

January 14, 2022



City of Newberg
Doug Rux, AICP - Community Development Director
414 E. First Street
Newberg, OR 97132

RE: Catalyst High School Resubmittal - DR221-0010

Dear Mr. Rux:

As we previously discussed, the cost estimates for the work at several of the Newberg School District projects including Catalyst High School came in significantly higher than anticipated. As a result, the school district and their architect have had to reduce the scope of the improvements at the schools. The increase in costs are a direct result of supply chain issues and labor shortages associated with the COVID 19 pandemic.

We want to assure you that the district continues to work with the consultant team to identify cost savings and value engineering where possible. To that end, I am providing you with revised drawings for the Catalyst High School Project. The changes proposed by the district are clouded on the plans and summarized as follows:

1. The covered play area will no longer be a part of this project. That area will be converted to lawn.
2. The reader board located between the north parking lot and existing east parking lot has been eliminated.
3. The location of the existing mechanical units have been relocated from the roof to their original location on the ground. These units will be provided with 6'-0" mechanical screens.
4. The fire gate at the rear of the school will be converted to removable bollards.
5. The generator originally planned to be located next to the trash enclosure will be reduced in size and relocated to the south of the building. It will not be screened.
6. The transformer originally planned to be located next to the trash enclosure was relocated to the south of the building. It will not be screened, but will have removable bollards located adjacent to the fire lane.
7. The gate to the trash enclosure will become a single double gate as opposed to two double gates.
8. The size of the overall building will be reduced to 13,440 square feet in size.
9. The electrical room was moved from the north to the south portion of the building.
10. An exterior dust collection system was located on the south side of the building, adjacent to the fire lane.
11. The north canopy at the Multipurpose room has been reduced down to an over-the-door canopy. The south canopy at the Fabrication Lab was deepened out southward.

12. The lower parapet height increased to 249'-2", or 17'-8" in height. The upper parapet height decreased to 254'-0", or down to 22'-6" in height. The tallest portion of the building does not go past 22'-6" in height.
13. Roof monitors were replaced with skylights.
14. Window opening sizes were reduced. See exterior elevations for updated glazing square footages.
15. There are no longer any bid alternates associated with this project.

It's important to note, that none of the proposed parking and circulation improvements will be impacted by these reductions. With exception to the improvements listed above, none of the site improvements originally proposed will change. The plans attached to this letter include a revised overall site plan, a revised overall and sector floor plan, and revised elevations.

We are aware that the changes to the project necessitate a need for revised notice to the neighbors and are prepared to provide whatever you need in order to make that happen. We sincerely appreciate your willingness to work with us in this difficult time and will provide whatever additional copies you may need to consider the changes within your decision. As always, please do not hesitate to contact me on my cell at (503)866-9845 or by e-mail at bradk@hhpr.com.

Sincerely,



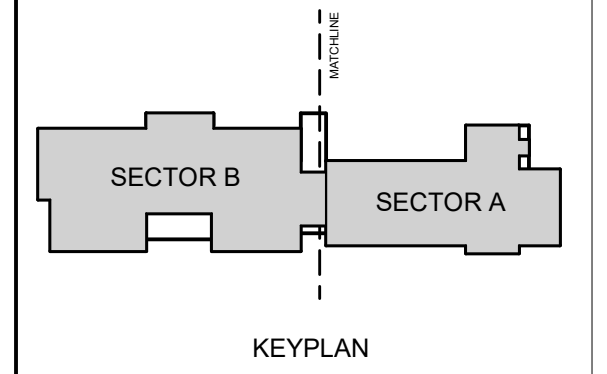
Harper Houf Peterson Righellis, Inc.
Brad Kilby, AICP
Planning Manager

Enc: Plans (5 sheets)

