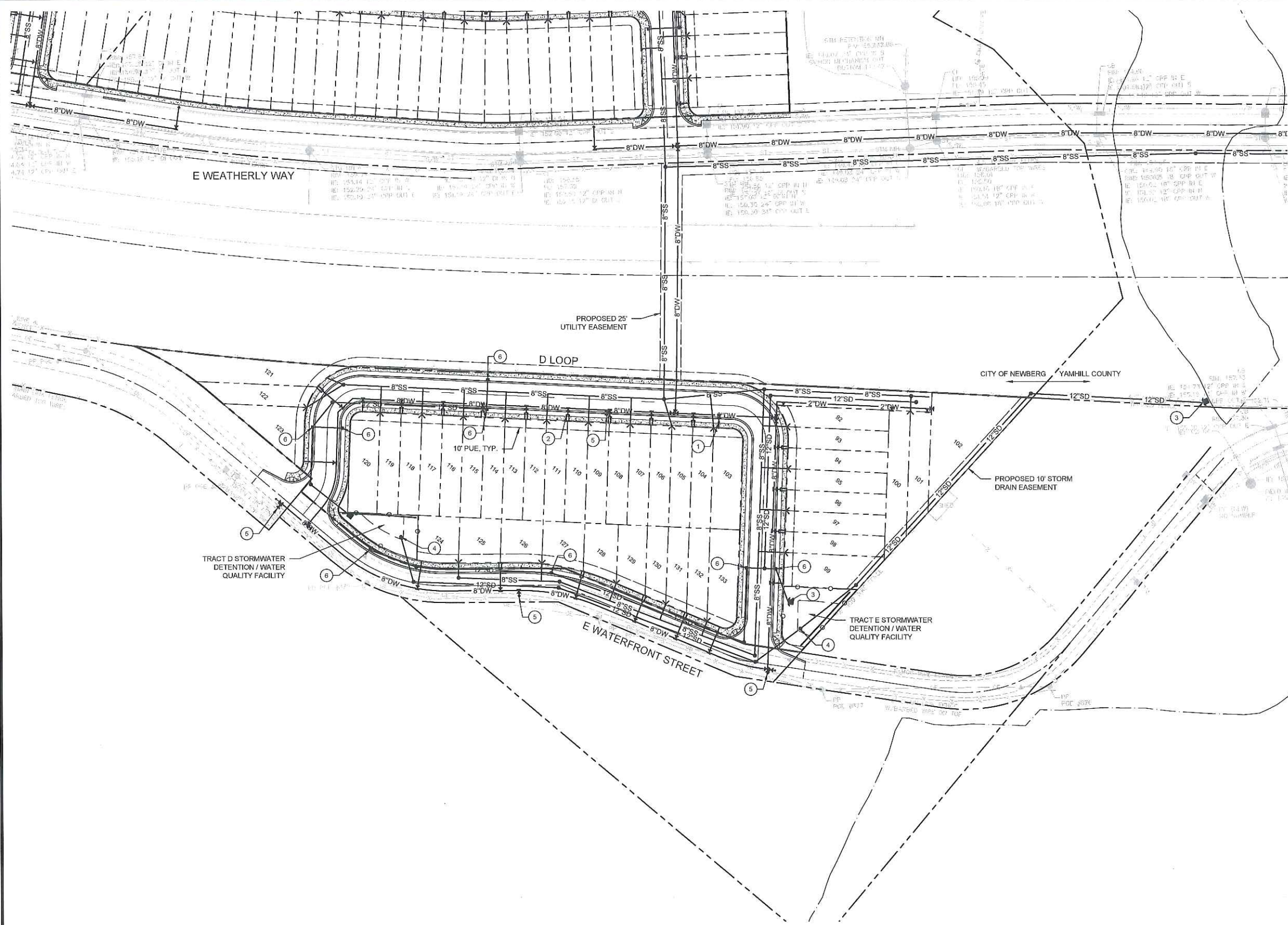
Plot Date: 7/20/18 10:35 AM  
 Save Date: 7/20/18 3:47 PM  
 Drawing File: P:\DBV\0000000000\CAD\CAD\HEETS\C300\01.DWG\0002.dwg  
 By: Njru  
 Design: Njru



DAVID EVANS AND ASSOCIATES INC.

