

RESIDENTIAL CARE FACILITY - PHASE I -EXHIBIT A

A0 - TYPE II SITE PLAN REVIEW



OWNER

FRIENDSVIEW RETIREMENT COMMUNITY
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NEWBERG, OREGON 97132

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PROJECT SUMMARY

STREET ADDRESS:	1301 FULTON ST, NEWBERG, OR 97132	
PROJECT DESCRIPTION:	NEW 4 STORY RESIDENTIAL CARE FACILITY BUILDING INCLUDING 79 LIVING UNITS. 4 STORIES TYPE III-A CONSTRUCTION. 72,480 TOTAL GSF	
PROPOSED BUILDING AREA:	Level	Area
	LEVEL 1	17590 SF
	LEVEL 2	18360 SF
	LEVEL 3	18360 SF
	LEVEL 4	18260 SF
	Grand total	72590 SF

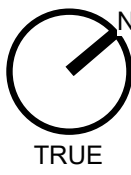
ZONING INFORMATION

ZONE:	INSTITUTIONAL (I) COMPREHENSIVE PLAN: PUBLIC/QUASI-PUBLIC (PQ)
LOADING & UNLOADING:	BEHIND EXISTING MANOR BUILDING, SEE SITE PLAN
TRASH / RECYCLING AREA:	BEHIND EXISTING MANOR BUILDING, SEE SITE PLAN
FLOOR AREA RATIOS & HEIGHT LIMITATIONS:	75' MAX HEIGHT
BICYCLE PARKING:	8 NEW SPACES, SEE SITE PLAN
VEHICLE PARKING:	SEE SITE PLAN

DRAWING INDEX

A0	COVER SHEET	C000	COVER SHEET
A1	OVERALL SITE PLAN	C010	EXISTING CONDITIONS
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A3	CONSTRUCTION FIRE ACCESS PLAN	C012	EXISTING CONDITIONS
A4	FLOOR PLANS	C013	EXISTING CONDITIONS
A5	EXTERIOR ELEVATIONS	C014	EXISTING CONDITIONS
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		C051	CLEARING & DEMOLITION ESC PLAN
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		C100	PRELIMINARY SITE PLAN
		C150	PRELIMINARY PUBLIC IMPROVEMENTS PLAN
		C160	PRELIMINARY DEMOLITION, SITE, & WATER PLAN
		C200	PRELIMINARY STORMWATER DRAINAGE PLAN
		C300	PRELIMINARY WATER & SANITARY SEWER PLAN
		C301	PRELIMINARY WATER EASEMENT PLAN
		C500	DETAILS
E103	SITE PLAN - PHOTOMETRIC		

VICINITY MAP



MANOR REDEVELOPMENT PHASE 1

A1 - TYPE II SITE PLAN REVIEW

LAND USE PROCESSES - FRC PHASE I - (RCF)

SITE DATA:		
OVERALL SITE AREA: (11.24 ACRES)	489,759 SF*	
SITE DISTURBANCE AREA: (2.0 +/-)	87,120 SF*	
(*EXCLUDING THE STREAM CORRIDOR)		

SITE DATA: (TOTAL CAMPUS)	PROVIDED	REQUIRED
LOT COVERAGE: (151,915 SF)	31%	NONE
LANDSCAPE %: (141,243 SF)	29%	15%
OUTDOOR AREA: (48,337 SF)	10%	NONE

OVERALL CAMPUS PARKING	PROVIDED	REQUIRED
TOTAL CAMPUS 407 UNITS	444 STALLS	407 STALLS

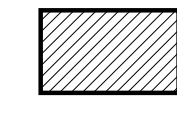
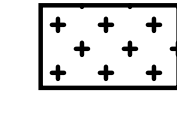

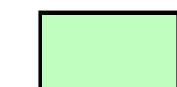


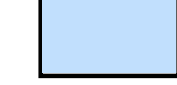
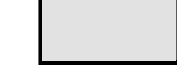
BASED ON ZONING USE "CONTINUING CARE RETIREMENT COMMUNITY REQUIRING 1 SPACE PER UNIT.

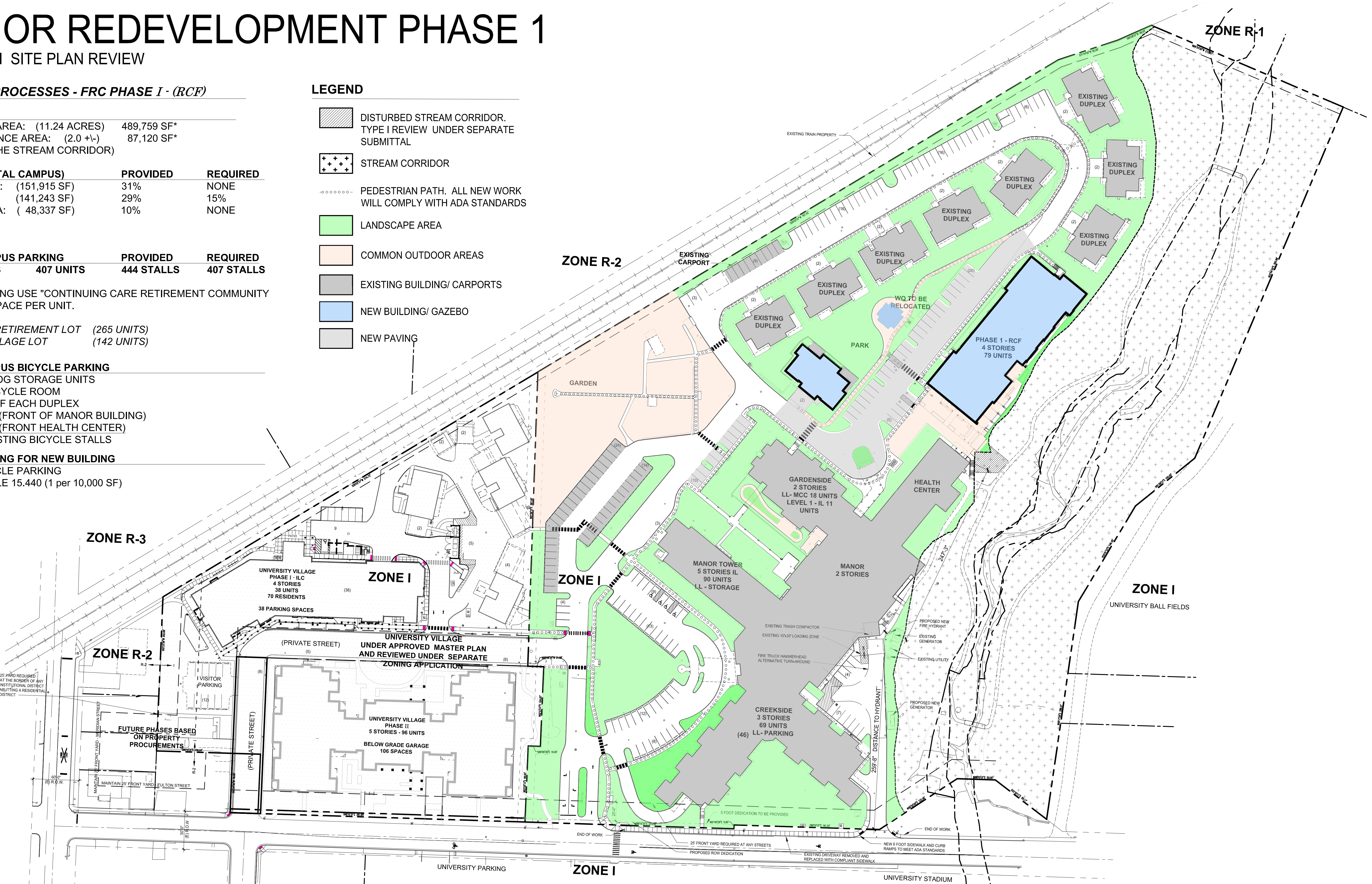
FRIENDSVIEW RETIREMENT LOT	(265 UNITS)
UNIVERSITY VILLAGE LOT	(142 UNITS)

EXISTING CAMPUS BICYCLE PARKING	
10 = MANOR BLDG STORAGE UNITS	
10 = MANOR BICYCLE ROOM	
18 = GARAGE OF EACH DUPLEX	
4 = OUTDOOR (FRONT OF MANOR BUILDING)	
6 = OUTDOOR (FRONT HEALTH CENTER)	
48 = TOTAL EXISTING BICYCLE STALLS	

BICYCLE PARKING FOR NEW BUILDING	
8 = NEW BICYCLE PARKING	
BASED ON TABLE 15.440 (1 per 10,000 SF)	

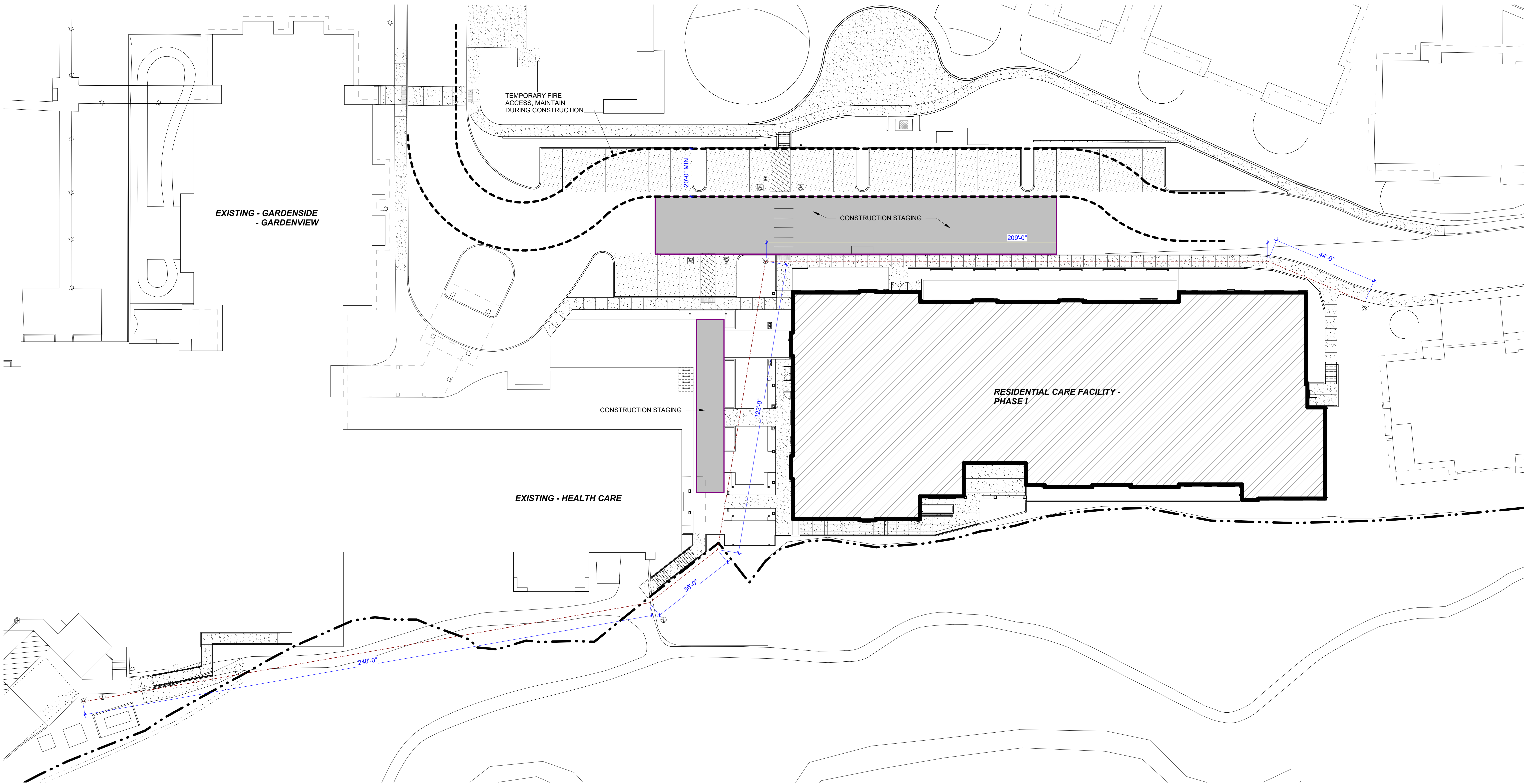
LEGEND

-  DISTURBED STREAM CORRIDOR. TYPE I REVIEW UNDER SEPARATE SUBMITTAL
-  STREAM CORRIDOR
-  PEDESTRIAN PATH. ALL NEW WORK WILL COMPLY WITH ADA STANDARDS
-  LANDSCAPE AREA
-  COMMON OUTDOOR AREAS
-  EXISTING BUILDING/ CARPORTS
-  NEW BUILDING/ GAZEBO
-  NEW PAVING