SITE PLAN LEGEND

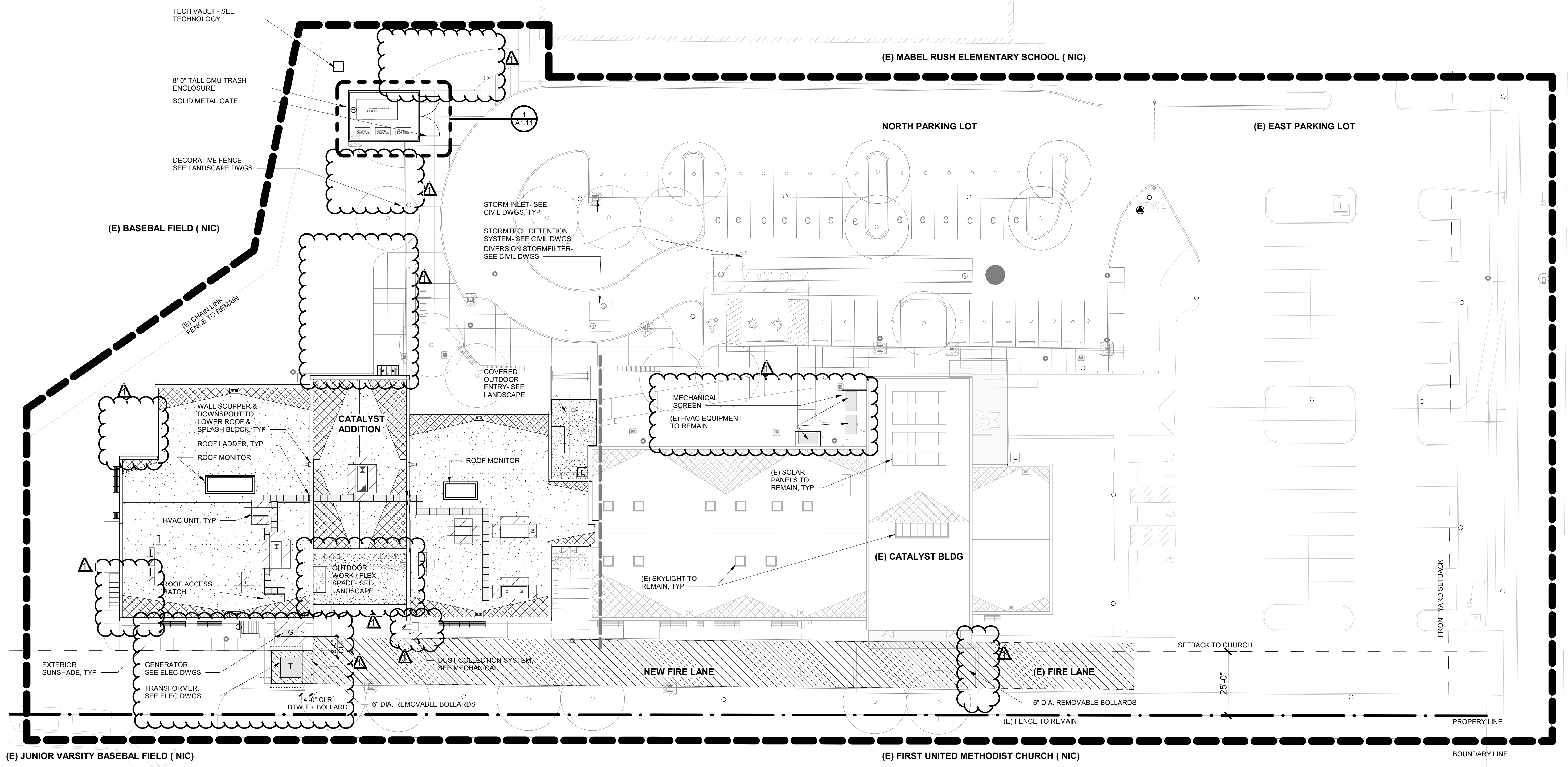
- EXISTING BUILDING
- NEW BUILDING
- EXISTING CANOPY
- NEW CANOPY
- NEW CANOPY
- NEW ROOF
- NEW ROOF CRICKETS
- FIRE LANE
- PROPERTY LINE
- WORK BOUNDARY LINE
- LUMINAIRE. SEE ELECTRICAL SITE DWG.
- LOCK BOX
- ROOF DRAIN WITH OVERFLOW DRAIN
- ROOF PROTECTION WALKWAY

NOT FOR CONSTRUCTION



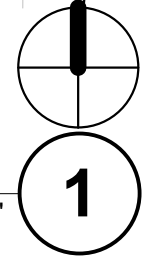
revisions	

phase	LANDUSE
date	SUBMITTAL
project	10/15/2021
	21006



1/14/2022 12:17:24 PM
BIM 360/17/21006 Catalyst HS Addition/21004-Catalyst HS Add- Central.rvt