2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

DESIGN STUDIO  
Part of David Evans



LEGEND

- ROW / PROPERTY LINE
- EASEMENT
- SD --- PROPOSED STORM DRAIN
- PROPOSED SD MANHOLE
- PROPOSED SD INLET
- PROPOSED CONCRETE HEADWALL
- PROPOSED OVERFLOW STRUCTURE
- SS --- PROPOSED SANITARY SEWER
- PROPOSED SSWR MANHOLE
- DW --- PROPOSED WATER LINE
- PROPOSED GATE VALVE
- PROPOSED SERVICE METER
- PROPOSED BLOWOFF ASSEMBLY
- FW --- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT

KEYNOTES

- 1 PROPOSED SINGLE WATER SERVICE METER (TYPICAL FOR SINGLE SERVICE TO LOTS)
- 2 PROPOSED DOUBLE WATER SERVICE METER (TYPICAL FOR DOUBLE SERVICE TO LOTS)
- 3 PROPOSED CONCRETE HEADWALL, STORM OUTFALL
- 4 PROPOSED OVERFLOW STRUCTURE
- 5 PROPOSED FIRE HYDRANT
- 6 PROPOSED SD INLET

PROJECT  
RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

BY

REVISION

NO. DATE

SHEET TITLE  
COMPOSITE UTILITY PLAN  
(PHASE 2)

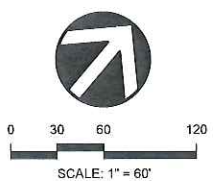
30% CD'S

PRELIMINARY

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

SHEET NO.  
C301

PROJECT NO. DBVX0000-0002



Plot Date: 7/20/18 3:21 PM  
Print Date: 6/25/18 4:48 PM  
By: Nathan Ruffel  
S: NJRU  
Drawing File: P:\DBV\00000002\04000\0408\ETE\CLUT\_001.DBV\X002.dwg