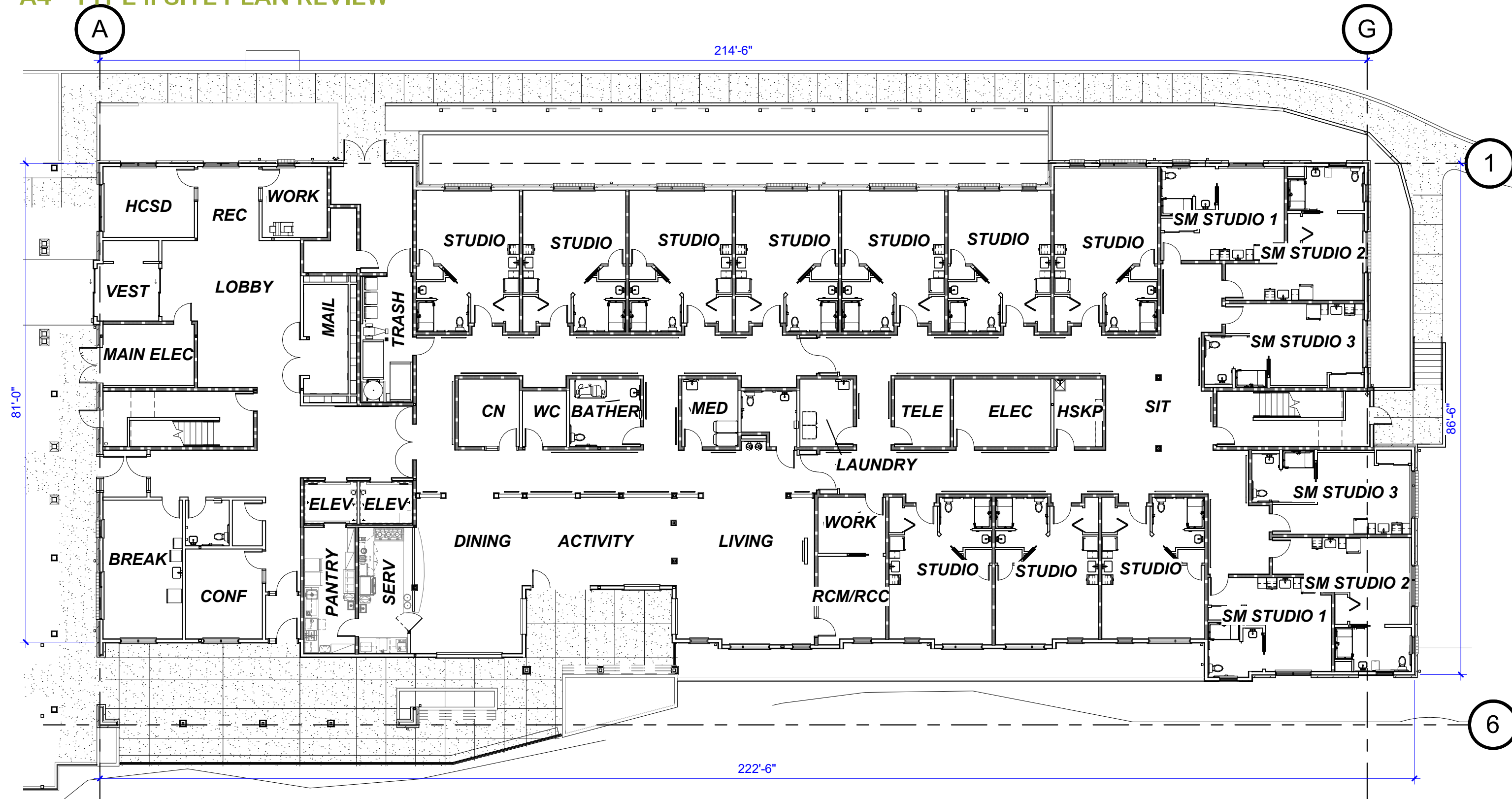
PH I - TEMPORARY FIRE ACCESS PLAN DURING CONSTRUCTION

A3 - TYPE II SITE PLAN REVIEW



LUR - FLOOR PLANS

A4 - TYPE II SITE PLAN REVIEW



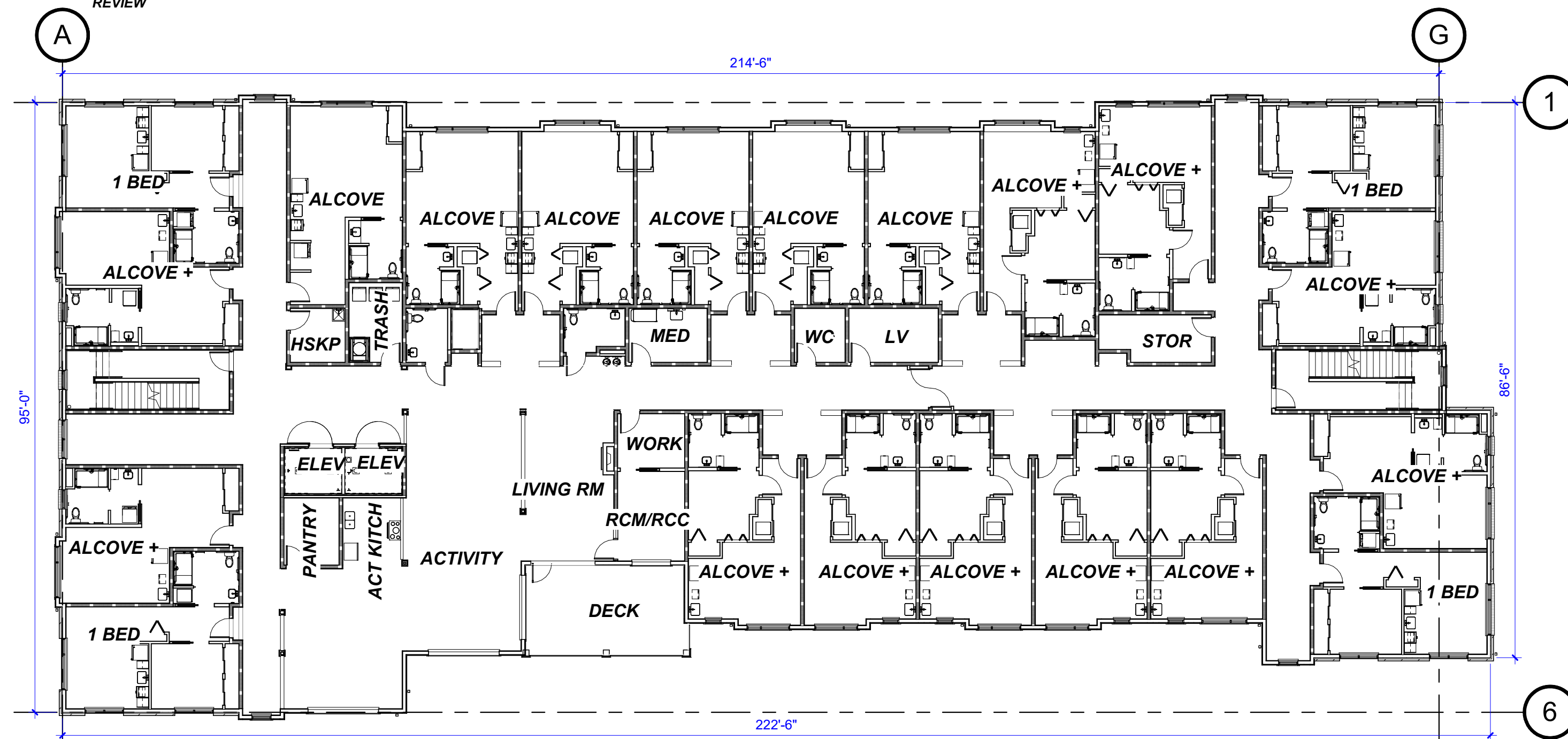
LEVEL 1 - FLOOR PLAN

A4 - TYPE IRL: 1/16" = 1'-0"
SITE PLAN
REVIEW



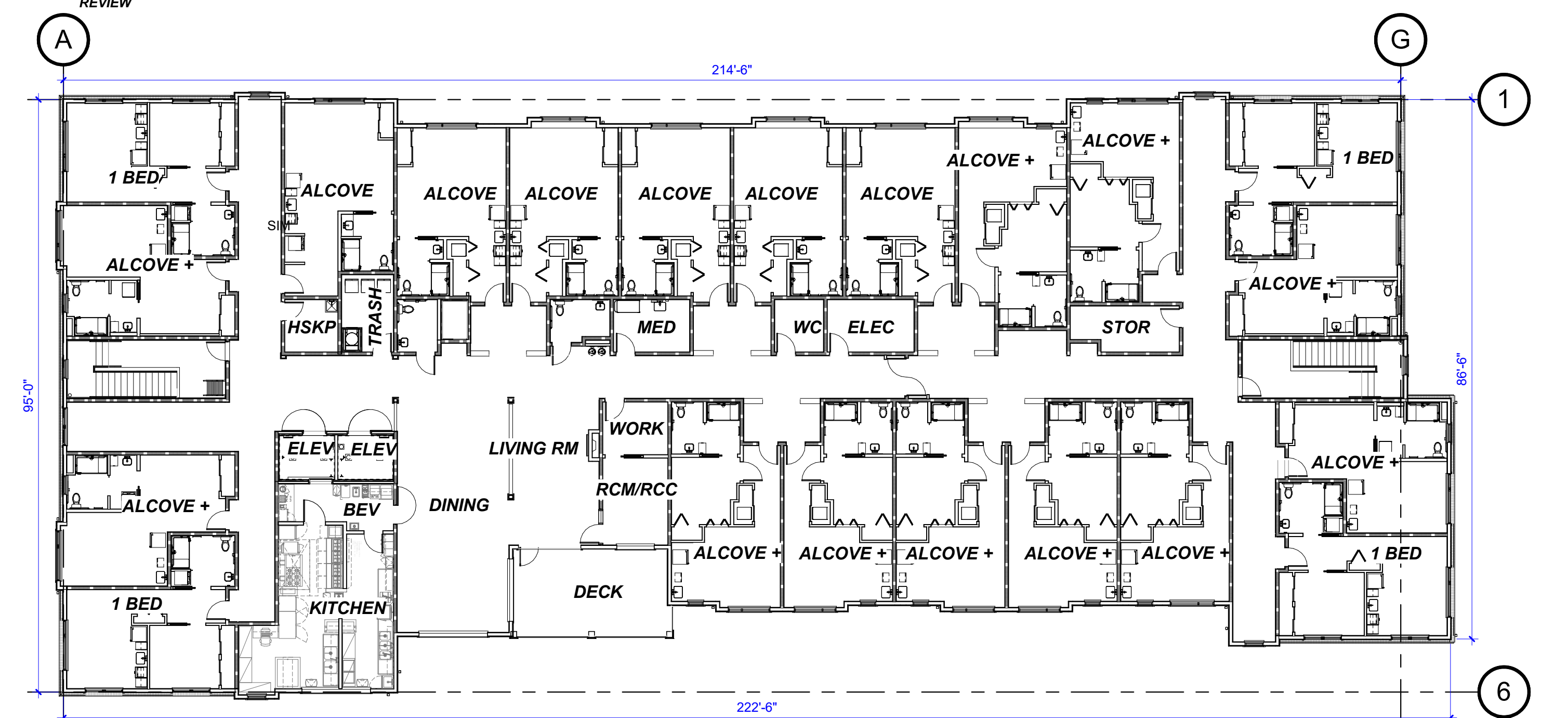
LEVEL 2 - FLOOR PLAN

A4 - TYPE IRL: 1/16" = 1'-0"
SITE PLAN
REVIEW



LEVEL 3 - FLOOR PLAN

A4 - TYPE IRL: 1/16" = 1'-0"
SITE PLAN
REVIEW



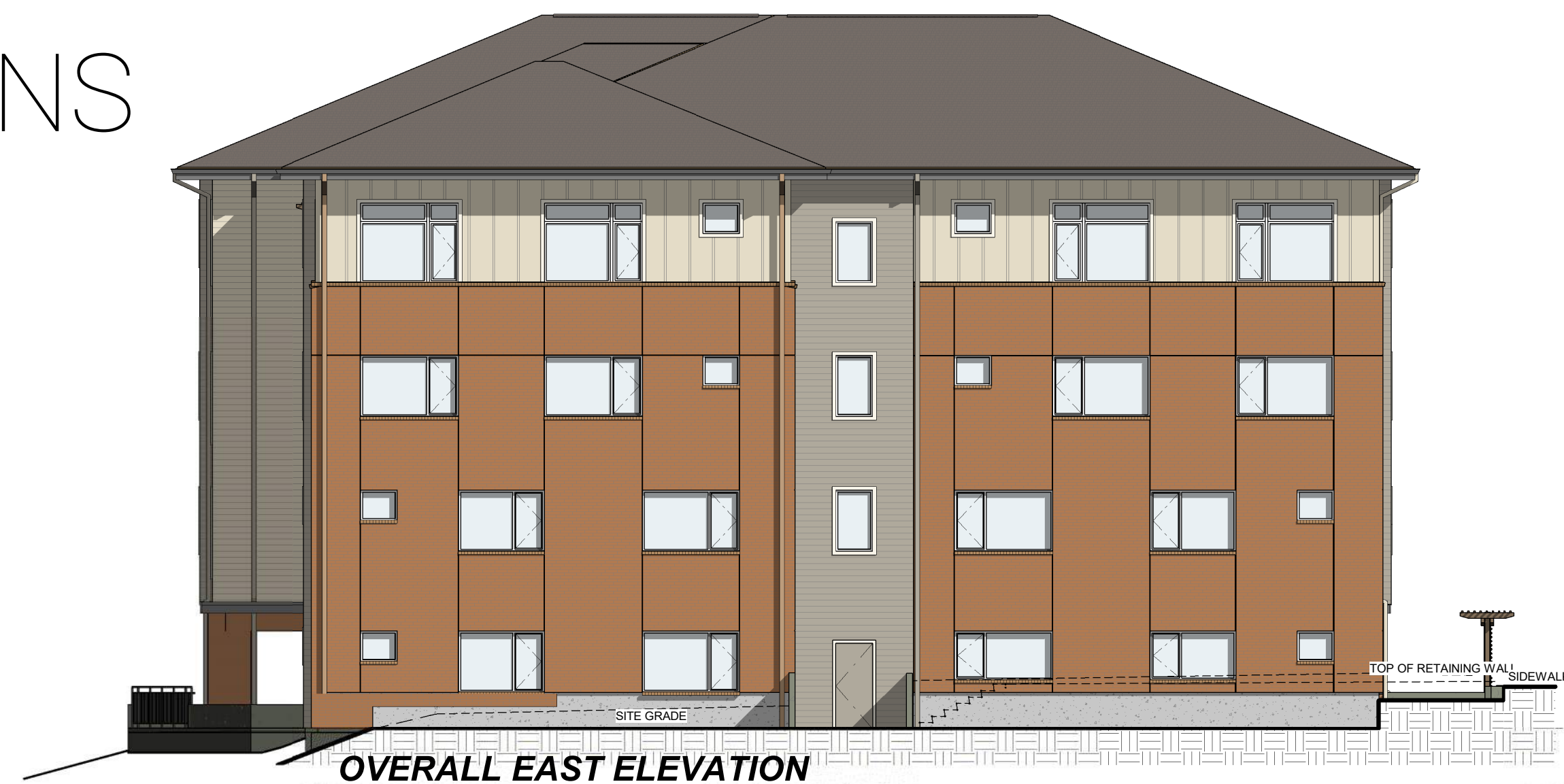
LEVEL 4 - FLOOR PLAN

A4 - TYPE IRL: 1/16" = 1'-0"
SITE PLAN
REVIEW



LUR - ELEVATIONS

A5 - TYPE II SITE PLAN REVIEW



OVERALL EAST ELEVATION

A5 - TYPE IALE: 3/32" = 1'-0"
SITE PLAN
REVIEW



OVERALL WEST ELEVATION

A5 - TYPE IALE: 3/32" = 1'-0"
SITE PLAN
REVIEW



OVERALL NORTH ELEVATION

A5 - TYPE IALE: 3/32" = 1'-0"
SITE PLAN
REVIEW

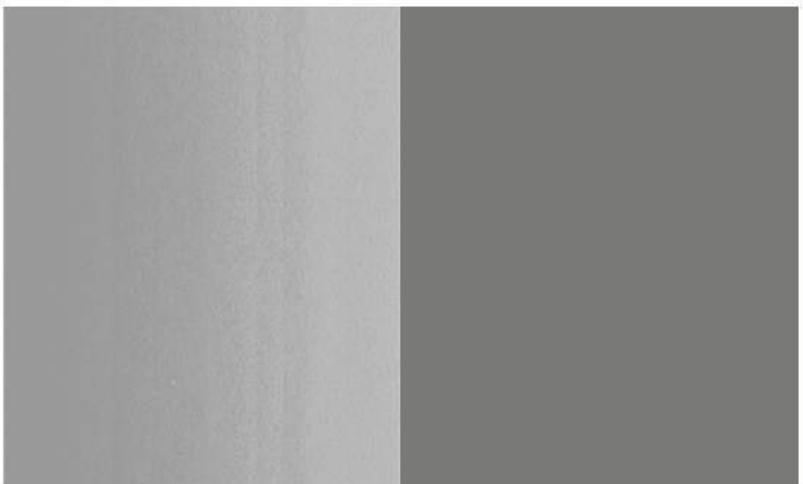


OVERALL SOUTH ELEVATION

A5 - TYPE IALE: 3/32" = 1'-0"
SITE PLAN
REVIEW

LUR - MATERIAL TEMPLATE

A6 - TYPE II SITE PLAN REVIEW



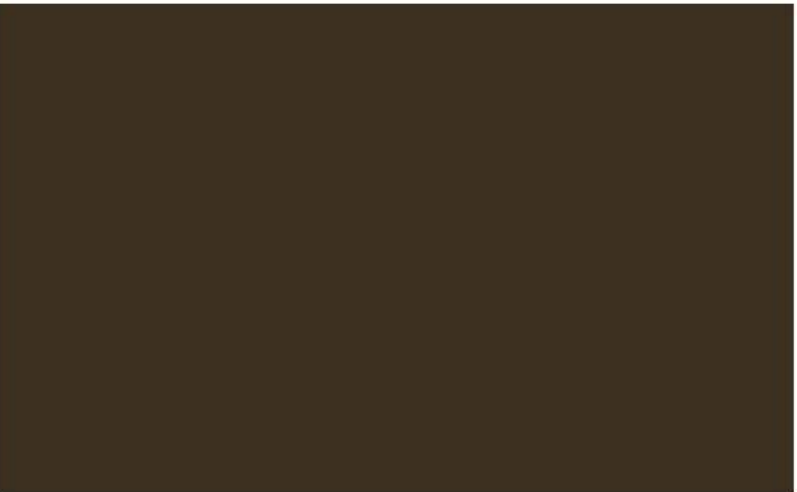
1. FIBER CEMENT FASCIA
TEXTURE: SMOOTH
COLOR: SHERWIN WILLIAMS: SW 2849, WESTCHESTER GREY



6. COMPOSITION SHINGLE ROOFING SYSTEM
MANUFACTURER: CERTAINTED
COLOR: BLACK WALNUT



2. FIBER CEMENT SIDING SYSTEM
STYLE: 7-1/4" LAP SIDING
TEXTURE: RUSTIC / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE: HC-81, MANCHESTER TAN



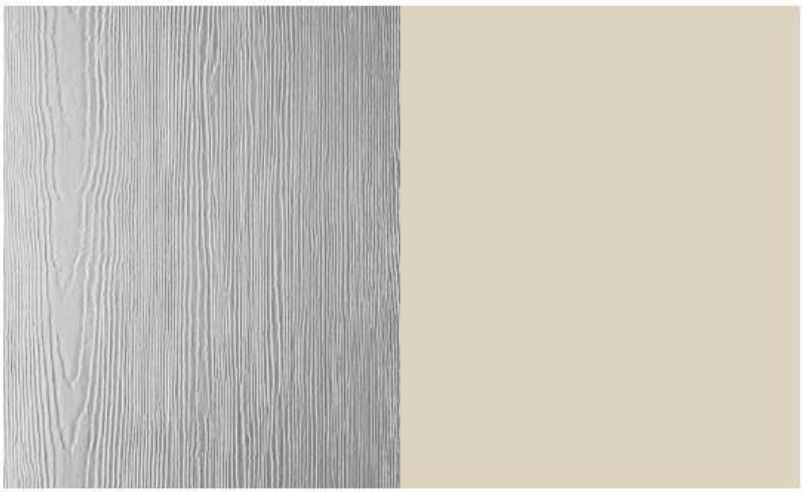
7. STANDING METAL SEAM ROOFING SYSTEM
FINISH: DURATECH 5000, WEATHERED COPPER



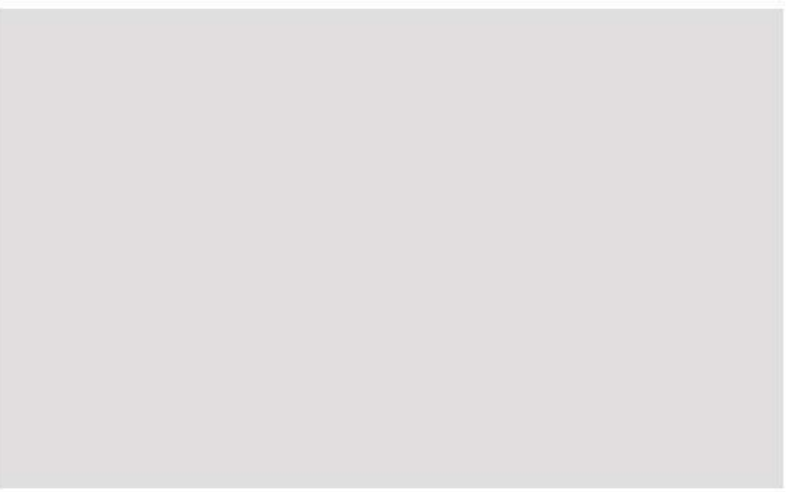
3. FIBER CEMENT SIDING SYSTEM
STYLE: 7-1/4" LAP SIDING
TEXTURE: RUSTIC / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE: HC-105, ROCKPORT GRAY



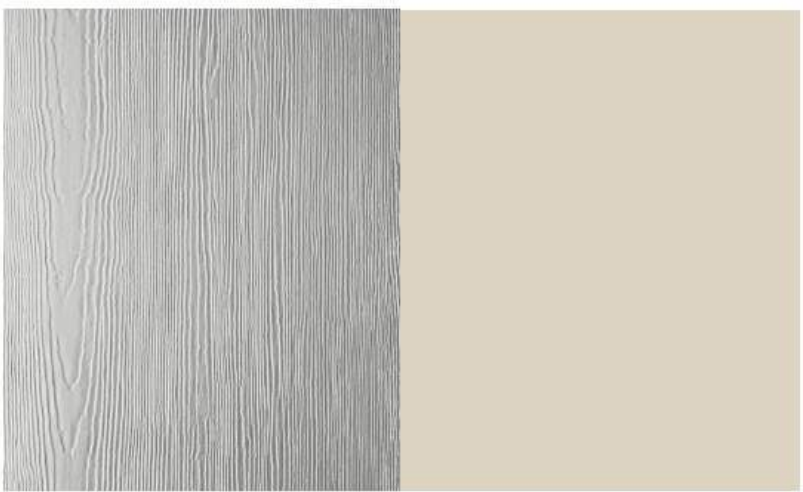
8. BRICK
STYLE: NORMAN, 3-1/2" x 2-1/2" x 11-1/2"
TEXTURE: VELOUR
COLOR: PACIFIC CLAY PRODUCTS, INC., "ROYAL SALTILLO"



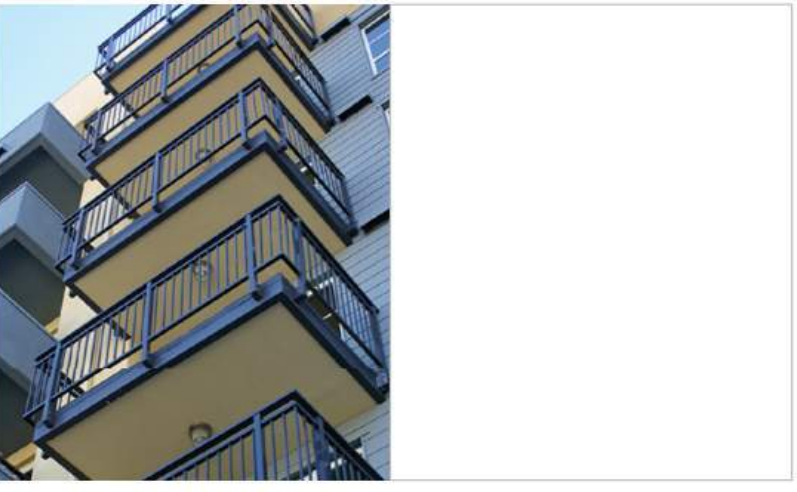
4. FIBER CEMENT SIDING SYSTEM
STYLE: 2" BOARD AND BATTEN
TEXTURE: SMOOTH / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE: HC-81, MANCHESTER TAN



9. ALUMINUM STOREFRONT SYSTEM
FINISH: CLEAR ANODIZED



5. FIBER CEMENT SIDING SYSTEM
STYLE: PANEL
TEXTURE: SMOOTH / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE: HC-81, MANCHESTER TAN