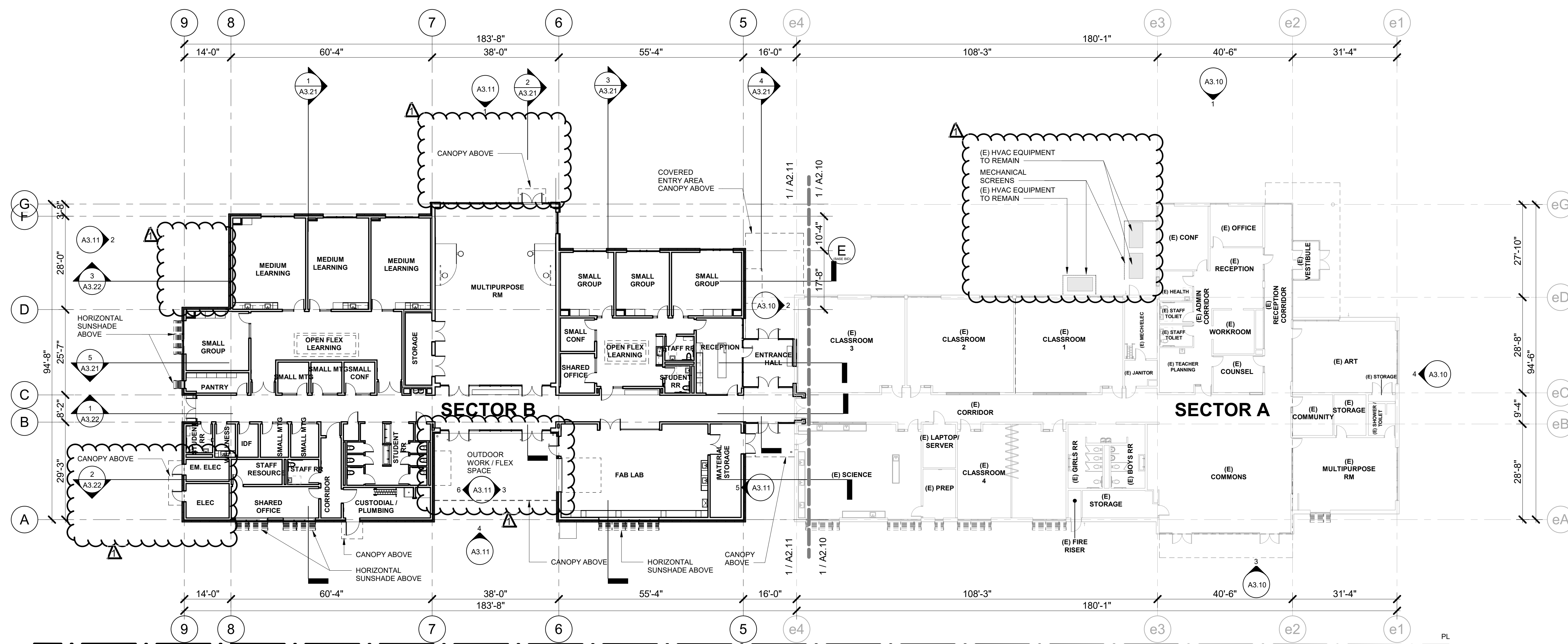
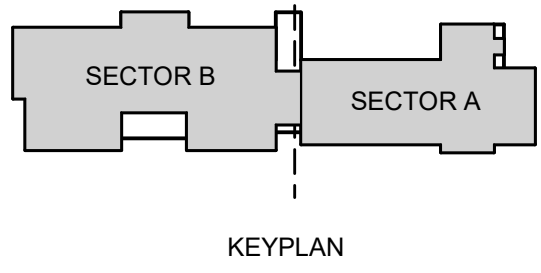
SITE PLAN
SCALE: 1" = 20'-0"



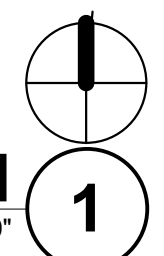
FLOOR PLAN NOTES

- 1 CONDITIONS AND DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. TYPICAL DETAILS NOT REFERENCED ON DRAWINGS APPLY UNLESS NOTED OTHERWISE BY SPECIFIC NOTES AND DETAILS. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION OF THE PROJECT.
- 2 WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED ON THE WORK, ALL SUCH MATERIAL AND METHODS ARE TO MAINTAIN STANDARDS OF THE INDUSTRY AND, WHERE APPLICABLE, MANUFACTURER'S INSTRUCTIONS.
- 3 LOADING OF CONSTRUCTION MATERIALS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- 4 ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- 5 PROVIDE ALL NECESSARY ANCHORAGE BLOCKING, BACKING, FRAMING FOR HANDRAILS, DOOR STOPS, CASEWORK, SHELVING, MIRRORS, WALL MOUNTED EQUIPMENT, AND ALL OTHER ITEMS AS REQUIRED FOR COMPLETE INSTALLATION.
- 6 CONFIRM ALL ROUGH OPENING DIMENSIONS FOR DOORS AND WINDOWS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7 WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TAGS UNLESS NOTED OTHERWISE.
- 8 PROVIDE SOLID BLOCKING BETWEEN ROOF JOISTS WHERE WALL RUNS PERPENDICULAR TO ROOF JOISTS. GYPSUM BOARD TO TERMINATE AT ROOF JOISTS.
- 9 ALIGN FINISHES WHERE INDICATED.
- 10 SEE ARCHITECTURAL SLAB PLAN FOR CONTROL JOINTS.