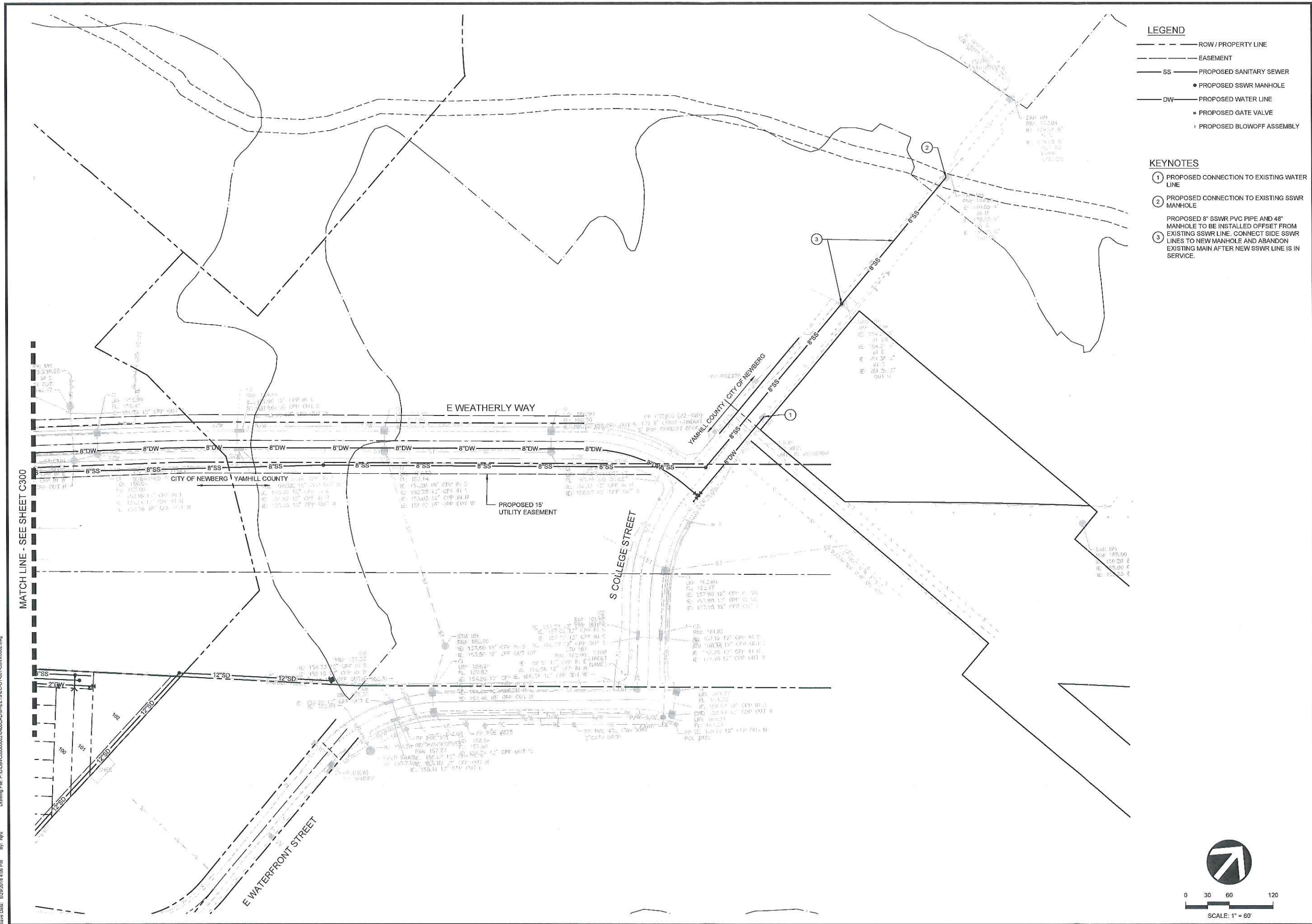


**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

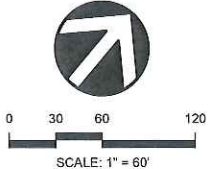
**DESIGN STUDIO**  
*Inspired Living Matters*

- LEGEND**
- ROW / PROPERTY LINE
  - EASEMENT
  - SS — PROPOSED SANITARY SEWER
  - PROPOSED SSWR MANHOLE
  - DW — PROPOSED WATER LINE
  - PROPOSED GATE VALVE
  - PROPOSED BLOWOFF ASSEMBLY

- KEYNOTES**
- 1 PROPOSED CONNECTION TO EXISTING WATER LINE
  - 2 PROPOSED CONNECTION TO EXISTING SSWR MANHOLE
- PROPOSED 8" SSWR PVC PIPE AND 48" MANHOLE TO BE INSTALLED OFFSET FROM EXISTING SSWR LINE. CONNECT SIDE SSWR LINES TO NEW MANHOLE AND ABANDON EXISTING MAIN AFTER NEW SSWR LINE IS IN SERVICE.
- 3



P:\DWG\18\18\_002\_P1.dwg  
 Date: 02/20/18 10:44 PM  
 By: NLSM  
 Drawing File: P:\DWG\18\18\_002\_P1.dwg