10. ALUMINUM RAILING SYSTEM
FINISH: PRE-FINISHED, BLACK ANODIZED

FRIENDSVIEW RESIDENTIAL CARE FACILITY - PHASE 1

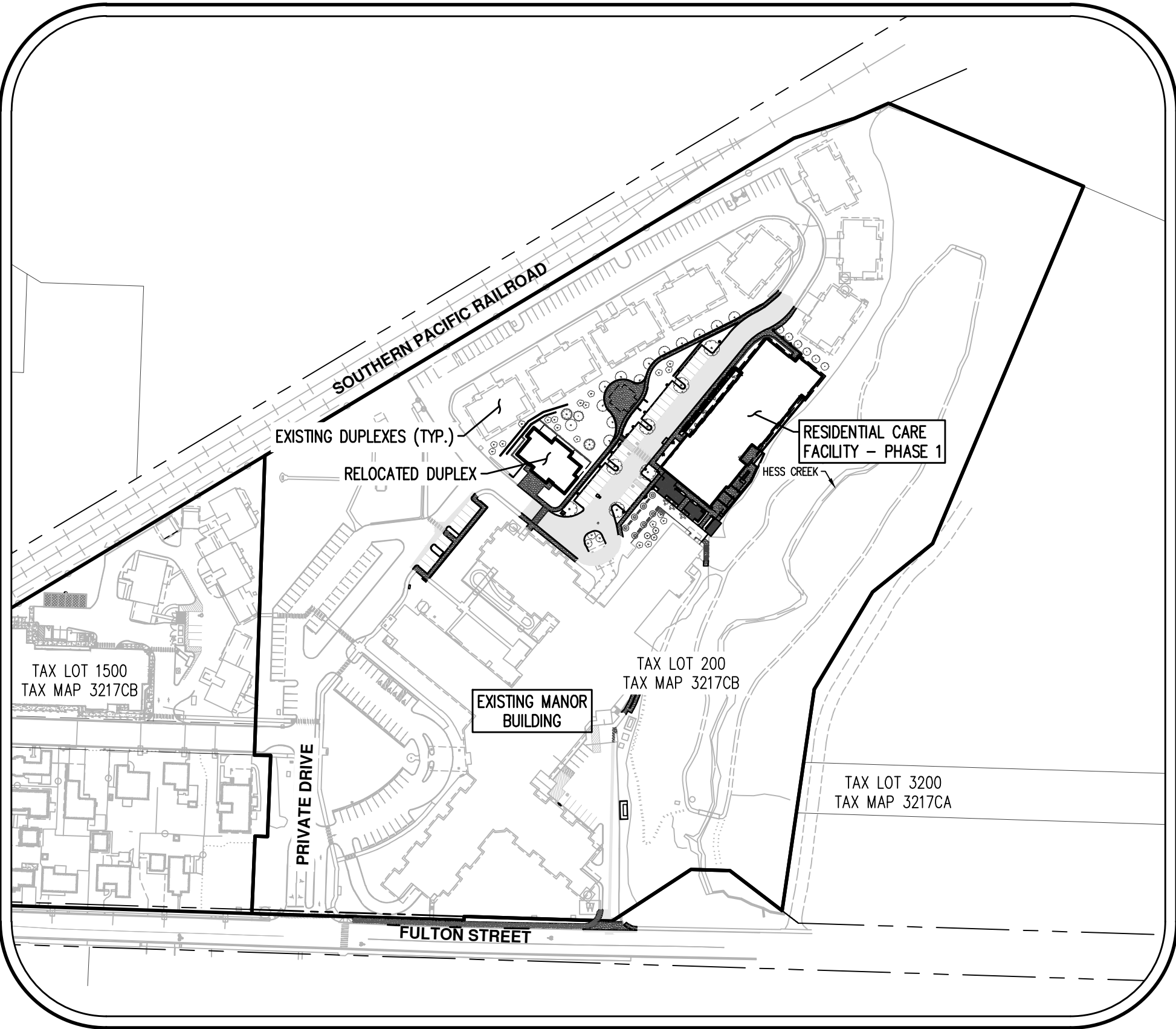
100% DESIGN REVIEW SET

LAND USE CASE FILE NUMBER: _____



VICINITY MAP

N.T.S.



SITE MAP

1" = 150'

LEGEND			
EXISTING	PROPOSED	EXISTING	PROPOSED
DECIDUOUS TREE		STORM DRAIN CLEAN OUT	
CONIFEROUS TREE		STORM DRAIN CATCH BASIN	
FIRE HYDRANT		STORM DRAIN AREA DRAIN	
WATER BLOWOFF		STORM DRAIN MANHOLE	
WATER METER		GAS METER	
WATER VALVE		GAS VALVE	
DOUBLE CHECK VALVE		GUY WIRE ANCHOR	
AIR RELEASE VALVE		UTILITY POLE	
SANITARY SEWER CLEAN OUT		POWER VAULT	
SANITARY SEWER MANHOLE		POWER JUNCTION BOX	
SIGN		POWER PEDESTAL	
STREET LIGHT		COMMUNICATIONS VAULT	
MAILBOX		COMMUNICATIONS JUNCTION BOX	
		COMMUNICATIONS RISER	
EXISTING		PROPOSED	
RIGHT-OF-WAY LINE			
BOUNDARY LINE			
PROPERTY LINE			
CENTERLINE			
DITCH			
CURB			
EDGE OF PAVEMENT			
EASEMENT			
FENCE LINE			
GRAVEL EDGE			
POWER LINE			
OVERHEAD WIRE			
COMMUNICATIONS LINE			
FIBER OPTIC LINE			
GAS LINE			
STORM DRAIN LINE			
SANITARY SEWER LINE			
WATER LINE			

PROJECT TEAM



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ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS BUT NOT MORE THAN TEN BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

SHEET INDEX

- C000 COVER SHEET WITH SITE MAP, VICINITY MAP, & LEGEND
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- C011 EXISTING CONDITIONS PLAN
- C012 EXISTING CONDITIONS PLAN
- C013 EXISTING CONDITIONS PLAN
- C014 EXISTING CONDITIONS PLAN
- C015 EXISTING CONDITIONS PLAN
- C016 EXISTING CONDITIONS PLAN
- C017 EXISTING CONDITIONS PLAN
- C018 EXISTING CONDITIONS PLAN
- C019 EXISTING CONDITIONS PLAN WITH AERIAL
- C030 PRELIMINARY DEMOLITION PLAN
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- C300 PRELIMINARY WATER & SANITARY SEWER PLAN
- C301 PRELIMINARY WATER EASEMENT PLAN
- C500 DETAILS

AREA SUMMARY

SUBJECT PROPERTY AREA = ±16.4 ACRES
RCF PHASE 1 DISTURBANCE AREA = ±2.0 ACRES

PROJECT PURPOSE

THE PROPOSED PROJECT WILL CONSIST OF THE DEMOLITION OF TWO EXISTING DUPLEXES AND THE CONSTRUCTION OF A SENIOR CARE FACILITY WITH ASSOCIATED PARKING IMPROVEMENTS. THE SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF UNDERGROUND UTILITIES AND STORMWATER FACILITIES.

VERTICAL DATUM

ELEVATIONS ARE BASED ON CITY OF NEWBERG BENCHMARK NO. 89. ELEVATION = 202.05 FEET (NAVD 88).

EXISTING LAND USE

THE SUBJECT PROPERTY IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS (FRIENDSVIEW MANOR) OWNED BY FRIENDSVIEW RETIREMENT COMMUNITY AND IT IS LOCATED WITHIN THE CITY'S INSTITUTIONAL (I) ZONING DISTRICT.



2190811C000 — COVER SHEET WITH SITE MAP, VICINITY MAP, & LEGEND

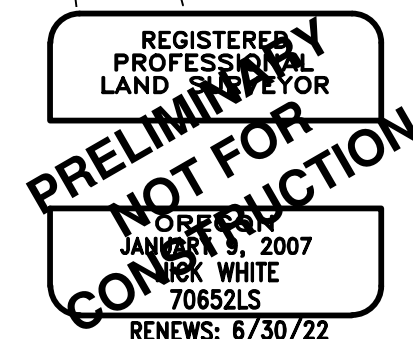
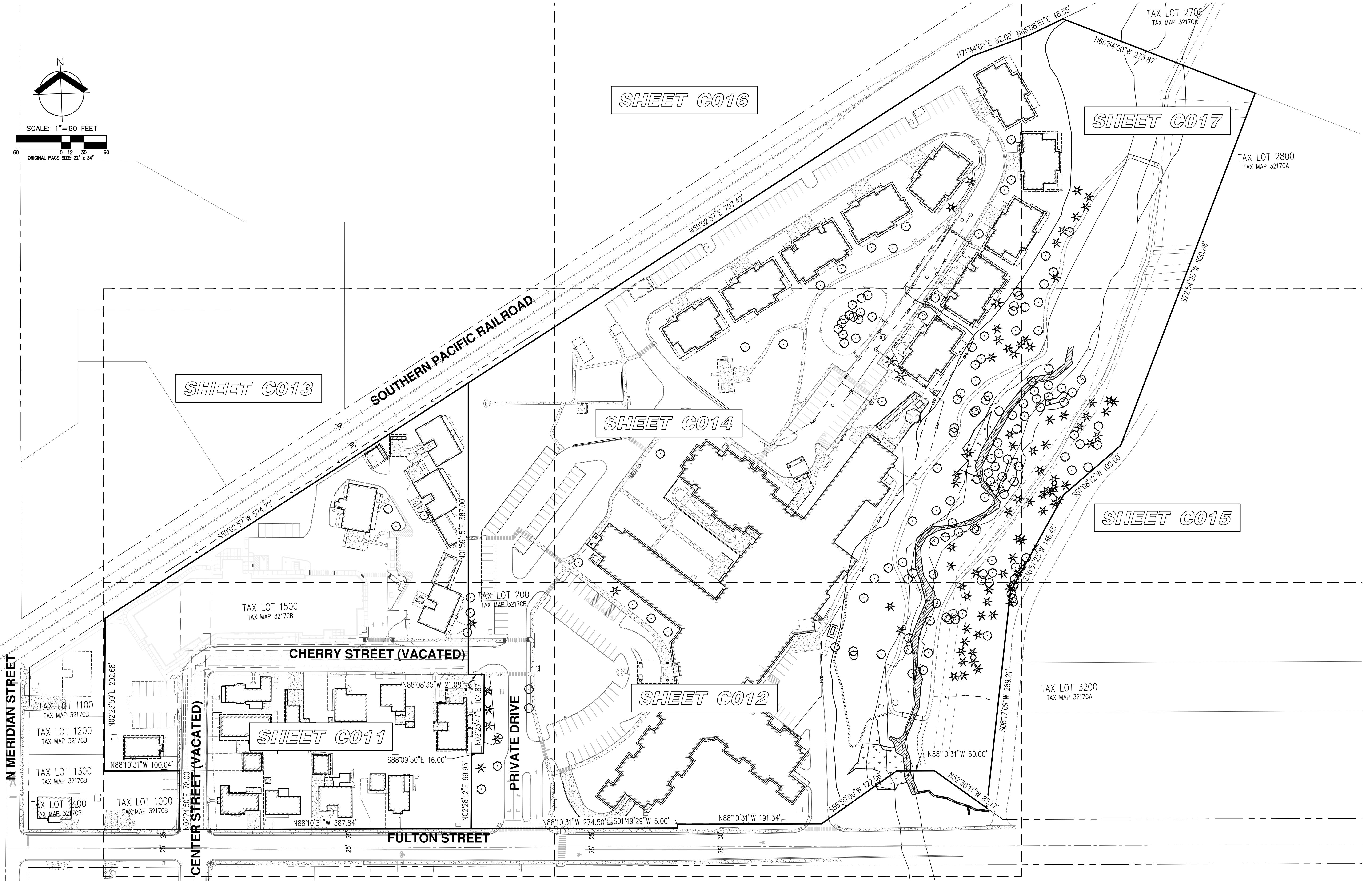
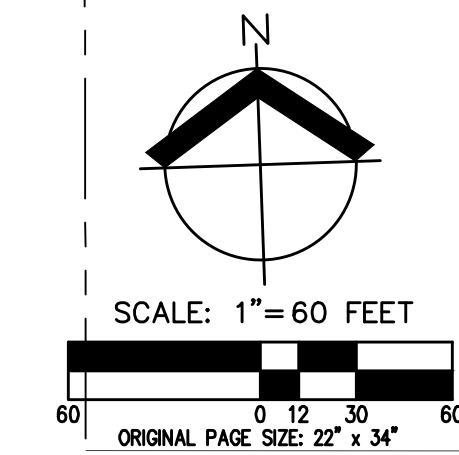


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FRIENDSVIEW
RETIREMENT COMMUNITY

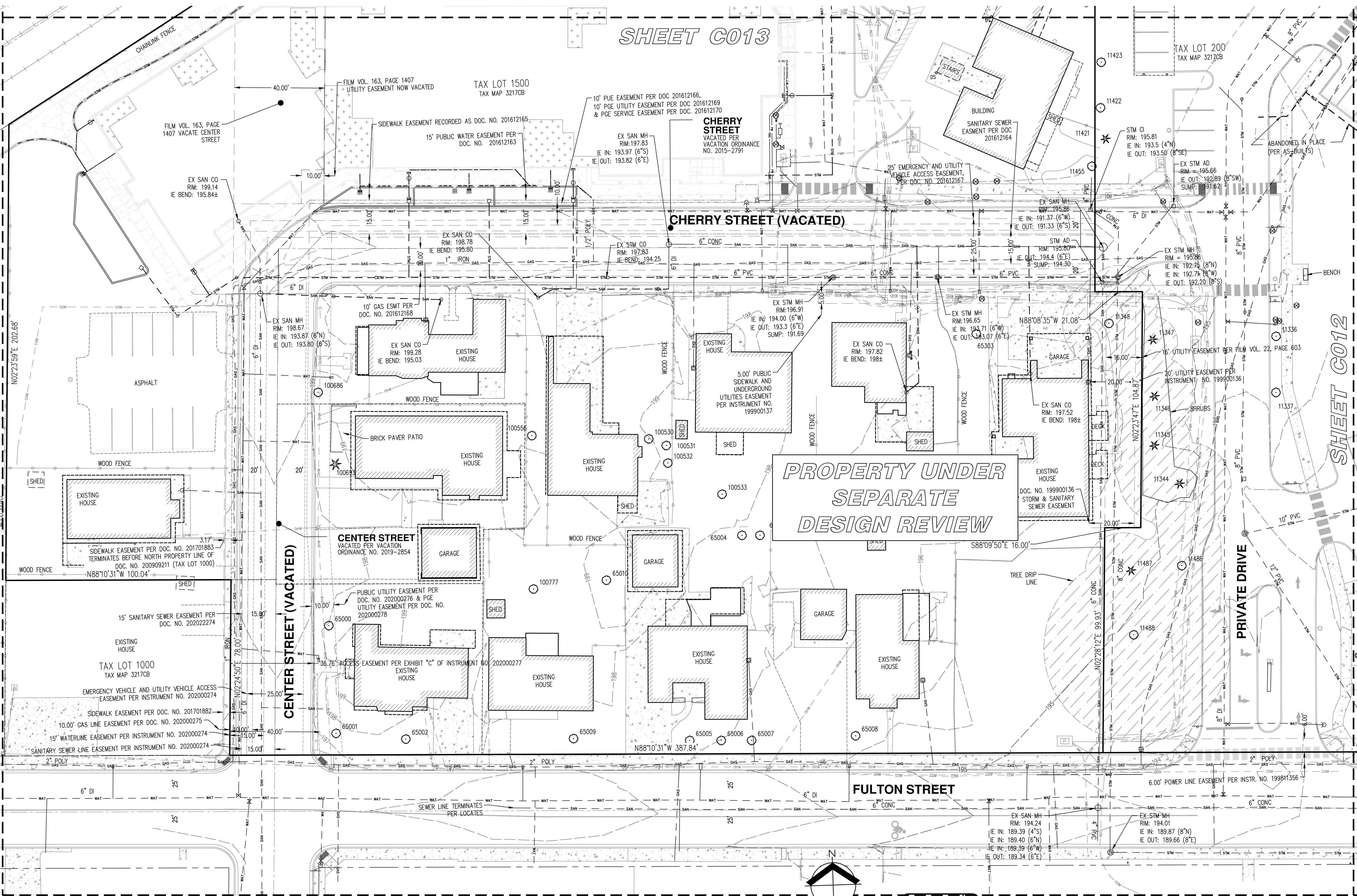
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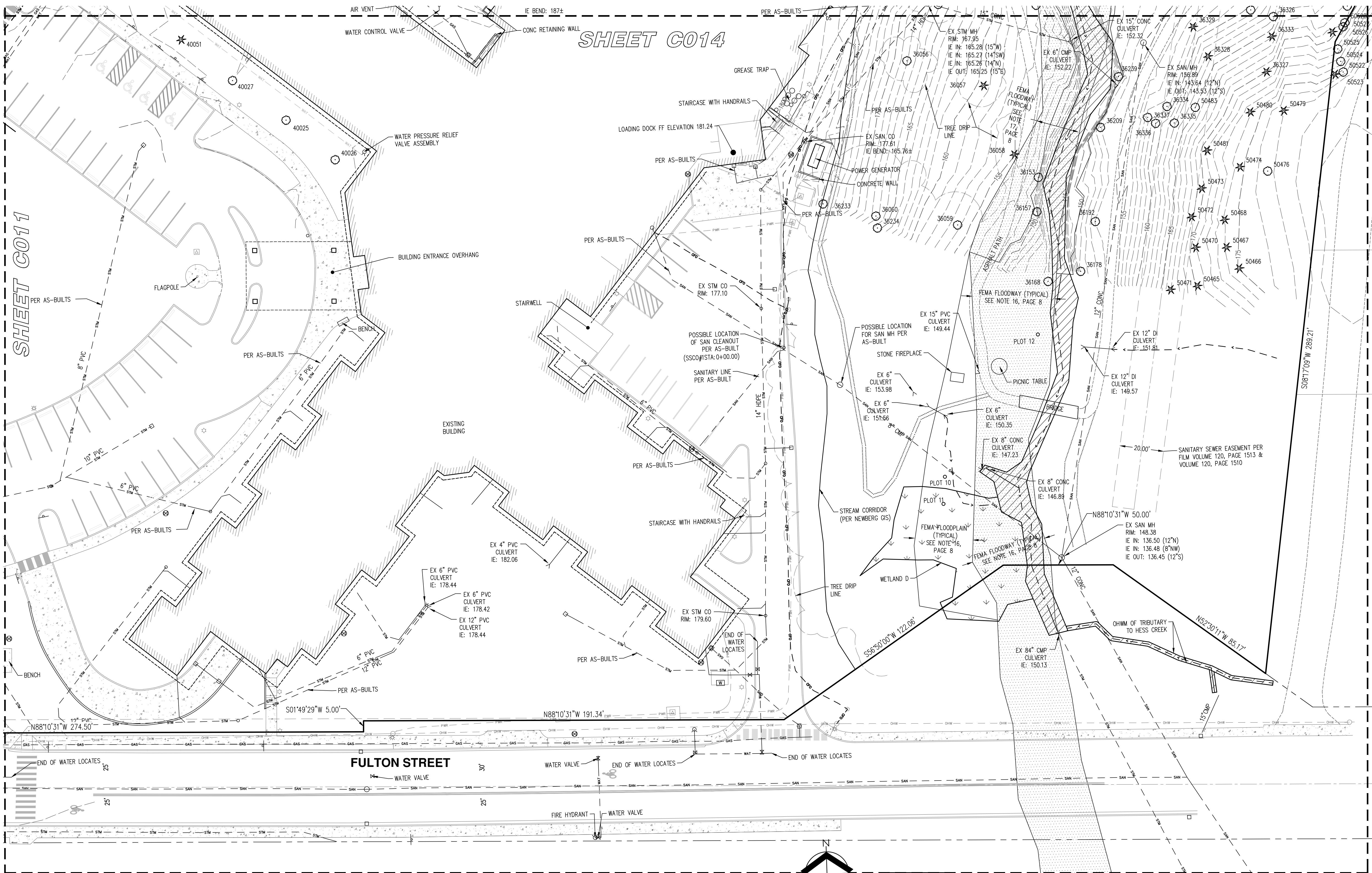
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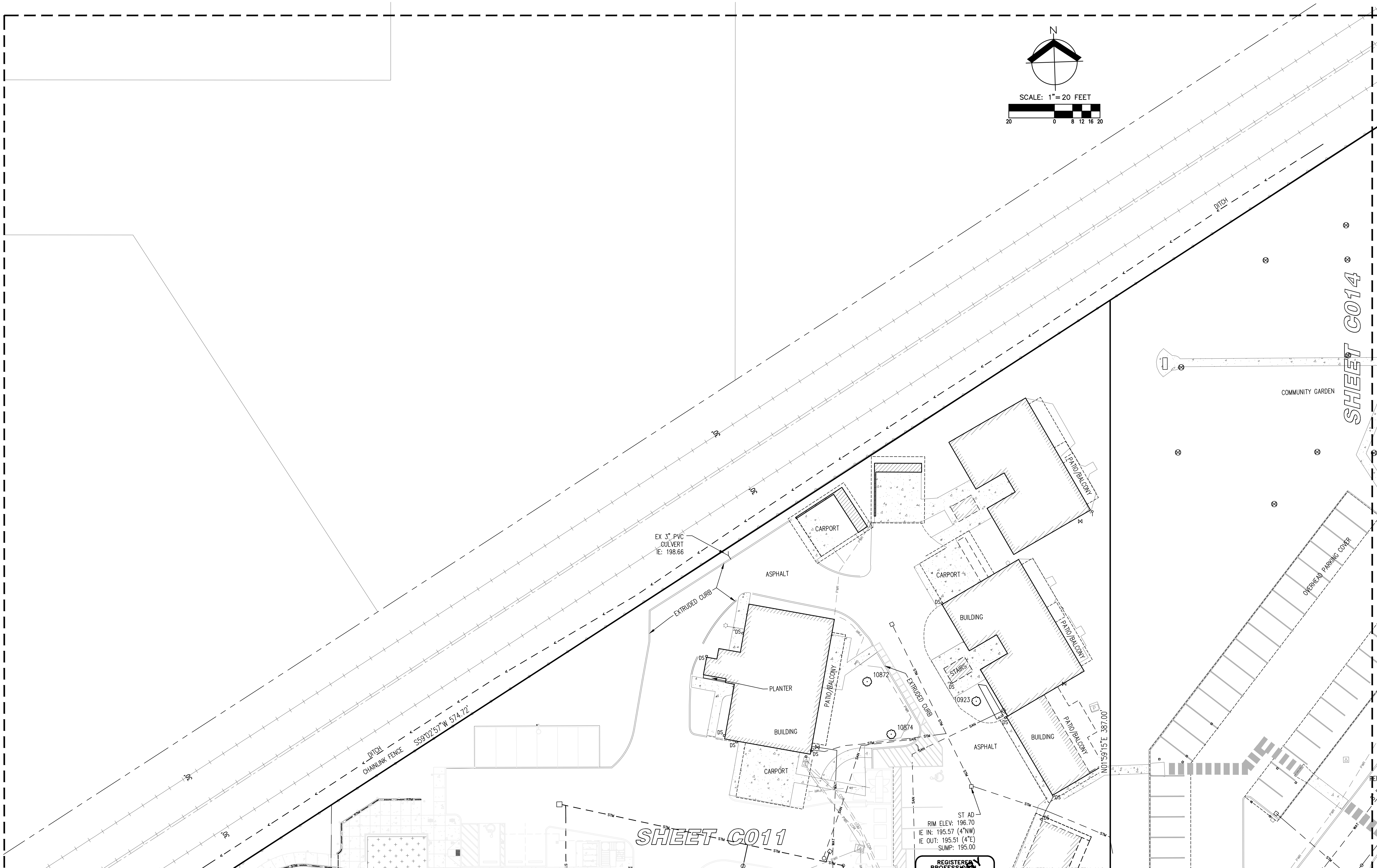