NOT FOR CONSTRUCTION



OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



revisions	

phase LANDUSE
date SUBMITTAL 10/15/2021
project 21006

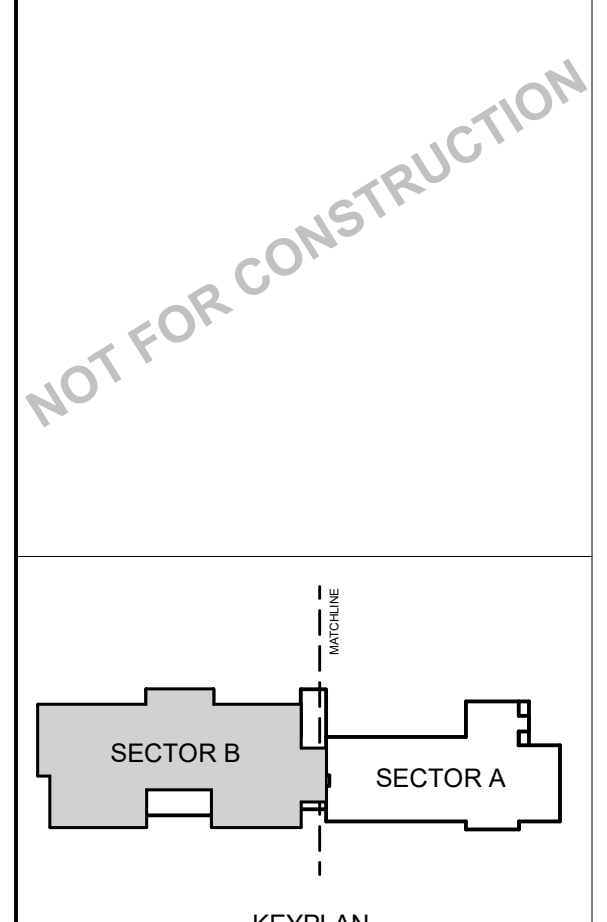
OVERALL FLOOR PLAN

A2.00

FLOOR LEGEND:	
	EXISTING TO REMAIN
	NEW SCOPE OF WORK
	FLOOR DRAIN
	MOP SINK
	SHOWER ADA
	CHANGING STATION
	ADA WATER FOUNTAIN W/ BOTTLE FILLER
	RR SINK
	CTE SINK
	UTILITY SINK
	SINK W/ BUBBLER
	TROUGH SINK
	TOILET
	SHIPS LADDER
	DOOR BOLLARD

WALL TYPE NOTES	
	WALL CONSTRUCTION TYPE - SEE WALL TYPES
	FIRE RATED CONSTRUCTION DESIGNATION (IN HOURS)
	STC RATING
1 NOTED WALL TYPE DEPICTS TYPICAL WALL CONSTRUCTION. SEE ELEVATIONS, SECTIONS, AND DETAILS FOR ADDITIONAL INFORMATION. 2 PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL TOILET ROOMS. PROVIDE TILE BACKER BOARD BEHIND ALL CERAMIC TILE APPLICATIONS. MOISTURE RESISTANT GYPSUM BOARD SHALL ALSO BE USED AT ALL KITCHEN AREAS AND BEHIND DRINKING FOUNTAINS. 3 WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TAGS UNLESS OTHERWISE NOTED.	