PROJECT  
**RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON**

BY

NO. DATE REVISION

REVISION

SHEET TITLE  
**COMPOSITE UTILITY PLAN  
(PHASE 1)**

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
DESIGN: NJRU  
DRAWN: NJRU

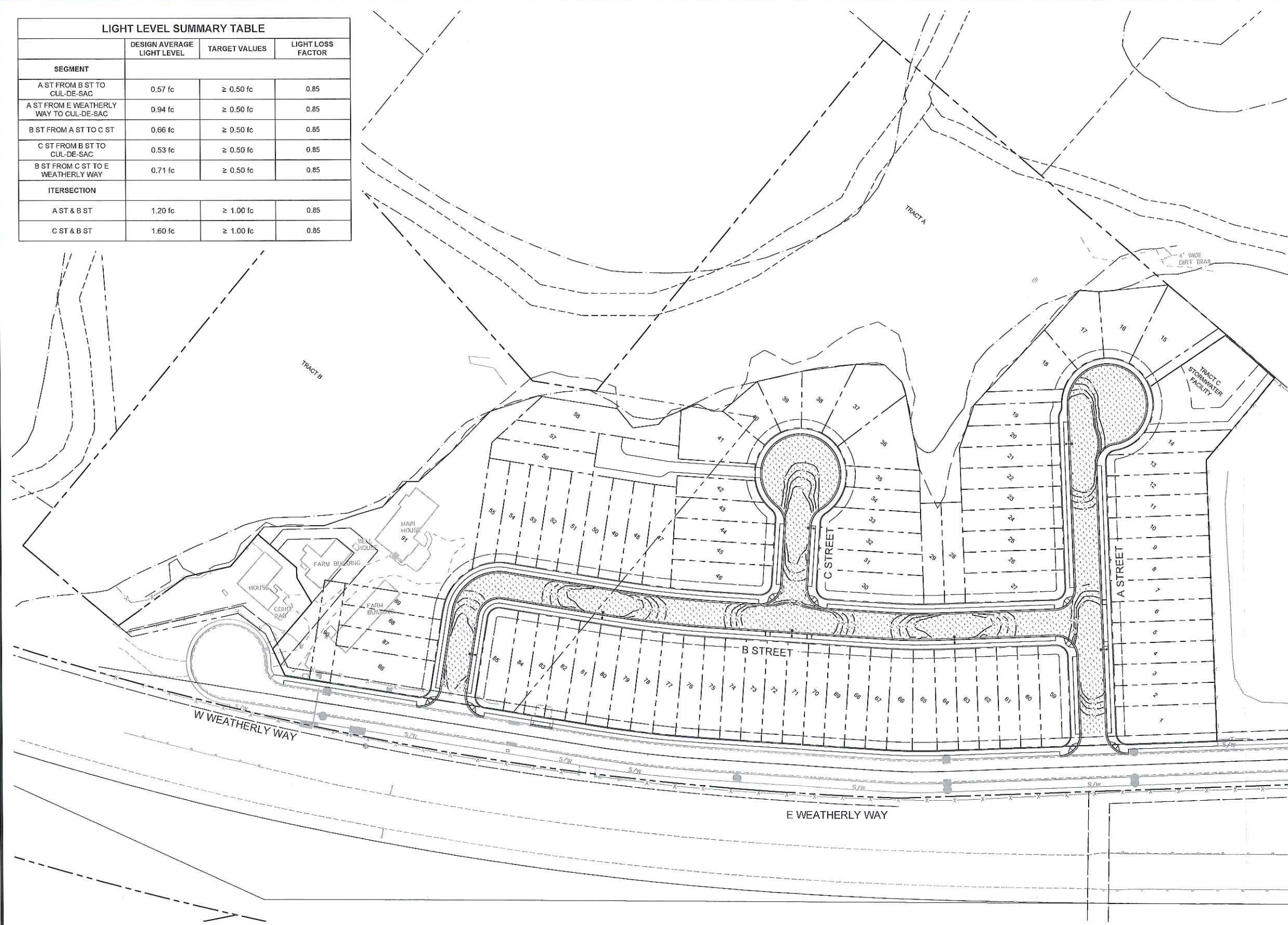
SHEET NO.  
**C302**  
PROJECT NO. DBVX0000-0002



**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

**DESIGN STUDIO**  
*Inspired. Evolved. Partner.*

LIGHT LEVEL SUMMARY TABLE			
SEGMENT	DESIGN AVERAGE LIGHT LEVEL	TARGET VALUES	LIGHT LOSS FACTOR
A ST FROM B ST TO CUL-DE-SAC	0.57 fc	≥ 0.50 fc	0.85
A ST FROM E WEATHERLY WAY TO CUL-DE-SAC	0.94 fc	≥ 0.50 fc	0.85
B ST FROM A ST TO C ST	0.66 fc	≥ 0.50 fc	0.85
C ST FROM B ST TO CUL-DE-SAC	0.53 fc	≥ 0.50 fc	0.85
B ST FROM C ST TO E WEATHERLY WAY	0.71 fc	≥ 0.50 fc	0.85
INTERSECTION			
A ST & B ST	1.20 fc	≥ 1.00 fc	0.85
C ST & B ST	1.60 fc	≥ 1.00 fc	0.85



PROJECT  
**RIVERRUN (A SUBDIVISION)**  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

SHEET TITLE  
**ILLUMINATION PLAN  
(PHASE 1)**

NO. DATE REVISION

30% CD'S

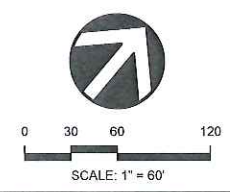
**PRELIMINARY**

DATE: 04/16/18  
DESIGN: CMG  
DRAWN: NJRU

SHEET NO.