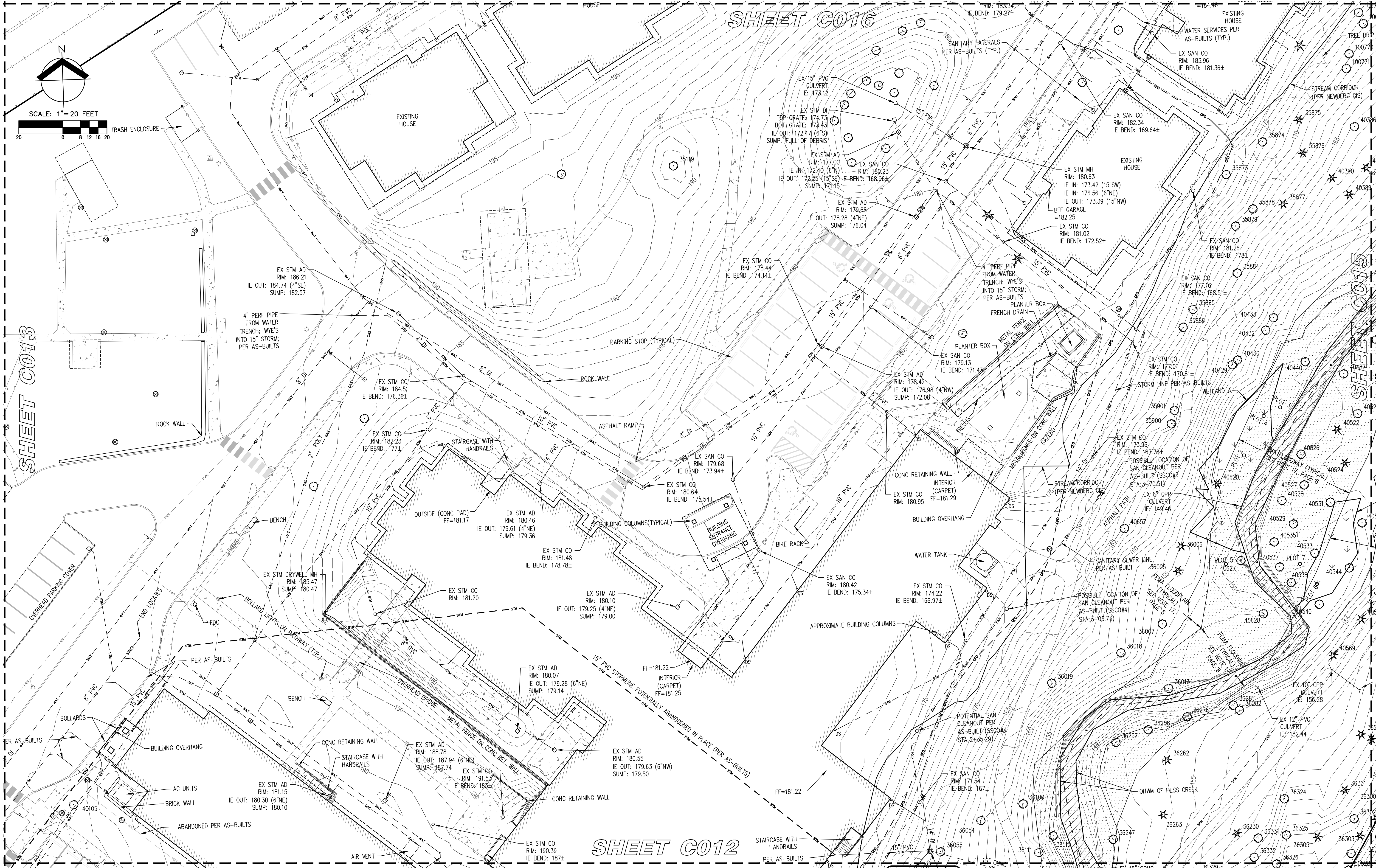
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FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

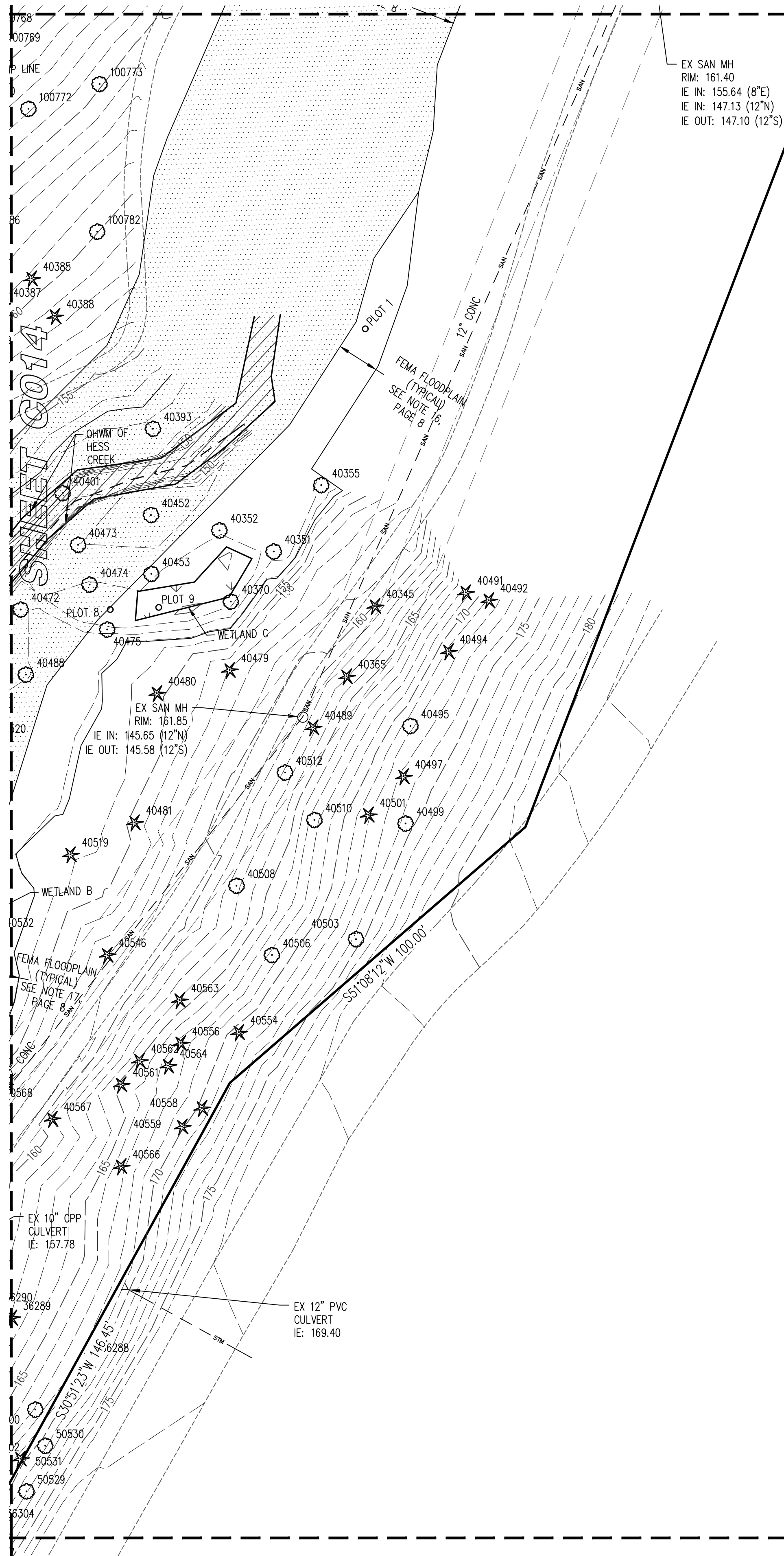
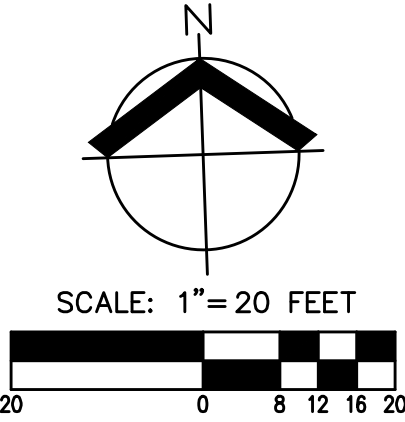


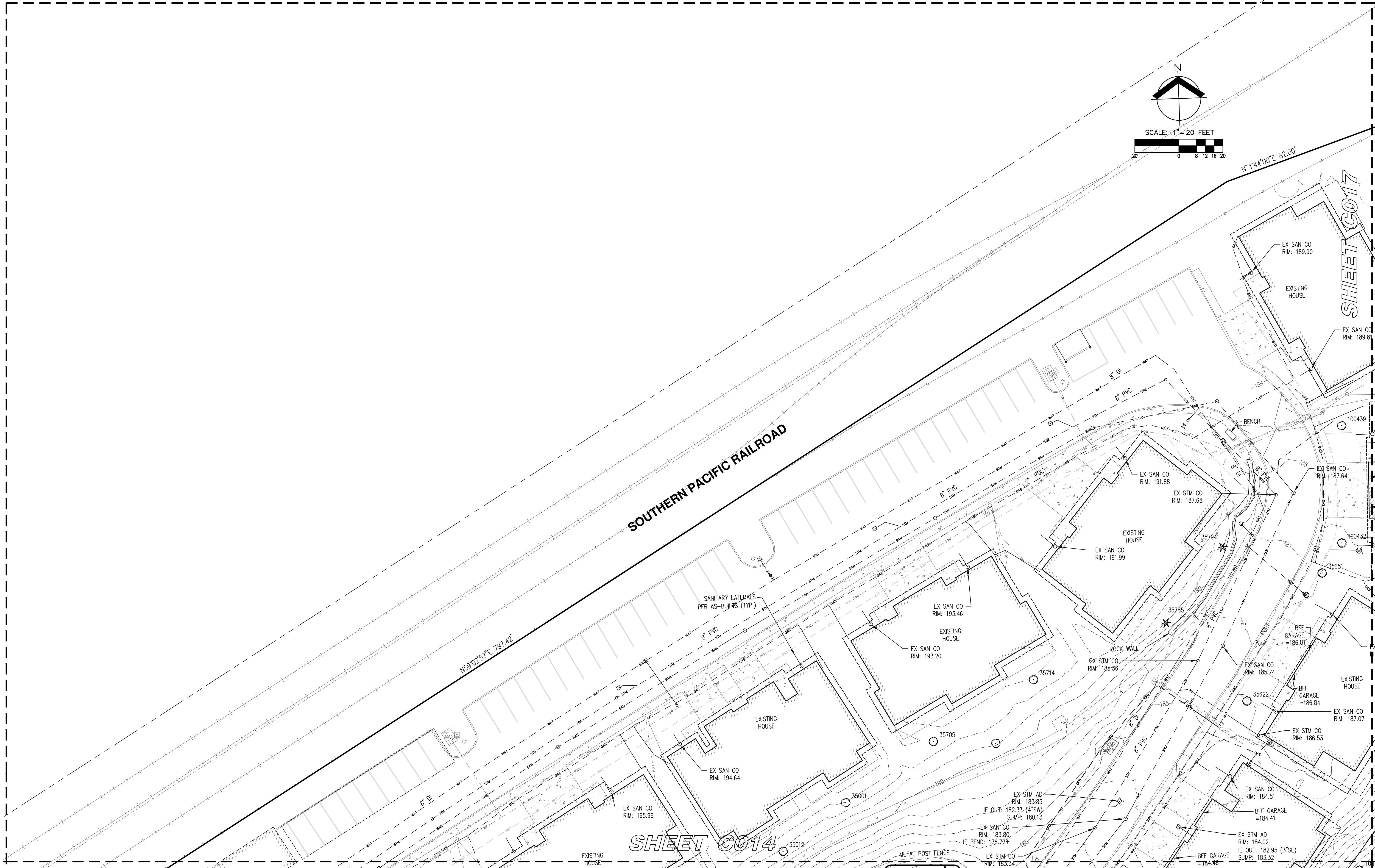
SHEET C011

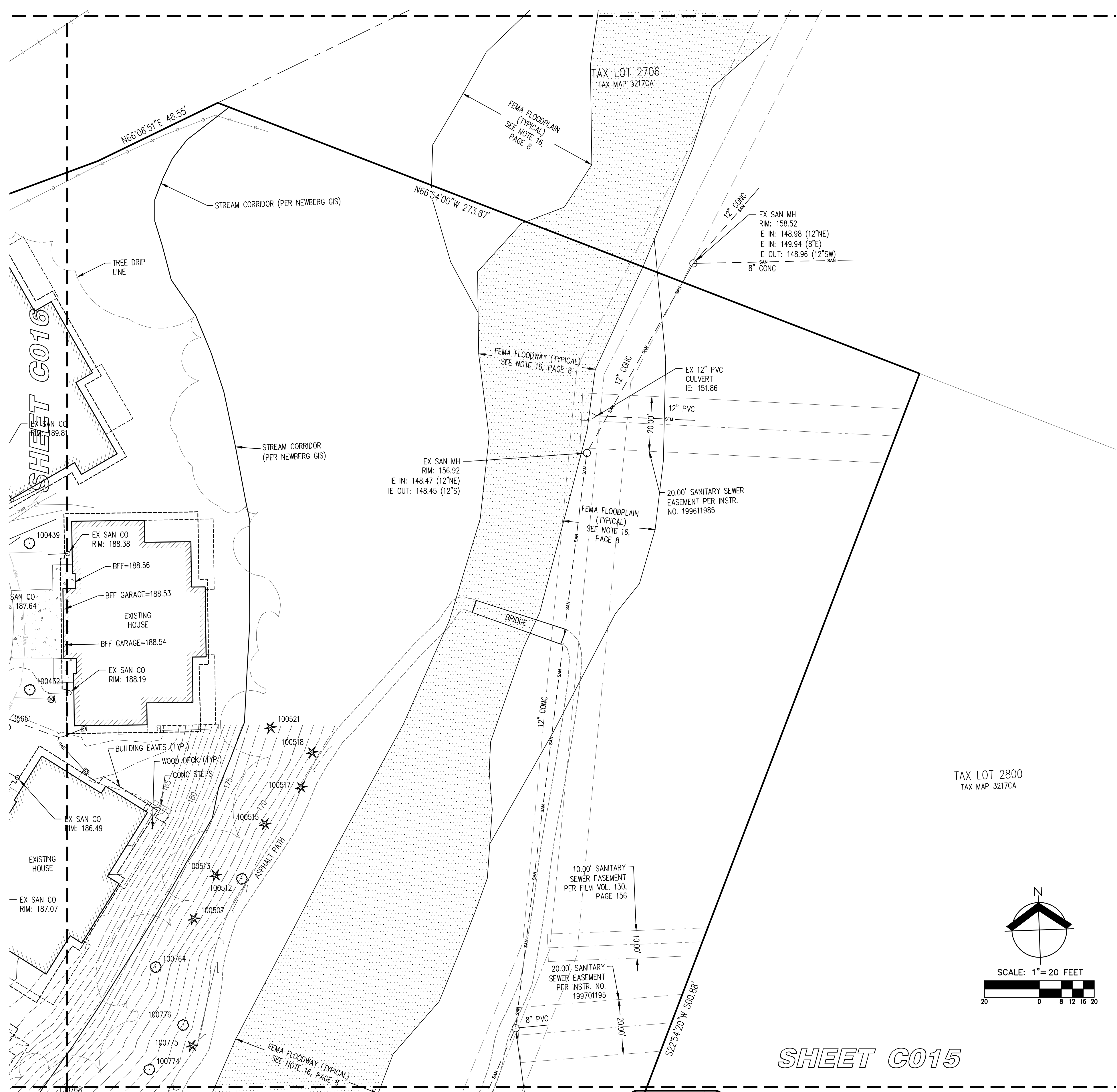












TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
10872	DECIDUOUS	15
10874	DECIDUOUS	11
10923	DECIDUOUS	12
11336	DECIDUOUS	6
11337	DECIDUOUS	7
11344	CONIFEROUS	61
11345	CONIFEROUS	26
11346	CONIFEROUS	26
11347	CONIFEROUS	19
11348	DECIDUOUS	17
11421	CONIFEROUS	21
11422	DECIDUOUS	14
11423	DECIDUOUS	16
11455	DECIDUOUS	5, 5, 8
11486	DECIDUOUS	30
11487	CONIFEROUS	30
11488	DECIDUOUS	40
35001	DECIDUOUS	13
35012	DECIDUOUS	14
35095	DECIDUOUS	34
35119	DECIDUOUS	26
35499	DECIDUOUS	11, 12, 15
35517	CONIFEROUS	14
35520	CONIFEROUS	15
35542	DECIDUOUS	13
35543	DECIDUOUS	12
35622	DECIDUOUS	9
35651	DECIDUOUS	11
35705	DECIDUOUS	10
35713	DECIDUOUS	7
35714	DECIDUOUS	12