- FLOOR PLAN NOTES**
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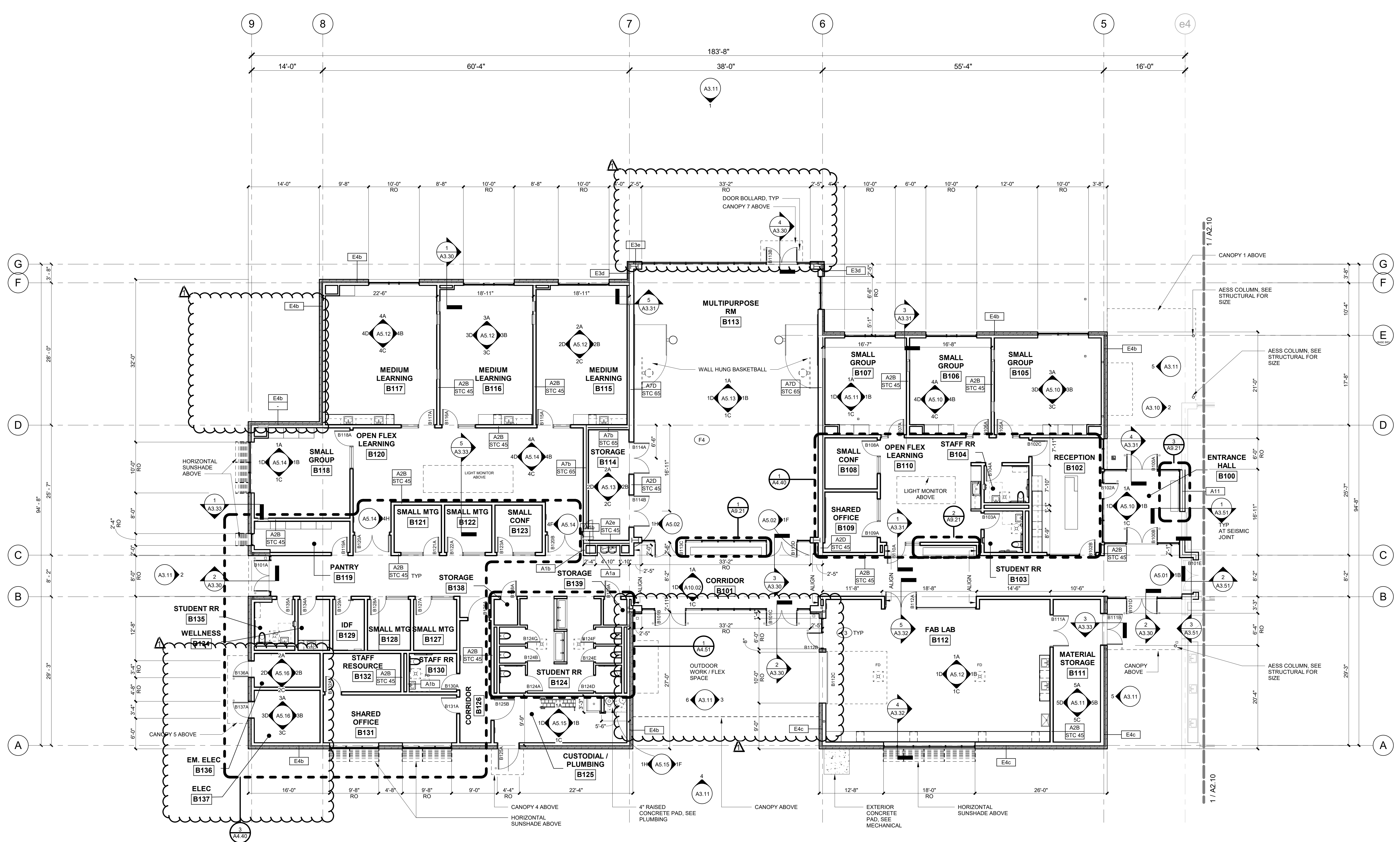


revisions	phase	date	project
	LANDUSE	10/15/2021	21006

FLOOR PLAN - SECTOR B

A2.11

1/14/2022 11:12:35 AM BIM 360//21006 Catalyst HS Addition/21004-Catalyst HS Add-Central.rvt



FLOOR PLAN - SECTOR B
SCALE: 1/8" = 1'-0"