**E200**

PROJECT NO. DBV0000-0002



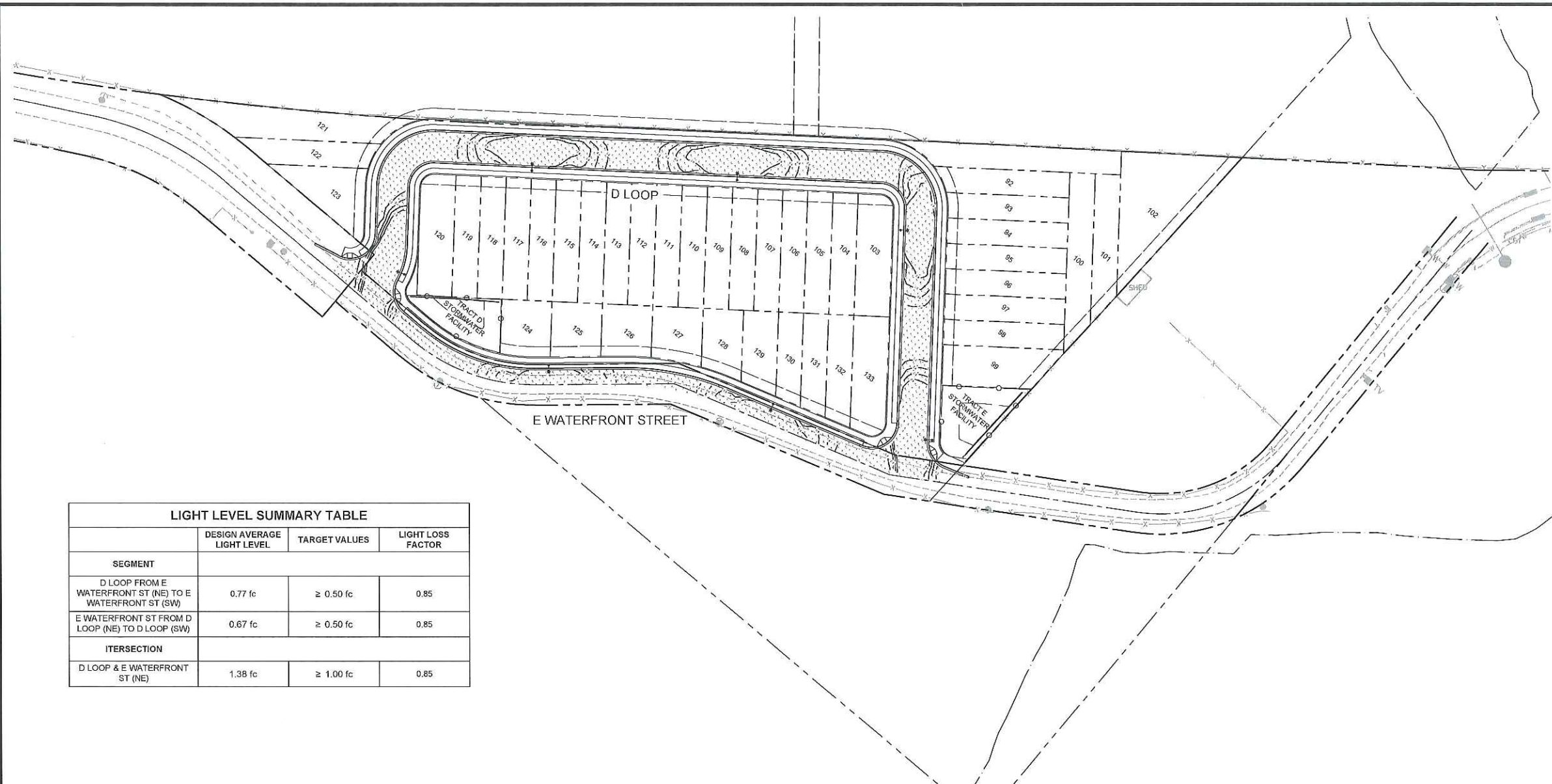
Plot Date: 7/20/18 10:21 AM  
 Print Date: 7/20/18 10:21 AM  
 By: Nathan Field  
 Drawing File: P:\DBV\00000002\00000002\00000002\00000002\00000002\00000002.dwg



DAVID EVANS AND ASSOCIATES INC.