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
35785	CONIFEROUS	16
35794	CONIFEROUS	18
35805	DECIDUOUS	15
35806	DECIDUOUS	6
35807	DECIDUOUS	6, 6
35808	DECIDUOUS	7
35809	DECIDUOUS	6, 6
35810	DECIDUOUS	7
35811	DECIDUOUS	6
35812	DECIDUOUS	8
35813	DECIDUOUS	6
35814	DECIDUOUS	7
35815	DECIDUOUS	12
35816	DECIDUOUS	6, 6, 7, 7, 8
35817	DECIDUOUS	7, 7
35818	DECIDUOUS	6
35873	DECIDUOUS	8
35874	DECIDUOUS	7
35875	CONIFEROUS	14
35876	CONIFEROUS	13
35877	CONIFEROUS	12
35878	DECIDUOUS	8
35879	DECIDUOUS	8
35884	DECIDUOUS	16
35885	DECIDUOUS	10, 20
35886	DECIDUOUS	15
35900	DECIDUOUS	30
35901	DECIDUOUS	6
36005	CONIFEROUS	55
36006	CONIFEROUS	46
36007	DECIDUOUS	8

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
36013	DECIDUOUS	18
36018	DECIDUOUS	18
36019	DECIDUOUS	21
36054	DECIDUOUS	18
36055	DECIDUOUS	25
36056	DECIDUOUS	9
36057	CONIFEROUS	26
36058	CONIFEROUS	22
36059	DECIDUOUS	14
36060	DECIDUOUS	21
36100	DECIDUOUS	17
36111	DECIDUOUS	9, 9
36112	DECIDUOUS	19
36153	DECIDUOUS	16
36157	DECIDUOUS	18
36168	DECIDUOUS	9, 14
36178	DECIDUOUS	8, 9, 11
36192	DECIDUOUS	8, 9, 9, 10, 10, 10
36209	DECIDUOUS	20
36233	DECIDUOUS	12
36234	DECIDUOUS	28
36239	DECIDUOUS	14
36247	DECIDUOUS	19
36257	DECIDUOUS	14
36258	DECIDUOUS	14
36262	CONIFEROUS	8
36263	CONIFEROUS	8
36276	DECIDUOUS	16
36281	DECIDUOUS	19
36282	DECIDUOUS	22
36288	CONIFEROUS	22

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
36289	CONIFEROUS	11
36290	CONIFEROUS	8
36300	DECIDUOUS	19
36301	CONIFEROUS	9
36302	DECIDUOUS	15
36303	CONIFEROUS	9
36304	DECIDUOUS	7
36305	CONIFEROUS	24
36324	DECIDUOUS	15
36325	DECIDUOUS	6
36326	DECIDUOUS	11
36327	CONIFEROUS	16
36328	CONIFEROUS	6, 23
36329	CONIFEROUS	25
36330	CONIFEROUS	6
36331	DECIDUOUS	7
36332	DECIDUOUS	7
36333	CONIFEROUS	7
36334	DECIDUOUS	15
36335	DECIDUOUS	16
36336	DECIDUOUS	10
36337	DECIDUOUS	15
40025	DECIDUOUS	9
40026	DECIDUOUS	9
40027	DECIDUOUS	10
40051	CONIFEROUS	10
40105	DECIDUOUS	11
40345	CONIFEROUS	28
40351	DECIDUOUS	13
40352	DECIDUOUS	11
40355	DECIDUOUS	16

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
40365	CONIFEROUS	34
40370	DECIDUOUS	15
40385	CONIFEROUS	9
40386	DECIDUOUS	11
40387	CONIFEROUS	10
40388	CONIFEROUS	8
40389	CONIFEROUS	10
40390	CONIFEROUS	9
40393	DECIDUOUS	11
40401	DECIDUOUS	8
40429	DECIDUOUS	14
40430	DECIDUOUS	14
40432	DECIDUOUS	14
40433	DECIDUOUS	7, 8
40440	DECIDUOUS	7
40452	DECIDUOUS	29
40453	DECIDUOUS	13
40472	DECIDUOUS	30
40473	DECIDUOUS	26
40474	DECIDUOUS	11
40475	DECIDUOUS	16
40479	CONIFEROUS	11
40480	CONIFEROUS	8
40481	CONIFEROUS	17
40487	DECIDUOUS	21
40488	DECIDUOUS	8
40489	CONIFEROUS	11
40491	CONIFEROUS	12
40492	CONIFEROUS	15
40494	CONIFEROUS	13
40495	DECIDUOUS	10

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
40497	CONIFEROUS	18
40499	DECIDUOUS	11
40501	CONIFEROUS	11
40503	DECIDUOUS	21
40506	DECIDUOUS	26
40508	DECIDUOUS	13
40510	DECIDUOUS	22
40512	DECIDUOUS	8
40519	CONIFEROUS	7
40520	DECIDUOUS	13
40522	CONIFEROUS	21
40524	CONIFEROUS	18
40526	DECIDUOUS	19
40527	DECIDUOUS	17
40528	DECIDUOUS	15
40529	DECIDUOUS	15
40531	DECIDUOUS	19
40532	DECIDUOUS	23
40533	DECIDUOUS	16
40535	DECIDUOUS	16
40537	DECIDUOUS	18
40538	DECIDUOUS	17
40540	DECIDUOUS	27
40544	DECIDUOUS	21
40546	CONIFEROUS	6
40554	CONIFEROUS	12
40556	CONIFEROUS	11
40558	CONIFEROUS	13
40559	CONIFEROUS	10
40561	CONIFEROUS	9
40562	CONIFEROUS	8

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
40563	CONIFEROUS	12
40564	CONIFEROUS	10
40566	CONIFEROUS	9
40567	CONIFEROUS	9
40568	CONIFEROUS	8
40569	CONIFEROUS	12
40620	CONIFEROUS	7, 8, 10
40627	DECIDUOUS	8
40628	DECIDUOUS	7
40657	DECIDUOUS	13
50465	CONIFEROUS	26
50466	CONIFEROUS	18
50467	CONIFEROUS	8
50468	CONIFEROUS	24
50470	CONIFEROUS	31
50471	CONIFEROUS	18
50472	CONIFEROUS	17
50473	CONIFEROUS	18
50474	CONIFEROUS	22
50476	DECIDUOUS	6, 8, 11
50479	CONIFEROUS	18
50480	CONIFEROUS	36
50481	CONIFEROUS	29
50483	DECIDUOUS	10, 11
50522	DECIDUOUS	8
50523	CONIFEROUS	11
50524	DECIDUOUS	6, 6, 7
50525	DECIDUOUS	15
50526	CONIFEROUS	8
50527	DECIDUOUS	10
50528	DECIDUOUS	9

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
40563	CONIFEROUS	12
40564	CONIFEROUS	10
40566	CONIFEROUS	9
40567	CONIFEROUS	9
40568	CONIFEROUS	8
40569	CONIFEROUS	12
40620	CONIFEROUS	7, 8, 10
40627	DECIDUOUS	8
40628	DECIDUOUS	7
40657	DECIDUOUS	13
50465	CONIFEROUS	26
50466	CONIFEROUS	18
50467	CONIFEROUS	8
50468	CONIFEROUS	24
50470	CONIFEROUS	31
50471	CONIFEROUS	18
50472	CONIFEROUS	17
50473	CONIFEROUS	18
50474	CONIFEROUS	22
50476	DECIDUOUS	6, 8, 11
50479	CONIFEROUS	18
50480	CONIFEROUS	36
50481	CONIFEROUS	29
50483	DECIDUOUS	10, 11
50522	DECIDUOUS	8
50523	CONIFEROUS	11
50524	DECIDUOUS	6, 6, 7
50525	DECIDUOUS	15
50526	CONIFEROUS	8
50527	DECIDUOUS	10
50528	DECIDUOUS	9

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
50529	DECIDUOUS	8, 9
50530	DECIDUOUS	11
50531	CONIFEROUS	7
65000	DECIDUOUS	8
65001	DECIDUOUS	10
65002	DECIDUOUS	6, 8
65003	DECIDUOUS	6
65004	DECIDUOUS	6
65005	DECIDUOUS	5, 6
65006	DECIDUOUS	4, 4, 7
65007	DECIDUOUS	8, 8, 9
65008	DECIDUOUS	8, 8, 9
65009	DECIDUOUS	6, 6, 6
65010	DECIDUOUS	4, 5
70308	DECIDUOUS	10
70311	DECIDUOUS	14
100432	DECIDUOUS	7,9,10
100439	DECIDUOUS	9
100507	CONIFEROUS	16
100512	DECIDUOUS	17
100513	CONIFEROUS	22
100515	CONIFEROUS	15
100517	CONIFEROUS	16
100518	CONIFEROUS	26
100521	CONIFEROUS	24
100529	DECIDUOUS	9
100530	CONIFEROUS	12
100531	CONIFEROUS	17
100532	CONIFEROUS	18
100533	DECIDUOUS	28
100556	DECIDUOUS	6, 6, 6, 7, 8

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
100686	CONIFEROUS	38
100693	CONIFEROUS	24
100764	DECIDUOUS	20
100768	DECIDUOUS	12
100769	DECIDUOUS	9
100770	DECIDUOUS	13
100771	DECIDUOUS	12
100772	DECIDUOUS	7
100773	DECIDUOUS	33
100774	DECIDUOUS	14
100775	CONIFEROUS	13, 16
100776	DECIDUOUS	14
100777	DECIDUOUS	38
100782	DECIDUOUS	14
100784	CONIFEROUS	17

LEGEND

EXISTING

DECIDUOUS TREE



CONIFEROUS TREE



FIRE HYDRANT



WATER BLOWOFF



WATER METER



WATER VALVE



DOUBLE CHECK VALVE



AIR RELEASE VALVE



SANITARY SEWER CLEAN OUT



SANITARY SEWER MANHOLE



SIGN



STREET LIGHT



MAILBOX



STORM SEWER CLEAN OUT

STORM SEWER CATCH BASIN

STORM SEWER AREA DRAIN

STORM SEWER MANHOLE

GAS METER

GAS VALVE

GUY WIRE ANCHOR

UTILITY POLE

POWER VAULT

POWER JUNCTION BOX

POWER PEDESTAL

COMMUNICATIONS VAULT

COMMUNICATIONS JUNCTION BOX

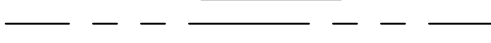
COMMUNICATIONS RISER

EXISTING

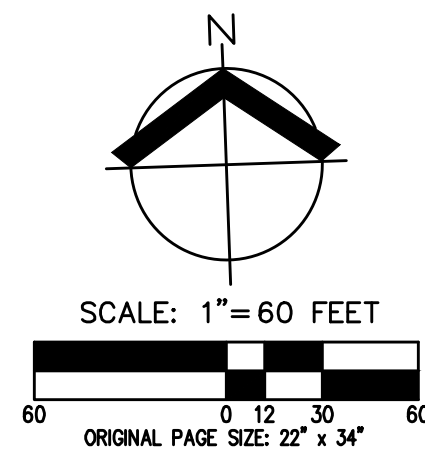


EXISTING

RIGHT-OF-WAY LINE



BOUNDARY LINE



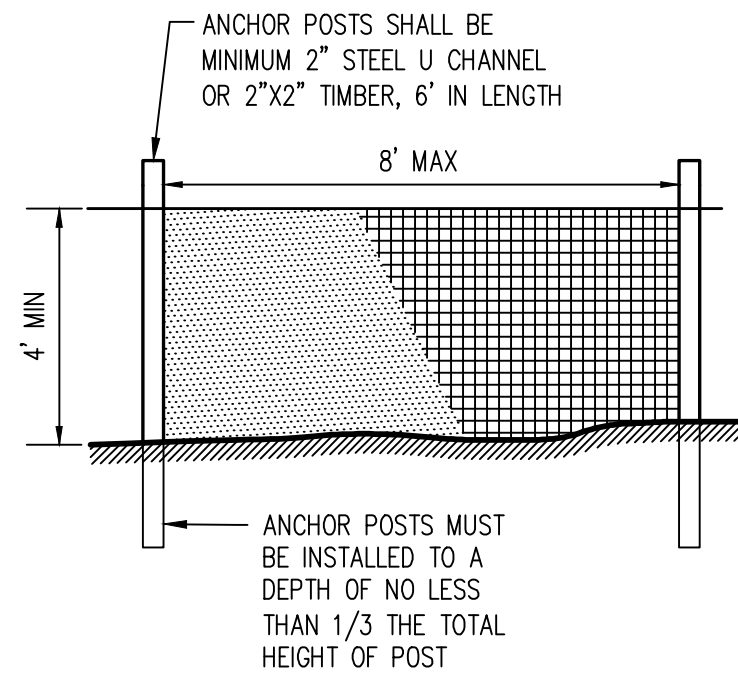
KEYED DEMOLITION NOTES:

1. EXISTING DUPLEX TO BE REMOVED, COORDINATE WITH FRIENDSVIEW FOR RELOCATION
2. EXISTING CONCRETE DRIVEWAY TO BE REMOVED
3. EXISTING CONCRETE SIDEWALK TO BE REMOVED
4. EXISTING ASPHALT TO BE REMOVED
5. EXISTING CURB TO BE REMOVED
6. EXISTING DECIDUOUS TREE TO BE REMOVED
7. EXISTING CONIFEROUS TREE TO BE REMOVED
8. SAWCUT LINE
9. EXISTING SPEED BUMP TO BE REMOVED
10. EXISTING CHAIN LINK FENCE TO BE REMOVED, SEE NOTE 1 THIS SHEET
11. EXISTING STREET SIGN TO BE REMOVED, SEE NOTE 1 THIS SHEET
12. EXISTING PLAZA STRUCTURE TO BE REMOVED, SEE NOTE 1 THIS SHEET
13. EXISTING STREET LIGHT TO BE REMOVED, SEE NOTE 1 THIS SHEET
14. EXISTING FIRE HYDRANT TO BE REMOVED, SEE NOTE 1 THIS SHEET
15. EXISTING RETAINING WALL TO BE REMOVED
16. EXISTING BUMPER STOP TO BE REMOVED, SEE NOTE 1 THIS SHEET
17. EXISTING COMMUNICATION LINE/STRUCTURE TO BE REMOVED, SEE NOTE 1 THIS SHEET
18. EXISTING NATURAL GAS STRUCTURE TO BE REMOVED, SEE NOTE 1 THIS SHEET
19. EXISTING STORM LINE/STRUCTURE TO BE REMOVED
20. EXISTING SANITARY LINE/STRUCTURE TO BE REMOVED
21. EXISTING WATER LINE/STRUCTURE TO BE REMOVED
22. EXISTING DETENTION POND TO BE DECOMMISSIONED AND FILLED
23. EXISTING BENCH TO BE REMOVED AND SALVAGED FOR REINSTALLATION
24. EXISTING MAILBOX TO BE REMOVED, SEE NOTE 1 THIS SHEET
25. EXISTING POWER LINE/STRUCTURE TO BE REMOVED, SEE NOTE 1 THIS SHEET
26. EXISTING GAZEBO STRUCTURE TO BE REMOVED, SEE NOTE 1 THIS SHEET
27. REMOVE TOP STEP OF STAIRS

(P) PROTECT AT ALL TIMES DURING DEMO AND CONSTRUCTION, ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE

NOTE:

1. CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE WHICH ITEMS ARE TO BE SALVAGED AND SAVED FOR REINSTALLATION. COORDINATE WITH OWNER FOR STORAGE.
2. SAND SEAL ALL SAWCUT JOINTS