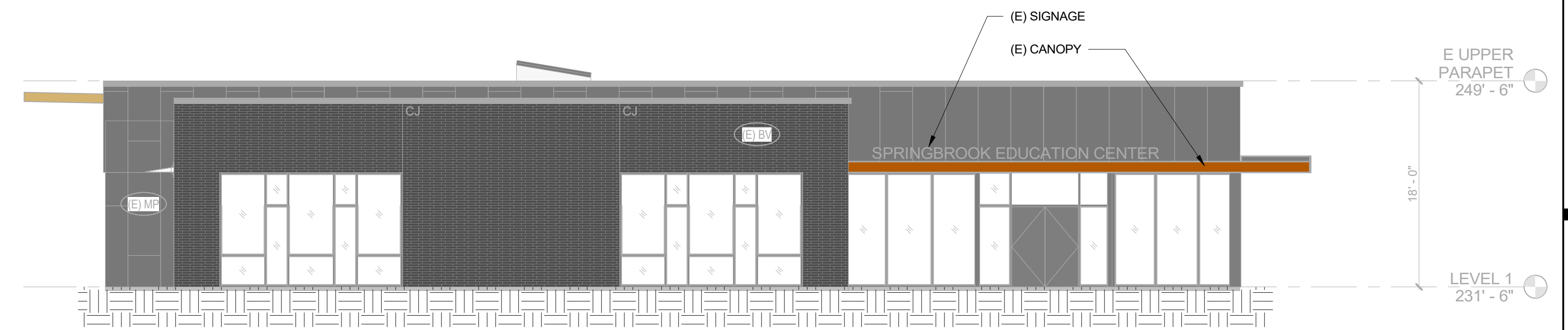
NOT FOR CONSTRUCTION

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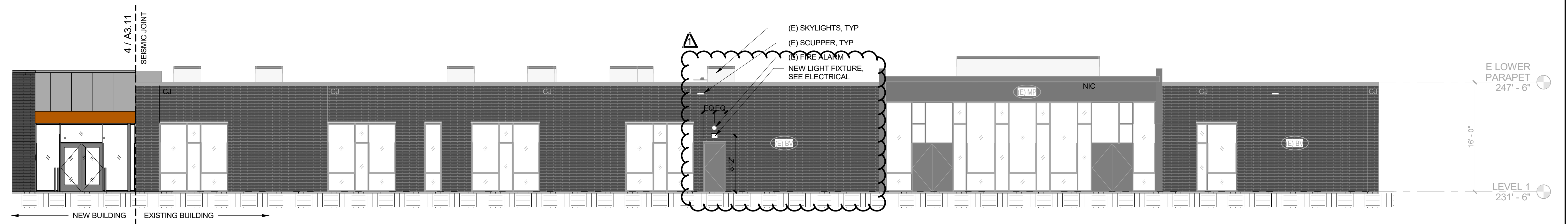
phase LANDUSE
SUBMITTAL
date 10/15/2021
project 21006