2100 SW River Parkway  
Portland Oregon 97201  
Phone: 503.223.6663

DESIGN STUDIO  
*Respected. Livable. Measured.*



LIGHT LEVEL SUMMARY TABLE			
SEGMENT	DESIGN AVERAGE LIGHT LEVEL	TARGET VALUES	LIGHT LOSS FACTOR
D LOOP FROM E WATERFRONT ST (NE) TO E WATERFRONT ST (SW)	0.77 fc	≥ 0.50 fc	0.85
E WATERFRONT ST FROM D LOOP (NE) TO D LOOP (SW)	0.67 fc	≥ 0.50 fc	0.85
<b>ITERSECTION</b>			
D LOOP & E WATERFRONT ST (NE)	1.38 fc	≥ 1.00 fc	0.85

PROJECT  
RIVERRUN (A SUBDIVISION)  
RIVERRUN SUBDIVISION LLC  
NEWBERG, OREGON

BY

NO. DATE REVISION

SHEET TITLE  
ILLUMINATION PLAN  
(PHASE 2)

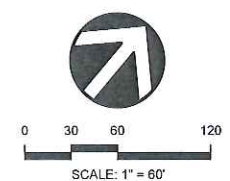
30% CD'S

PRELIMINARY

DATE: 04/16/18  
DESIGN: CMG  
DRAWN: NJRU

SHEET NO.  
**E201**

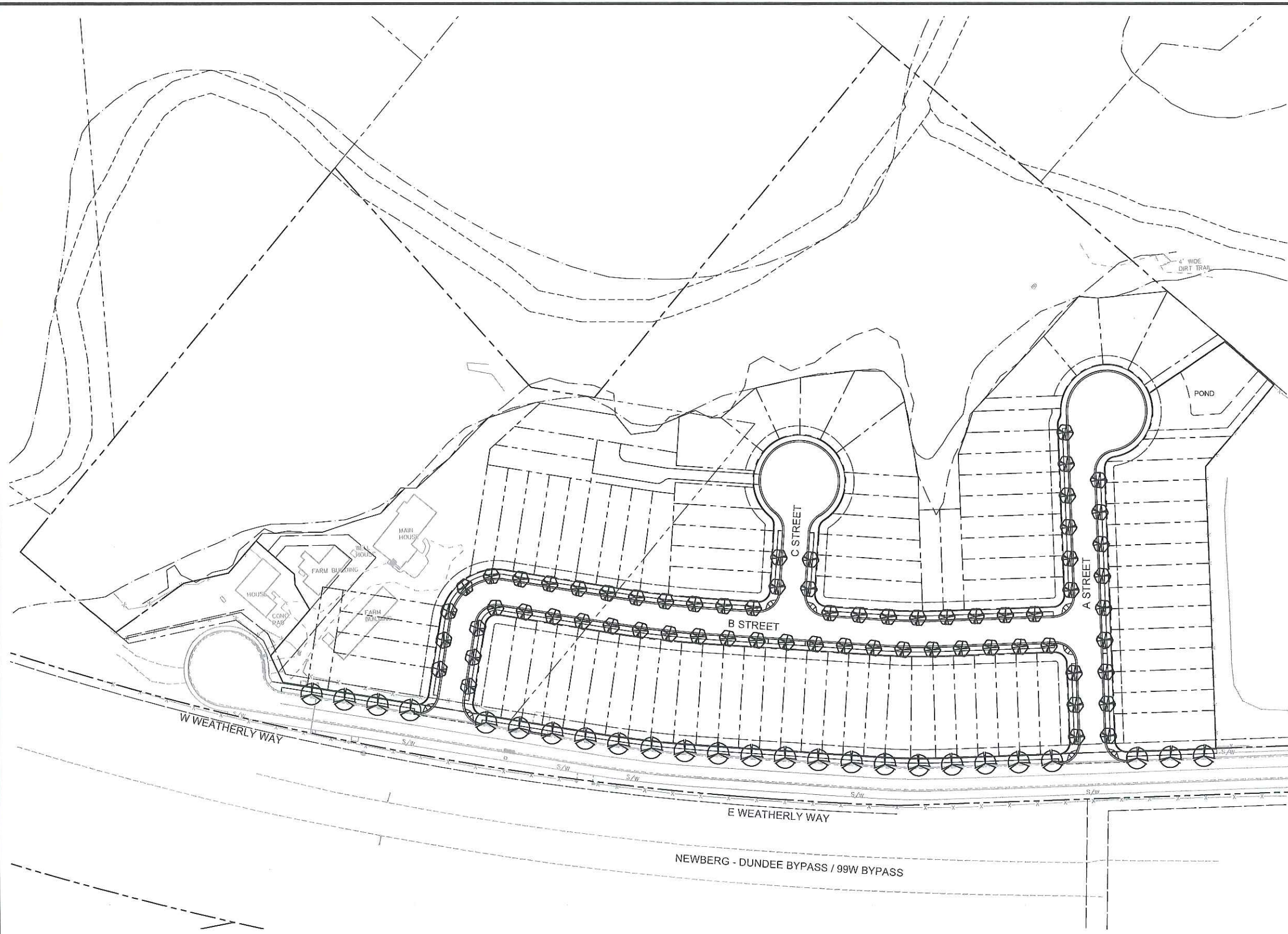
PROJECT NO. DBVX0000-0002



Plot Date: 7/20/18 3:27 PM  
Save Date: 6/28/2018 4:09 PM  
Drawing File: P:\DBVX\00000002\0400\CAD\SET\SET9\CC-L01-DBVX\0002.dwg  
By: Njru  
User: Njru

File Path: Z:\2018\04\16\AM  
 Save Date: 7/20/2018 3:47 PM  
 Drawing File: P:\DBV\00000000000000000000\CAD\9-HEET\LA\PL\_001-DBV\A\0000.dwg