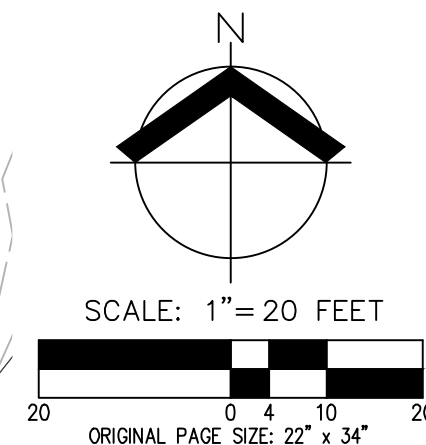
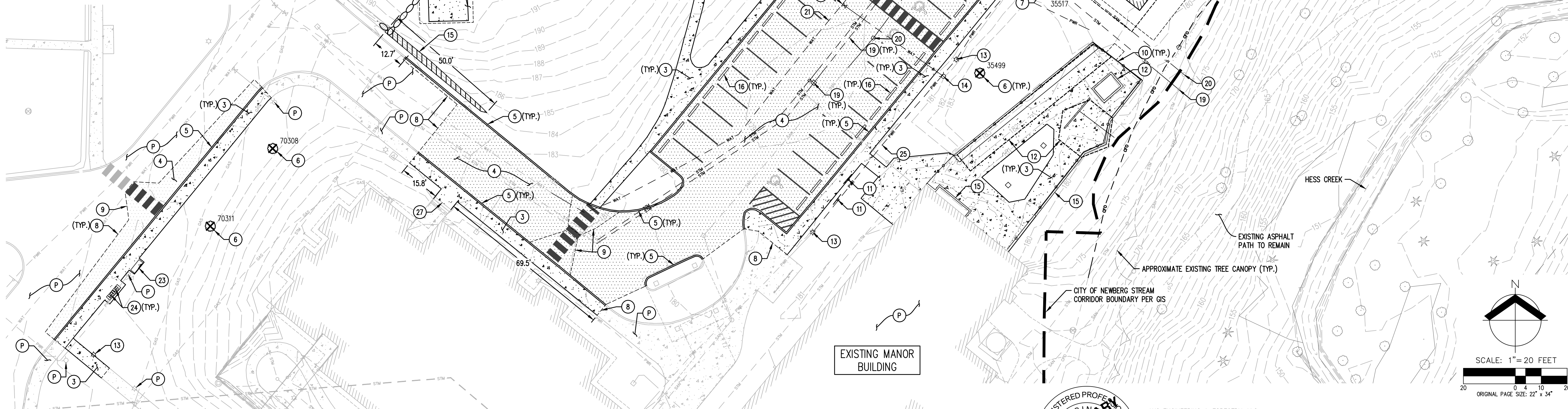
- NOTES:
1. BLAZE ORANGE PLASTIC MESH FENCE FOR TREE PROTECTION DEVICE OR APPROVED EQUAL
 2. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
 3. DEVICE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION / CONSTRUCTION FENCE

LEGEND

- EXISTING GROUND CONTOUR (1 FT) ——— 184 ———
EXISTING GROUND CONTOUR (5 FT) ——— 185 ———
SAWCUT ———
TREE PROTECTION FENCE ———

EXISTING TREE TO REMAIN (circle with star)
EXISTING TREE TO BE REMOVED (circle with X)
EXISTING ASPHALT TO BE REMOVED (stippled pattern)
EXISTING CONCRETE TO BE REMOVED (dotted pattern)



1200C EROSION AND SEDIMENT CONTROL PLAN



1200C EROSION AND SEDIMENT CONTROL PLANS


 219081 | C050 – EROSION & SEDIMENT CONTROL COVER SHEET
 

FRIENDSVIEW RETIREMENT COMMUNITY
CONTACT: TIM TOWERS
1301 FULTON STREET
NEWBERG, OREGON 97132

AKS ENGINEERING & FORESTRY, LLC.
CONTACT: CHUCK GREGORY, PE | ASSOCIATE
12965 SW HERMAN ROAD, SUITE 100
TUALATIN, OREGON 97062
PH: (503) 563-6151
EMAIL: CHUCKG@AKS-ENG.COM

LOCATED ON THE NORTH SIDE OF FULTON
STREET AND SOUTH OF THE SOUTHERN PACIFIC
RAILROAD IN NEWBERG, OREGON 97132.
LAT: 45.3078278 N
LONG: 122.9657028 W

TAX LOT 200 (WASHINGTON COUNTY
ASSESSOR'S MAP 3217CB) LOCATED IN THE
SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 2
WEST, RANGE 3 WEST, WILLAMETTE MERIDIAN,
WASHINGTON COUNTY, OREGON.

EXISTING SITE CONDITIONS

- * THE EXISTING SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS OWNED BY FRIENDSVIEW RETIREMENT COMMUNITY

DEVELOPED CONDITIONS

- * SENIOR CARE FACILITY WITH ASSOCIATED PARKING IMPROVEMENTS
UNDERGROUND UTILITIES, AND STORMWATER FACILITIES

NATURE OF CONSTRUCTION ACTIVITY AND TIMETABLE FOR MAJOR ACTIVITIES

- * CLEARING (-----)
- * GRADING [EXCAVATION AND FILL] (-----)
- * INSTALLATION OF UTILITIES (-----)
- * FINAL STABILIZATION (-----)

TOTAL SITE AREA = 16.4 ACRES

TOTAL DISTURBED AREA = ±88,200 SF = ±2.0 ACRES

SITE SOIL CLASSIFICATION:

2300A - ALOHA SILT LOAM: (HYDROLOGIC SOIL GROUP "C"/"D")
2310C - WOODBURN SILT LOAM: (HYDROLOGIC SOIL GROUP "C")
2310F - WOODBURN SILT LOAM: (HYDROLOGIC SOIL GROUP "C")

RECEIVING WATER BODIES:

HESS CREEK

PERMITTEE'S SITE INSPECTOR: TRAVIS DAVENPORT

COMPANY/AGENCY: AKS ENGINEERING & FORESTRY
PHONE: (503) 563-6151
E-MAIL: DAVENPORT@AKS-ENG.COM
CESCL#: CPESC #2019-20
DESCRIPTION OF EXPERIENCE:
THREE YEARS INSPECTING EROSION AND SEDIMENT CONTROLS

RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEC'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.



1. HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (SCHEDULE A.8.C.(3))

1. HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (SCHEDULE A.8.C.I.(3))
2. ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS. (SCHEDULE A.12.B AND SCHEDULE B.1)
3. INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SCHEDULE B.1.C AND B.2)
4. RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, THE ABOVE RECORDS MUST BE RETAINED BY THE PERMIT REGISTRANT BUT DO NOT NEED TO BE AT THE CONSTRUCTION SITE. (SCHEDULE B.2.C)
5. PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A.8.A)
6. THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. UPDATE THE ESCP AS NEEDED TO REPRESENT ACTUAL BMPs BEING USED ONSITE. (SCHEDULE A.12.C.I)
7. SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SCHEDULE A.12.C.IV. AND V)
8. PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.7.A.III)
9. IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY, MARK, AND PROTECT VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.I.(1) AND (2))
10. PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.A.V)
11. MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THE STATE. (SCHEDULE A.7.B.I. AND 2(A).B)
12. INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SCHEDULE A.8.C.I.(5))
13. CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SCHEDULE A.7.C)
14. CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. (SCHEDULE A.7.D.I)
15. ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.I.(6))
16. APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATION MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR UTILITY POLE PADS. (SCHEDULE A.8.C.II.(3))
17. ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.I.(7))
18. PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPs SUCH AS: CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPs MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A.7.D.II AND A.8.C.I.(4))
19. WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II.(5))
20. CONTROL PROHIBITED DISCHARGES FROM LEAKING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT, WASTEWATER FROM CLEANOUT OF STUCCO, PAINT, FUELS, OILS (SOAP AND SOLVENTS), AND CURING COMPOUNDS. (SCHEDULE A.6)
21. USE BMPs TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBICIDES, PAINTS, SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.I.(2))
22. IMPLEMENT THE FOLLOWING BMPs WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (SCHEDULE A.7.E.III.)
23. USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A.7.A.IV)
24. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.II)
25. IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
26. TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A.7.A.I)
27. AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A.7.E.II.(2))
28. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND BARE GROUND ACTIVITIES DURING WET WEATHER. (SCHEDULE A.7.A.I)
29. SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
30. OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT BEFORE BMP REMOVAL. (SCHEDULE A.9.C.II)
31. CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III & IV)
32. WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
33. THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
34. THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
35. PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
36. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. (SCHEDULE A.8.C.II.(1) AND D.3.C.II, III, AND IV)



RENEWS: JUNE 30, 2021

1200C PERMIT NUMBER:

BMP MATRIX FOR CONSTRUCTION PHASES					
REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S					
CONTRACTOR TO NOTIFY LISTED ENGINEER AND INSPECTOR PRIOR TO INSTALLING ESC MEASURES					
	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET AND SITE CONSTRUCTION	FINAL STABILIZATION
EROSION PREVENTION					
PRESERVE NATURAL VEGETATION	x	x	x	x	x
GROUND COVER		x	x	x	x
HYDRAULIC APPLICATIONS					
PLASTIC SHEETING	x	x	x	x	
MATTING					
STRAW/MULCH COVER		x	x	x	x
ROCK OVER					
DUST CONTROL	x	x	x	x	
TEMPORARY/PERMANENT SEEDING		x	x	x	x
BUFFER ZONE					
OTHER:					
SEDIMENT CONTROL					
SEDIMENT FENCE (PERIMETER)	x	x	x	x	
SEDIMENT FENCE (INTERIOR)					
STRAW WATTLES	x	x	x	x	
FILTER BERM					
INLET PROTECTION	x	x	x	x	x
DEWATERING					
SEDIMENT TRAP					
NATURAL BUFFER ENCROACHMENT					
COMPOST SOCK/ BERM					
RUN OFF CONTROL					
CONSTRUCTION ENTRANCE	x	x	x	x	
PIPE SLOPE DRAIN					
OUTLET PROTECTION					
SURFACE ROUGHENING					
CHECK DAMS					
OTHER:					
POLLUTION PREVENTION					
PROPER SIGNAGE	x	x	x	x	x
HAZARDOUS WASTE MANAGEMENT	x	x	x	x	x
SPILL KIT ON-SITE	x	x	x	x	x
CONCRETE WASHOUT AREA		x	x	x	
OTHER:					

* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE

** SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

NOTE: THE PERMITEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

AKS ENGINEERING AND FORESTRY, LLC SHALL BE RETAINED TO PERFORM EROSION CONTROL INSPECTION SERVICES OR THE OWNER MUST TRANSFER THE 1200C PERMIT INSPECTION DESIGNATION WITH OREGON DEQ PRIOR TO BEGINNING CONSTRUCTION.

INSPECTION FREQUENCY:

SITE CONDITION		MINIMUM FREQUENCY
1.	ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOW MELT, IS OCCURRING. AT LEAST ONCE EVERY FOURTEEN (14), REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
2.	PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3.	INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4.	PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.
5.	PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS.	MONTHLY, RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS BUT NOT MORE THAN TEN BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.



Know what's **below**.
Call before you dig.

AKS ENGINEERING & FORESTRY, LLC
12965 SW HERMAN RD, STE 100
TUALATIN, OR 97062
503.563.6151
WWW.AKS-ENG.COM



Friendsview

RETIREMENT COMMUNITY

ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

KEYED EROSION CONTROL NOTES:

1. INSTALL INLET PROTECTION PER CITY OF NEWBERG DETAIL 605
2. INSTALL ORANGE SEDIMENT FENCE PER CITY OF NEWBERG DETAIL 602. SEDIMENT FENCE SHALL SERVE AS TREE PROTECTION FENCING.
3. INSTALL STRAW WATTLE PER CITY OF NEWBERG DETAIL 611
4. LOCATION OF TREE PROTECTION FENCE DURING DEMOLITION. TREE PROTECTION FENCE TO BE ADJUSTED TO THE LOCATION SHOWN ON THE PLANS FOLLOWING DEMOLITION OF SIDEWALK, STRUCTURES, ETC.
5. CONSTRUCT GRAVEL CONSTRUCTION ENTRANCE PER CITY OF NEWBERG DETAIL 601
- 5A. USE EXISTING ASPHALT ENTRANCE AS CONSTRUCTION ENTRANCE. IF TRACKING BECOMES AN ISSUE THEN CONTRACTOR TO USE ADDITIONAL BMP MEASURES. CONTRACTOR TO RESTORE PAVEMENT AND CURBING TO EQUAL OR BETTER CONDITION. CONTRACTOR TO ENSURE ACCESS IS NOT INTERRUPTED THROUGHOUT CONSTRUCTION.

NOTES:

1. SITE PREPARATION MUST INCLUDE THE REMOVAL OF VEGETATION, NON-COMPLYING FILL, TOPSOIL, OR OTHER UNSUITABLE MATERIAL PRIOR TO PLACEMENT OF FILL.
2. THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.
3. CONTRACTOR TO POTHOLE AND VERIFY ALL UTILITY TIE-IN ELEVATIONS PRIOR TO ORDERING STRUCTURES, PIPES AND ALL MATERIALS.
4. PROTECT ALL EXISTING IMPROVEMENTS OUTSIDE THE LIMITS OF DISTURBED AREA SHOWN. ANY DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
3. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
5. RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

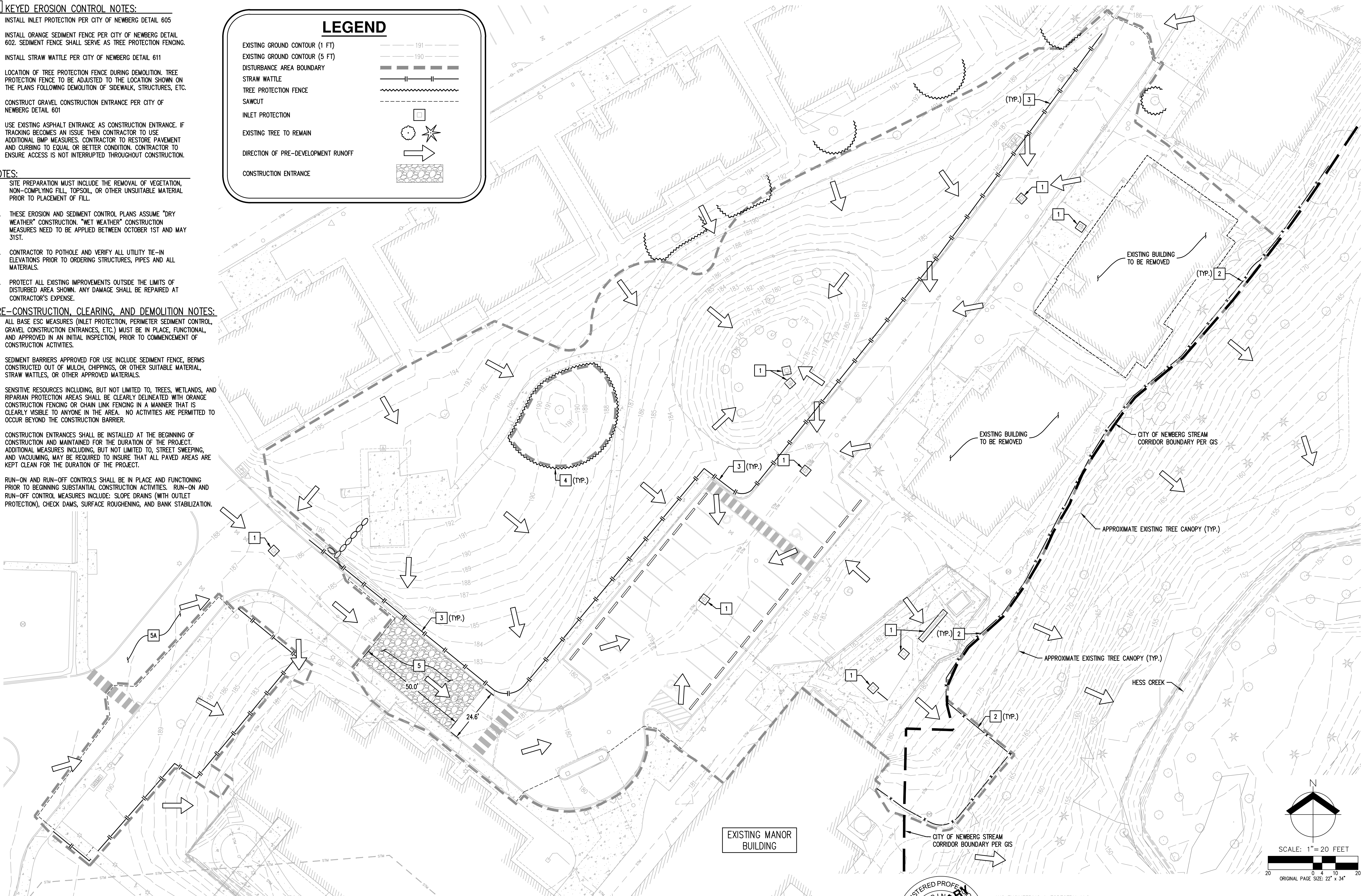
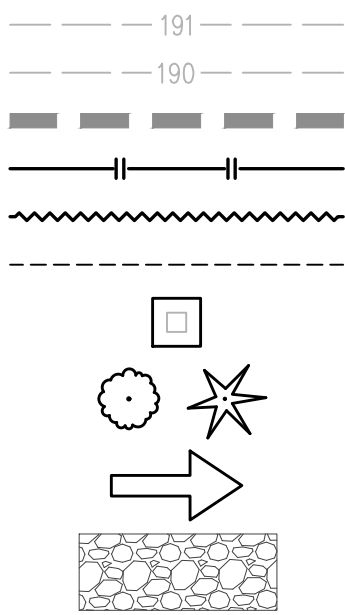
LEGEND

EXISTING GROUND CONTOUR (1 FT)
EXISTING GROUND CONTOUR (5 FT)
DISTURBANCE AREA BOUNDARY
STRAW WATTLE
TREE PROTECTION FENCE
SAWCUT
INLET PROTECTION

EXISTING TREE TO REMAIN

DIRECTION OF PRE-DEVELOPMENT RUNOFF

CONSTRUCTION ENTRANCE



GRADING, BUILDING/SITE AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
 - DWARF GRASS MIX (MIN. 100 LB./AC.)
 - DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
 - CREeping RED FESCUE (20% BY WEIGHT)
 - STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
 - ANNUAL RYEGRASS (40% BY WEIGHT)
 - TURF-TYPE FESCUE (60% BY WEIGHT)
- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR
- MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORMWATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORMWATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORMWATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORMWATER SYSTEM.
- PROJECT SITE AND DISTURBED AREAS TO BE PROPERLY MAINTAINED TO MINIMIZE DUST GENERATION.