EXISTING EXTERIOR
ELEVATIONS FOR
REFERENCE ONLY

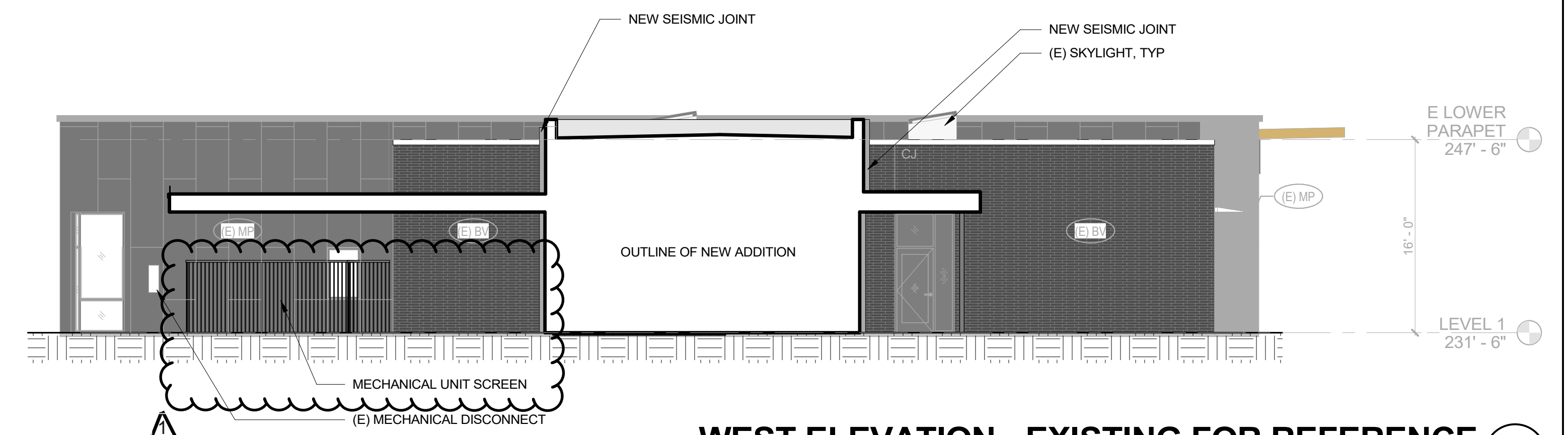
A3.10



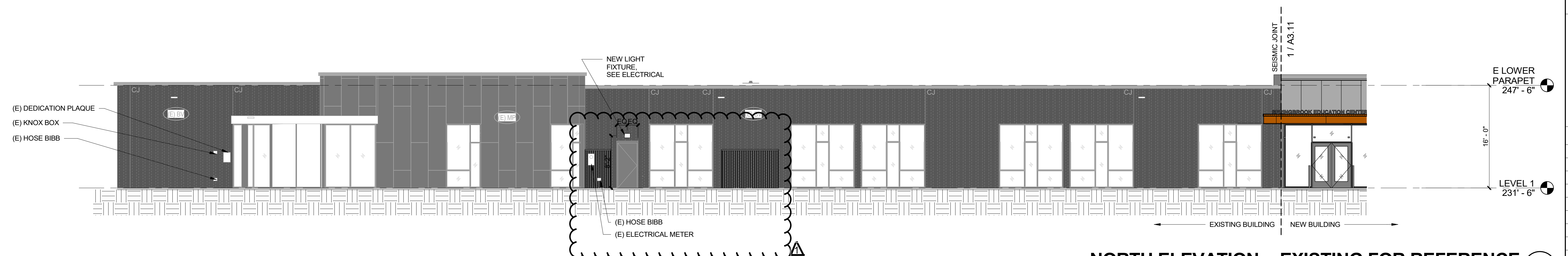
EAST ELEVATION - EXISTING FOR REFERENCE 4
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - EXISTING FOR REFERENCE 3
SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING FOR REFERENCE 2
SCALE: 1/8" = 1'-0"