By: Nathan Ruder  
 By: N/A



**DAVID EVANS  
AND ASSOCIATES INC.**  
 2100 SW River Parkway  
 Portland Oregon 97201  
 Phone: 503.223.6663

**DESIGN STUDIO**  
*Proposed Landscape Plans*

PROJECT  
**RIVERRUN (A SUBDIVISION)**  
 RIVERRUN SUBDIVISION LLC  
 NEWBERG, OREGON

SHEET TITLE  
**LANDSCAPE PLAN  
(PHASE 1)**

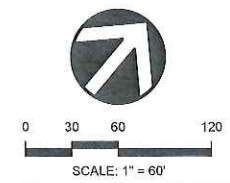
BY  
 NO. DATE REVISION

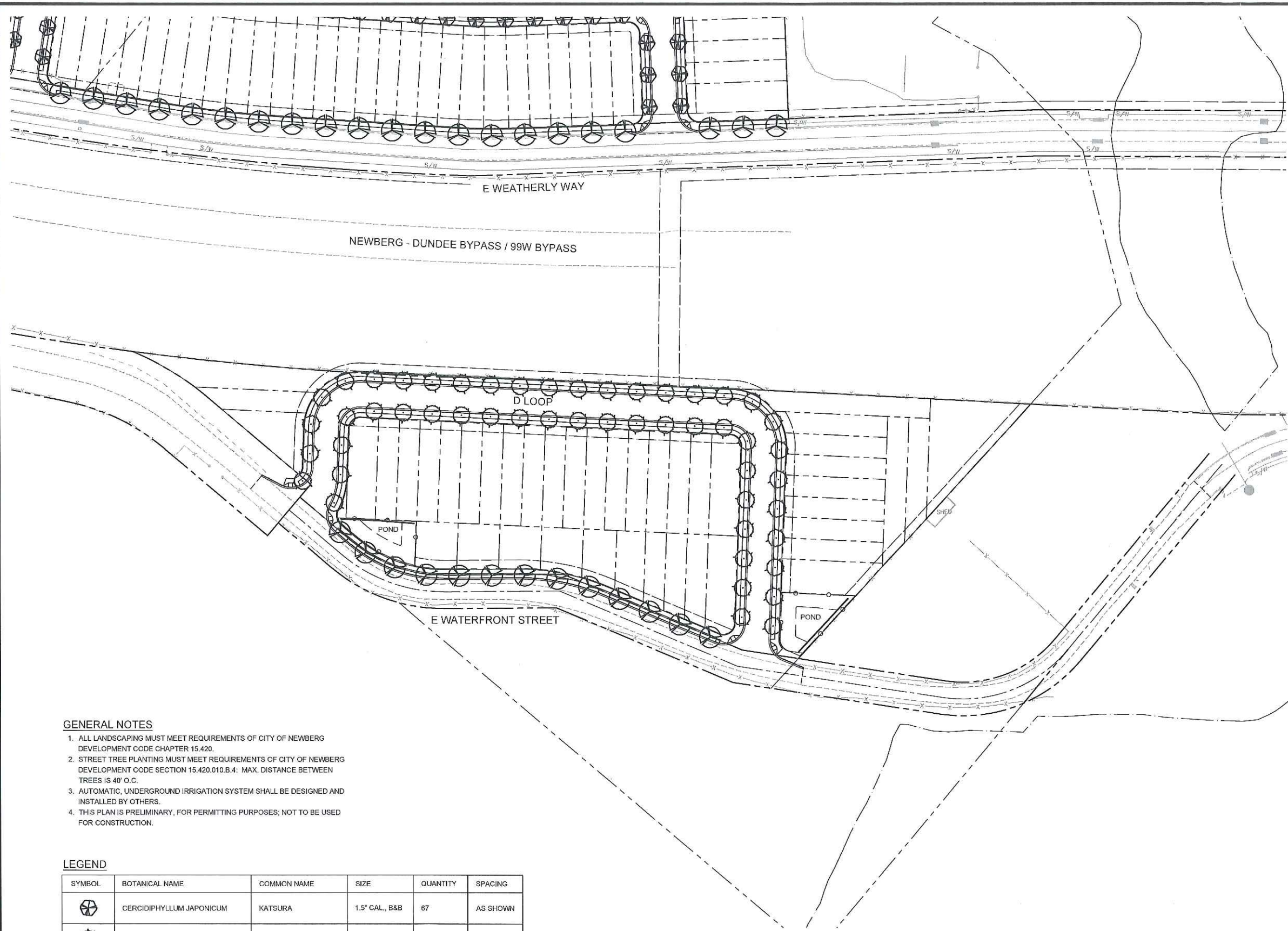
30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
 DESIGN: TSD  
 DRAWN: TSD

SHEET NO.  
**L100**  
 PROJECT NO. DBV\0000-0002





**GENERAL NOTES**

1. ALL LANDSCAPING MUST MEET REQUIREMENTS OF CITY OF NEWBERG DEVELOPMENT CODE CHAPTER 15.420.
2. STREET TREE PLANTING MUST MEET REQUIREMENTS OF CITY OF NEWBERG DEVELOPMENT CODE SECTION 15.420.010.B.4: MAX. DISTANCE BETWEEN TREES IS 40' O.C.
3. AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY OTHERS.
4. THIS PLAN IS PRELIMINARY, FOR PERMITTING PURPOSES; NOT TO BE USED FOR CONSTRUCTION.

**LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	SPACING
	CERCIDIPHYLLUM JAPONICUM	KATSURA	1.5" CAL., B&B	67	AS SHOWN
	ULMUS 'PIONEER'	PIONEER ELM	1.5" CAL., B&B	51	AS SHOWN
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	1.5" CAL., B&B	38	AS SHOWN

PROJECT  
**RIVERRUN (A SUBDIVISION)**  
 RIVERRUN SUBDIVISION LLC  
 NEWBERG, OREGON

BY

NO. DATE REVISION

SHEET TITLE  
**LANDSCAPE PLAN**  
**(PHASE 2)**

30% CD'S

**PRELIMINARY**

DATE: 04/16/18  
 DESIGN: TSD  
 DRAWN: TSD

SHEET NO.

**L101**

PROJECT NO. DBV0000-0002