LEGEND

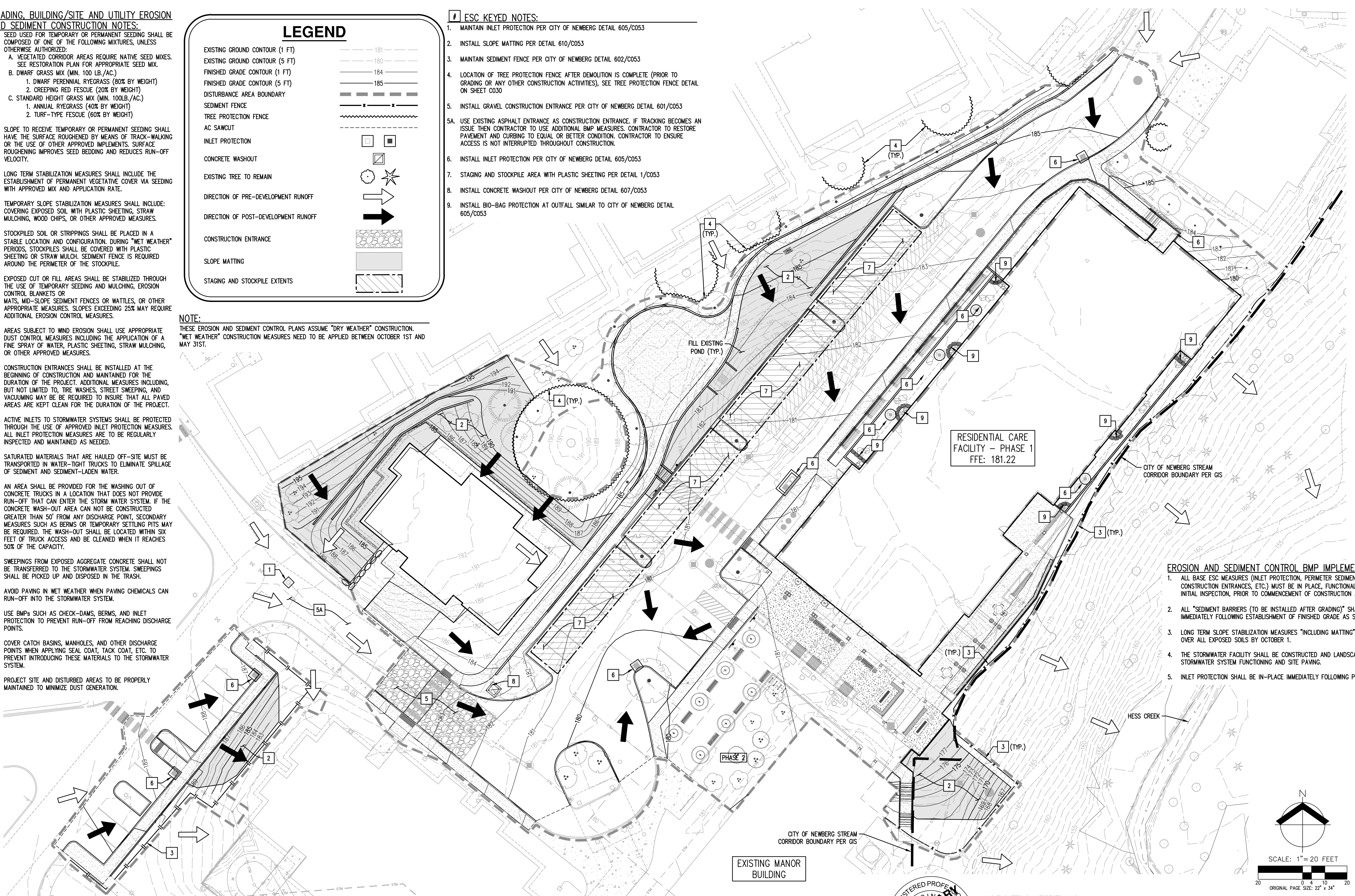
EXISTING GROUND CONTOUR (1 FT)	
EXISTING GROUND CONTOUR (5 FT)	
FINISHED GRADE CONTOUR (1 FT)	
FINISHED GRADE CONTOUR (5 FT)	
DISTURBANCE AREA BOUNDARY	
SEDIMENT FENCE	
TREE PROTECTION FENCE	
AC SAWCUT	
INLET PROTECTION	
CONCRETE WASHOUT	
EXISTING TREE TO REMAIN	
DIRECTION OF PRE-DEVELOPMENT RUNOFF	
DIRECTION OF POST-DEVELOPMENT RUNOFF	
CONSTRUCTION ENTRANCE	
SLOPE MATTING	
STAGING AND STOCKPILE EXTENTS	

NOTE:

THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

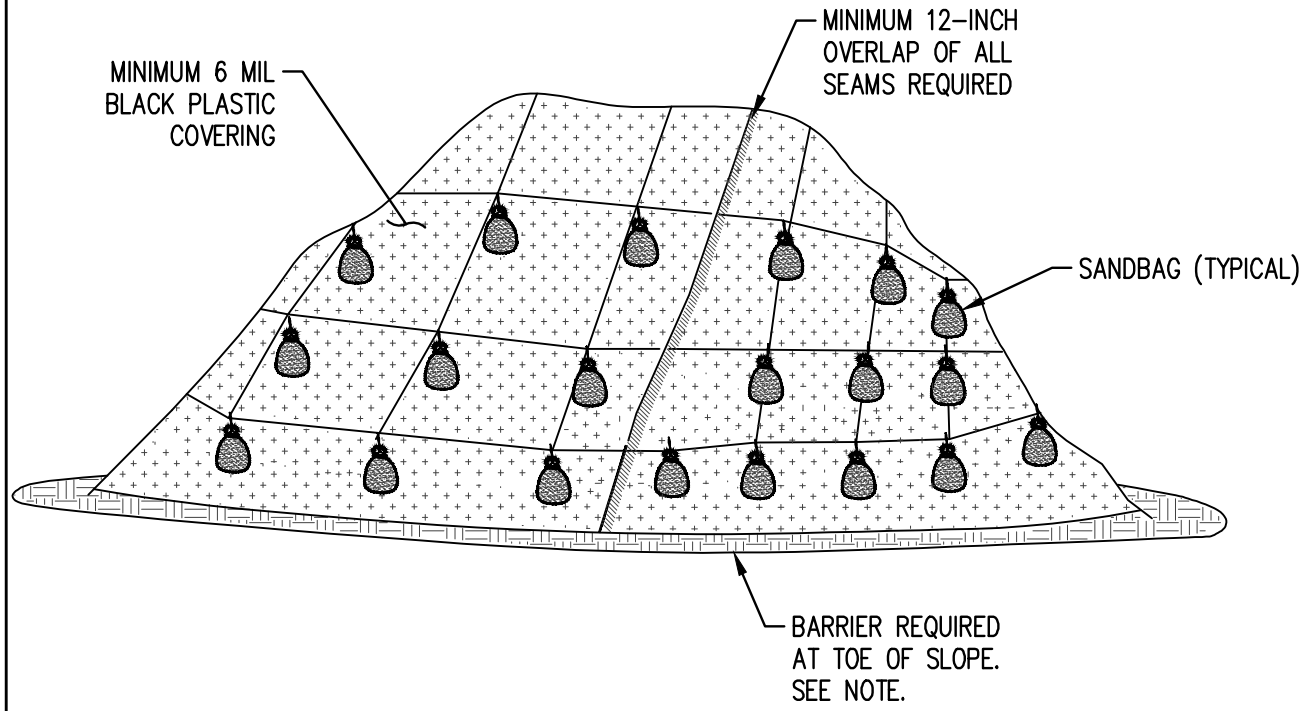
ESC KEYED NOTES:

- MAINTAIN INLET PROTECTION PER CITY OF NEWBERG DETAIL 605/C053
- INSTALL SLOPE MATTING PER DETAIL 610/C053
- MAINTAIN SEDIMENT FENCE PER CITY OF NEWBERG DETAIL 602/C053
- LOCATION OF TREE PROTECTION FENCE AFTER DEMOLITION IS COMPLETE (PRIOR TO GRADING OR ANY OTHER CONSTRUCTION ACTIVITIES), SEE TREE PROTECTION FENCE DETAIL ON SHEET C030
- INSTALL GRAVEL CONSTRUCTION ENTRANCE PER CITY OF NEWBERG DETAIL 601/C053
- USE EXISTING ASPHALT ENTRANCE AS CONSTRUCTION ENTRANCE. IF TRACKING BECOMES AN ISSUE THEN CONTRACTOR TO USE ADDITIONAL BMP MEASURES. CONTRACTOR TO RESTORE PAVEMENT AND CURBING TO EQUAL OR BETTER CONDITION. CONTRACTOR TO ENSURE ACCESS IS NOT INTERRUPTED THROUGHOUT CONSTRUCTION.
- INSTALL INLET PROTECTION PER CITY OF NEWBERG DETAIL 605/C053
- STAGING AND STOCKPILE AREA WITH PLASTIC SHEETING PER DETAIL 1/C053
- INSTALL CONCRETE WASHOUT PER CITY OF NEWBERG DETAIL 607/C053
- INSTALL BIO-BAG PROTECTION AT OUTFALL SIMILAR TO CITY OF NEWBERG DETAIL 605/C053



EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION

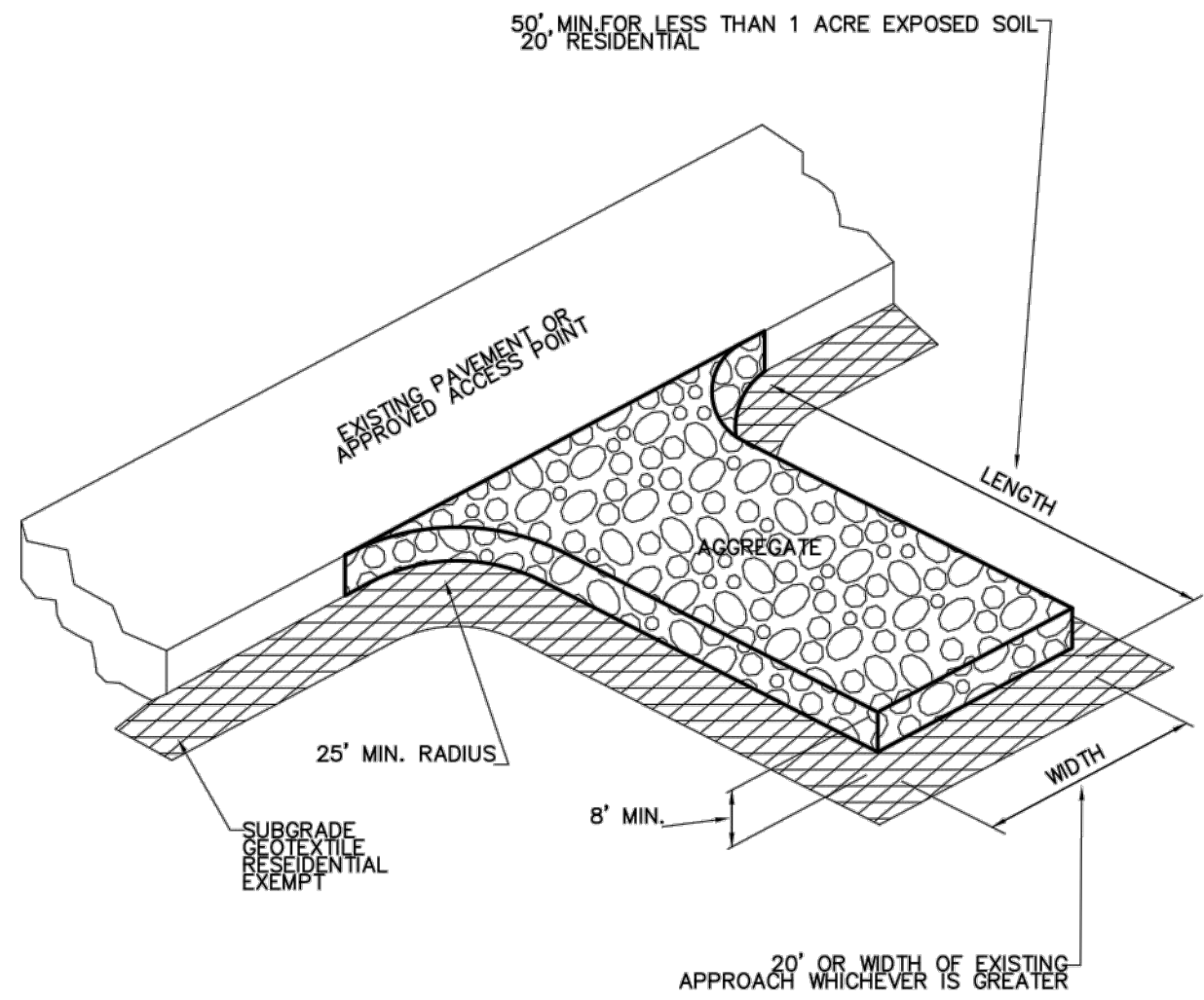
- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- THE STORMWATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORMWATER SYSTEM FUNCTIONING AND SITE PAVING.
- INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.



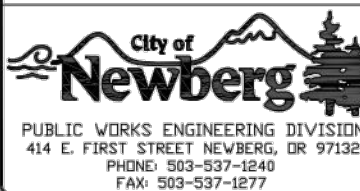
- NOTES:
- COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
 - BARRIER SHALL CONSIST OF SOIL BERM, SILT FENCE, STRAW WATTLE, GRASS LINED DITCH, SANDBAGS, OR OTHER APPROVED MATERIAL.
 - STOCKPILE(S) MUST BE LOCATED IN AREAS THAT WILL NOT IMPOUND OR BLOCK STORMWATER RUNOFF.
 - ALL SEAMS SHALL BE TAPED OR WEIGHTED DOWN FOR FULL LENGTH.
 - PLASTIC SHEETING REQUIRED FOR ALL TEMPORARY STOCKPILED MATERIAL.

PLASTIC SHEETING
NTS

1



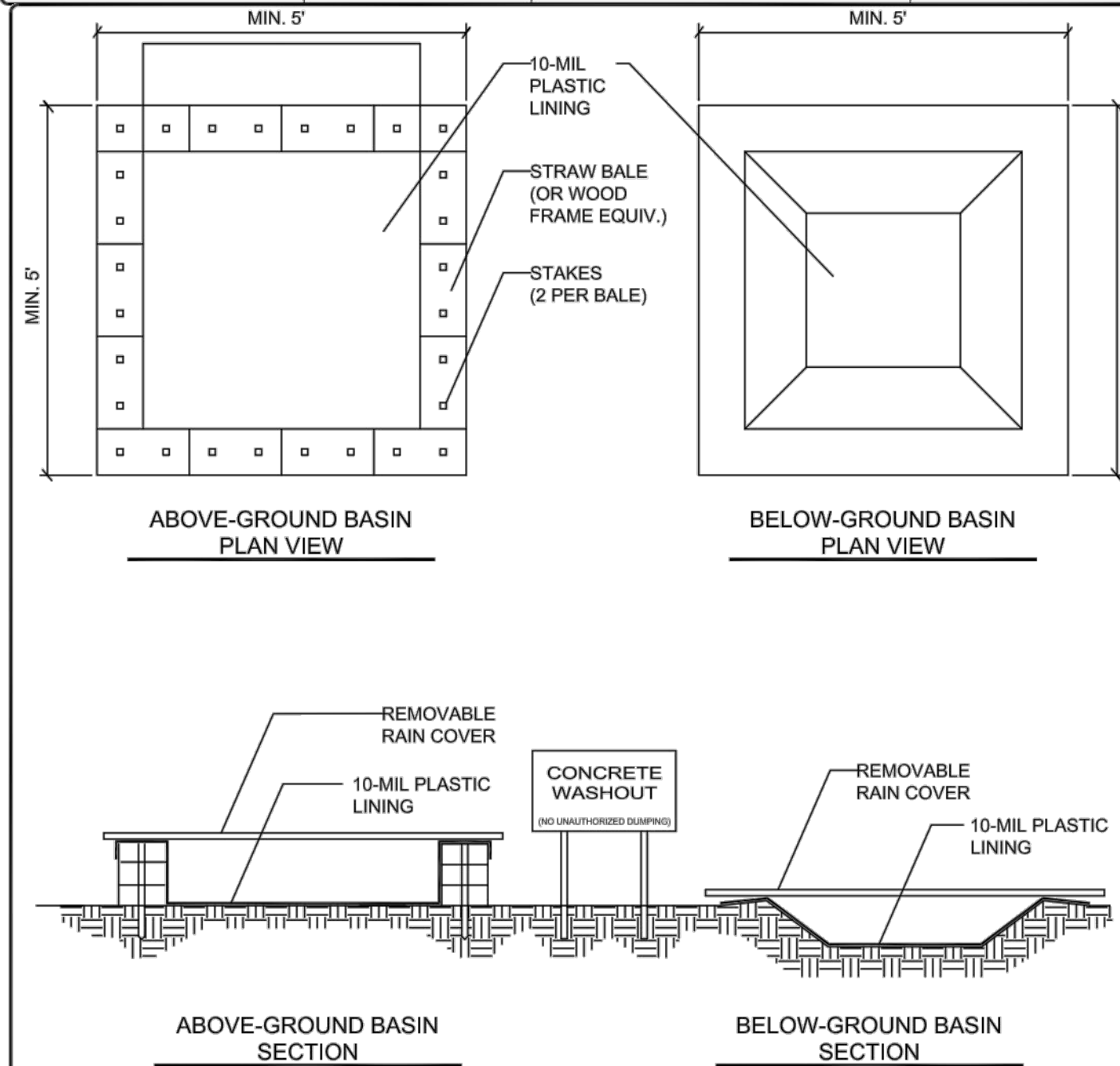
- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - WHERE RUNOFF CONTAINING SEDIMENT-LOADED WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
 - DIMENSIONS**
SINGLE FAMILY AND DUPLEX
20' LONG BY 20' WIDE, 8" DEEP OF 3/4" MINUS CLEAN ROCK.
COMMERCIAL
50' LONG BY 20' WIDE, 3-6" DEEP CLEAN ROCK.
GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.



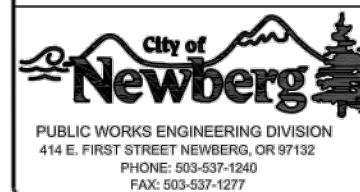
REVISIONS:

CONSTRUCTION
ENTRANCE

SCALE: N.T.S.
DATE: May 2007
APPROVED BY: D. Danicic
STANDARD DRAWING 601



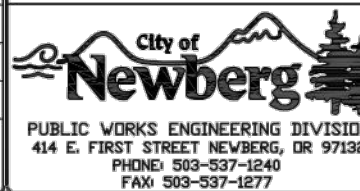
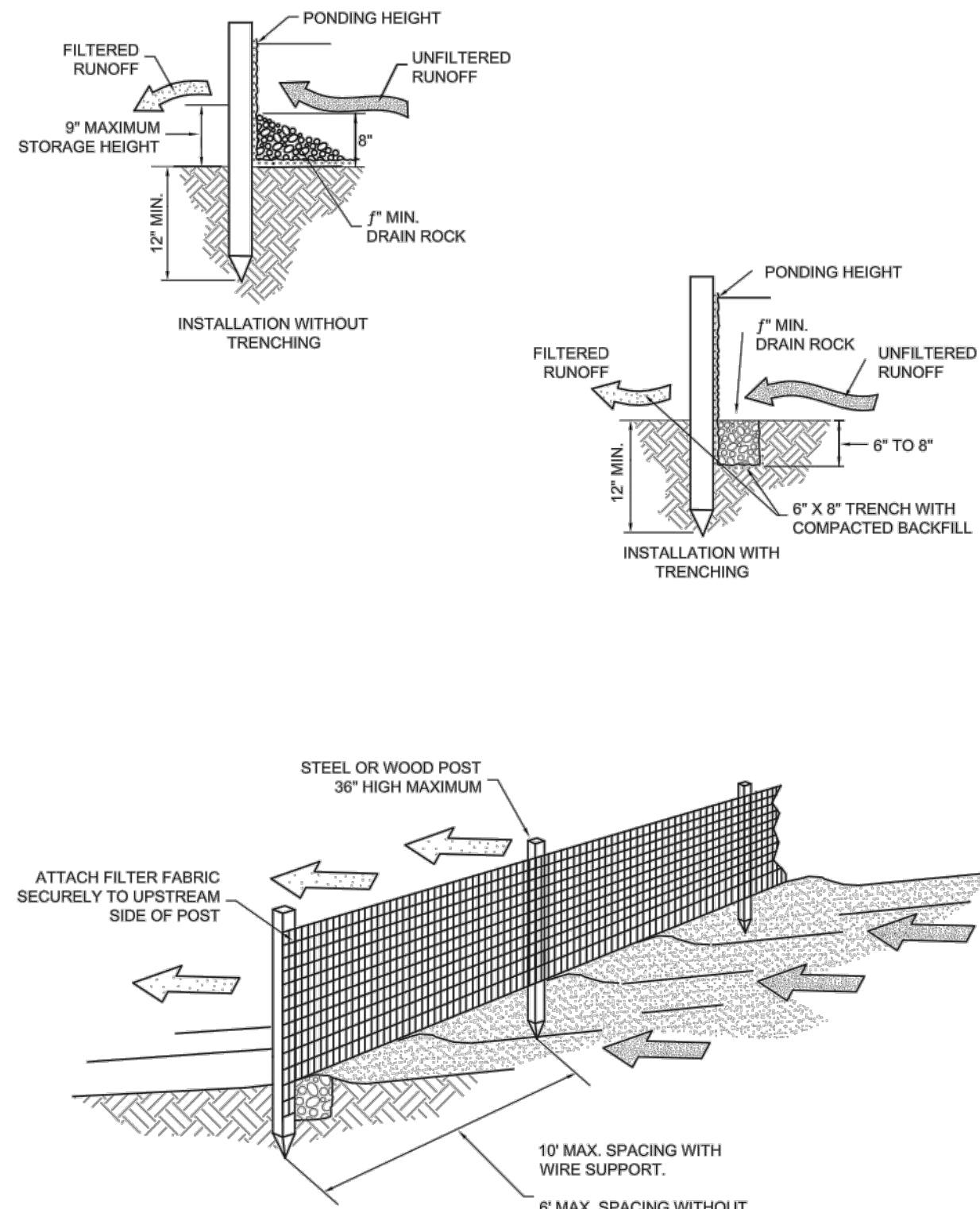
- NOTES:
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - "CONCRETE WASHOUT" SIGN TO BE LOCATED ADJACENT TO WASHOUT FACILITY.
 - REMOVABLE RAIN COVER REQUIRED DURING WET WEATHER SEASON.