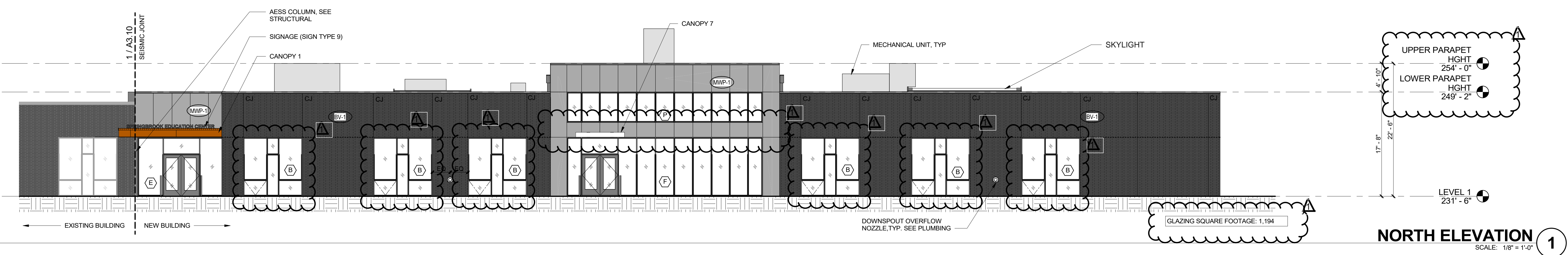
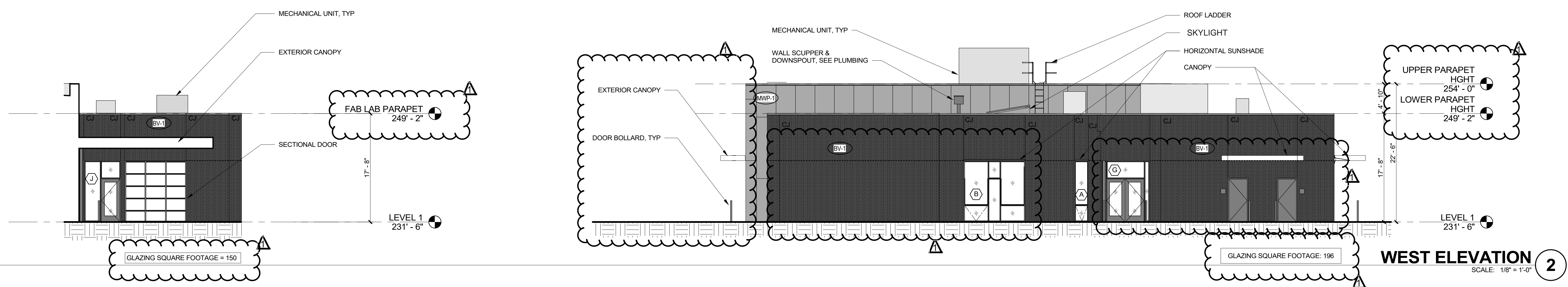
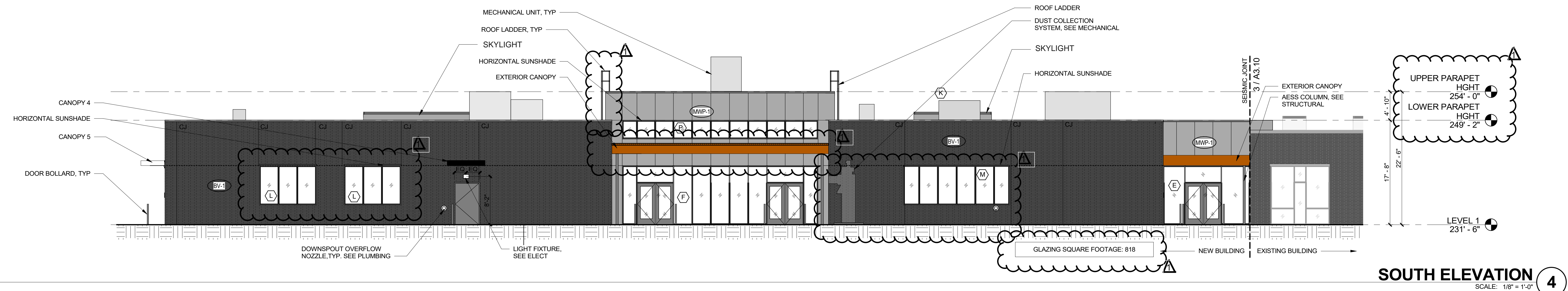
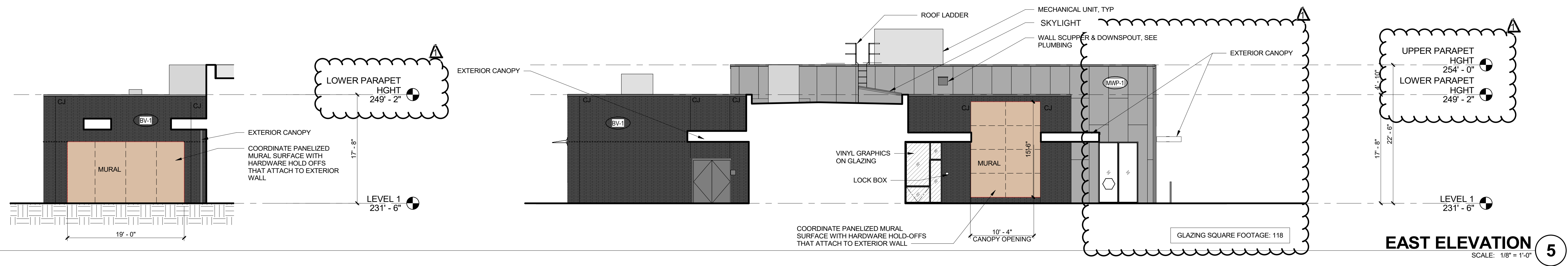


NORTH ELEVATION - EXISTING FOR REFERENCE 1
SCALE: 1/8" = 1'-0"

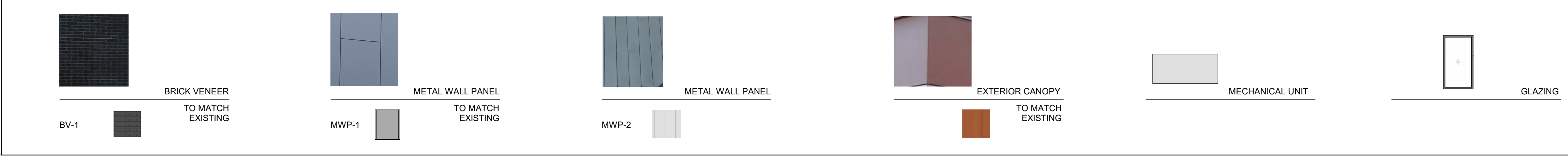
EXISTING LEGEND:

	(E) BRICK VENEER		(E) METAL WALL PANEL		MWP-2		(E) EXTERIOR CANOPY		(E) MECHANICAL UNIT		(E) GLAZING
(E) BV-1		(E) MWP-1			MWP-2		(E) EXTERIOR CANOPY		(E) MECHANICAL UNIT		(E) GLAZING

NOT FOR CONSTRUCTION



LEGEND:



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revisions	phase	date	project
	LANDUSE	10/15/2021	21006

EXTERIOR ELEVATIONS