REVISIONS:
NA

CONCRETE WASTE
MANAGEMENT

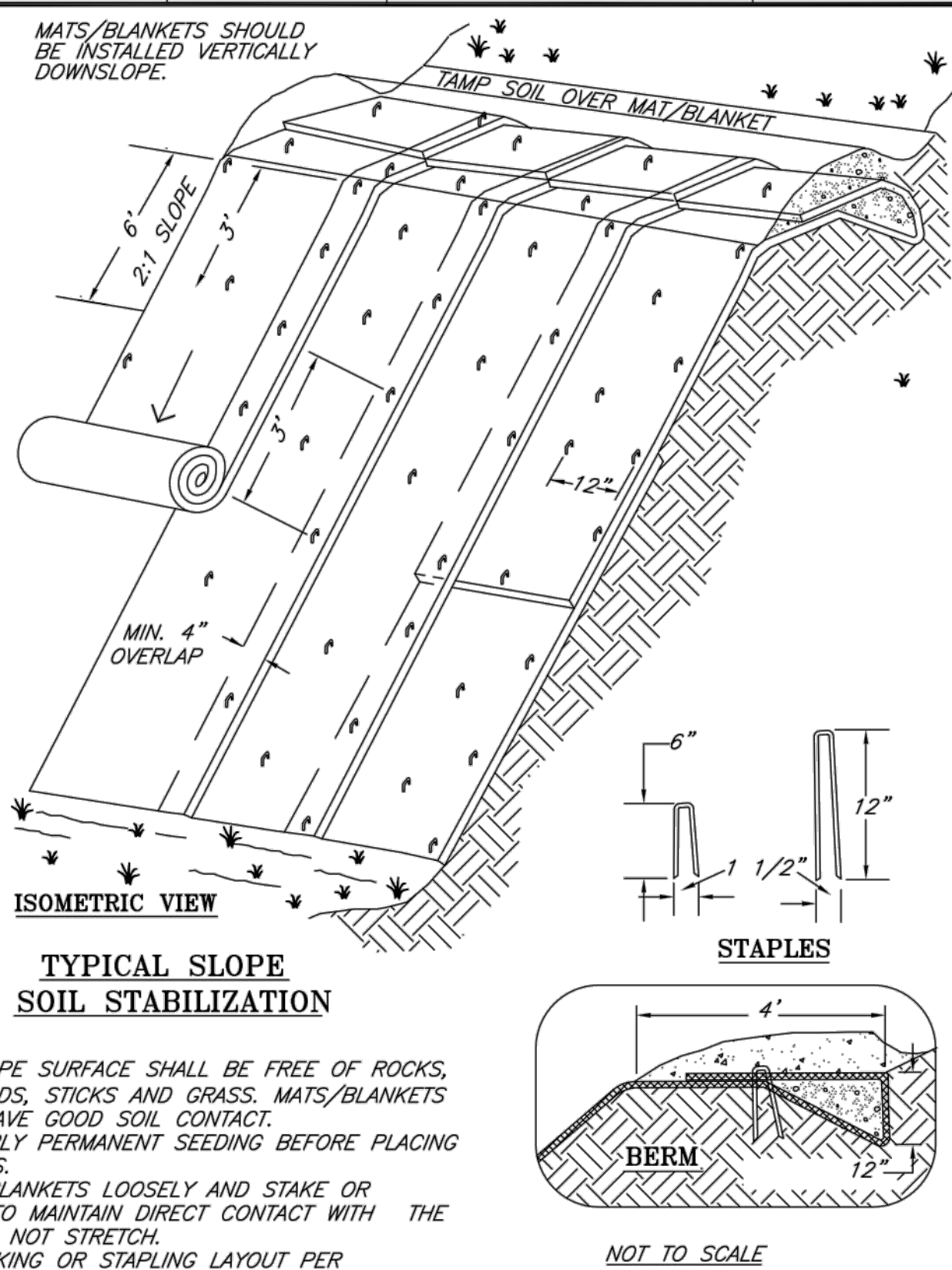
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DATE: 01/10/2014
APPROVED BY: [Signature]
STANDARD DRAWING 607



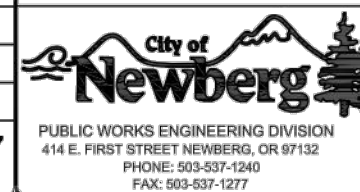
REVISIONS:

SILT FENCE

SCALE: N.T.S.
DATE: MAY 2007
APPROVED BY: D. DANICIC
STANDARD DRAWING 602



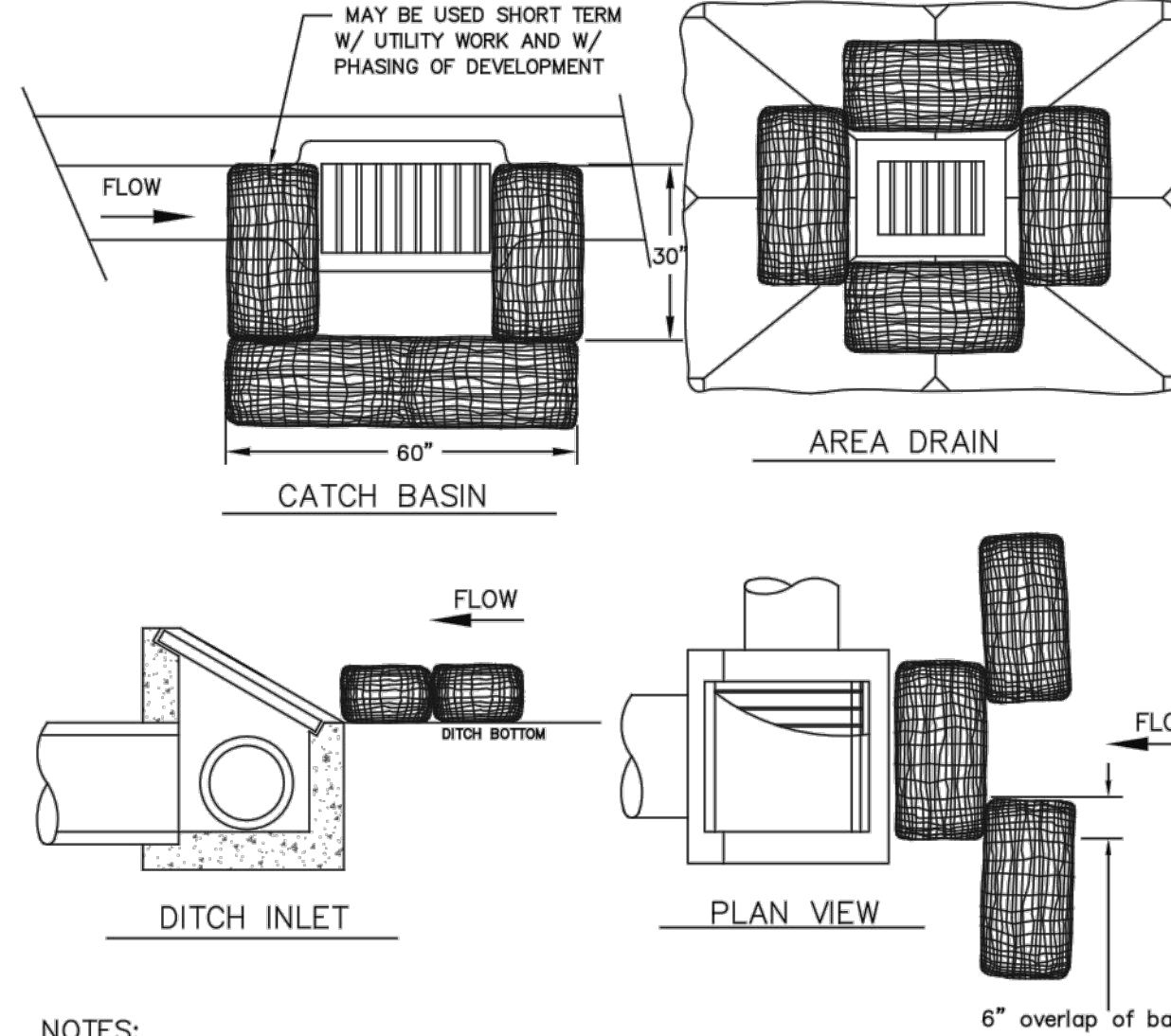
- NOTES:
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS AND GRASS. MATS/BANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY PERMANENT SEEDING BEFORE PLACING BANKETS.
 - LAY BANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 - STAKING OR STAPLING LAYOUT PER MANUFACTURER'S SPECIFICATIONS.



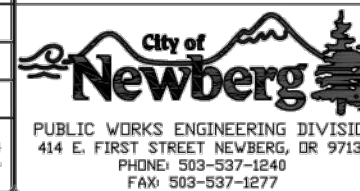
REVISIONS:
NA

MATting-
SLOPE INSTALLATION

SCALE: N.T.S.
DATE: 01/10/2014
APPROVED BY: [Signature]
STANDARD DRAWING 610



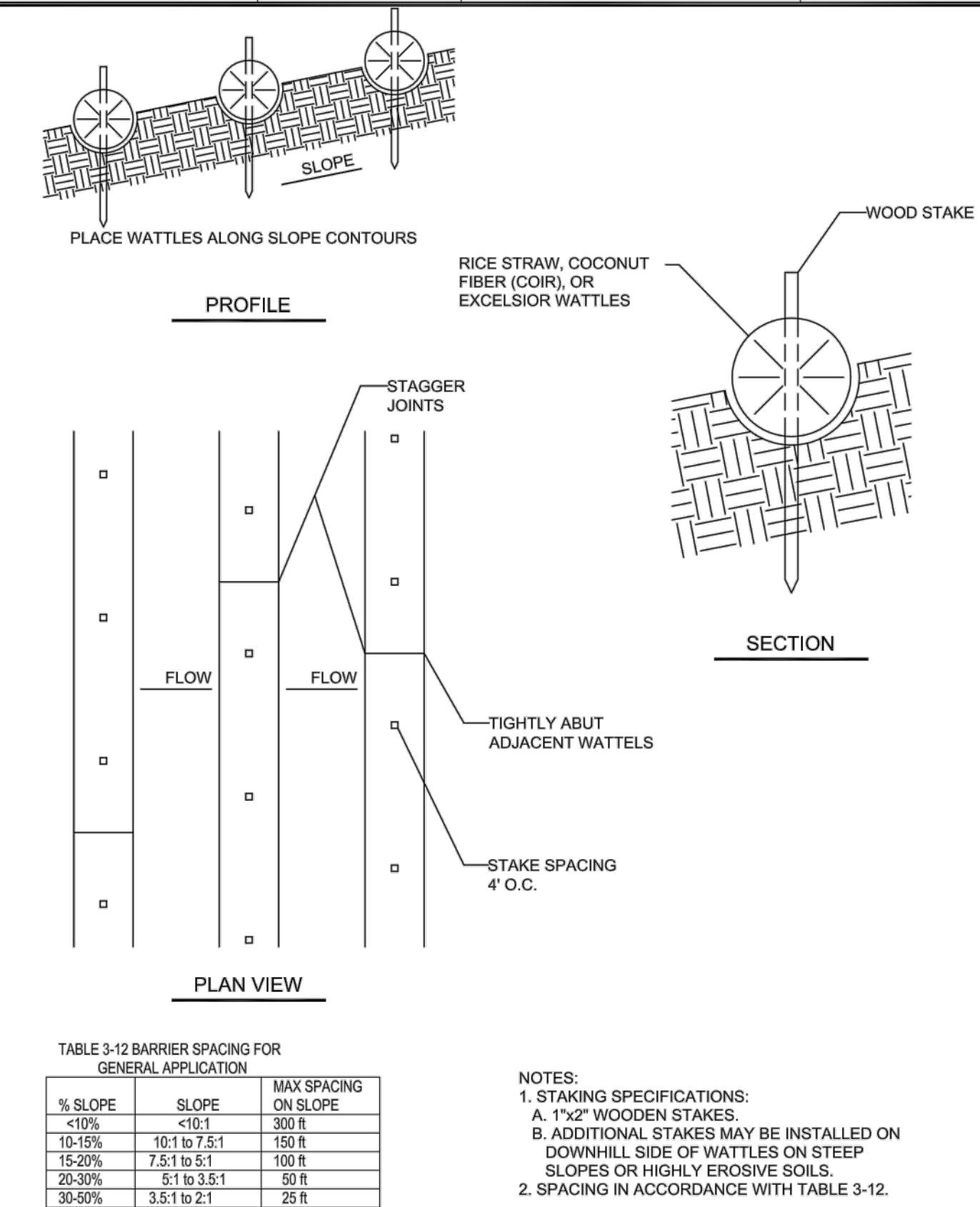
- NOTES:
- ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.
 - BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
 - WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".



REVISIONS:
12/10/2013

INLET
PROTECTION

SCALE: N.T.S.
DATE: 04/04/2009
APPROVED BY: PAUL CHIU
STANDARD DRAWING 605



- NOTES:
- STAKING SPECIFICATIONS:
A. 1"x2" WOODEN STAKES.
B. ADDITIONAL STAKES MAY BE INSTALLED ON DOWNHILL SIDE OF WATTLES ON STEEP SLOPES OR HIGHLY EROSION SOILS.
 - SPACING IN ACCORDANCE WITH TABLE 3-12.



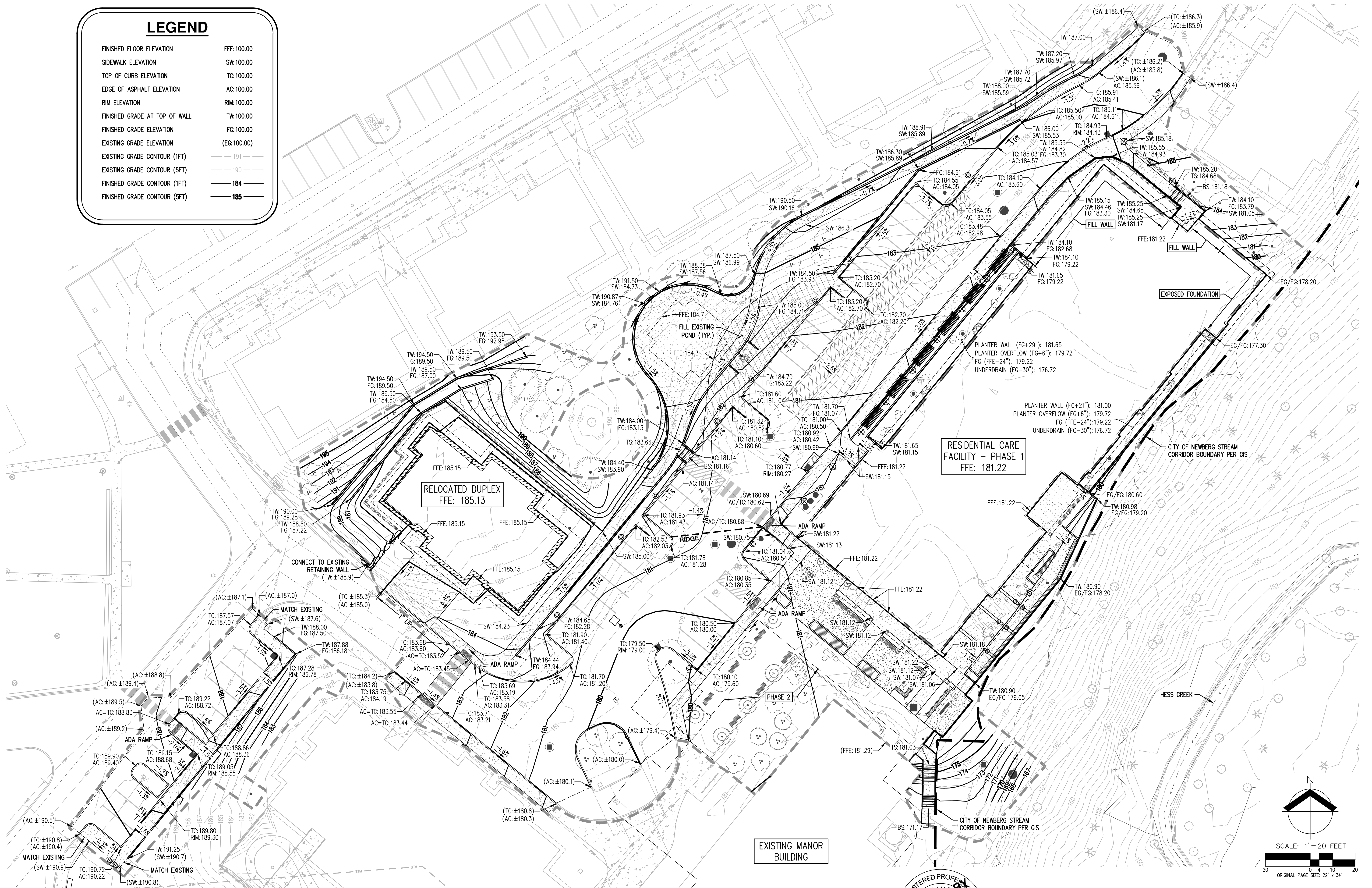
REVISIONS:
NA

WATTLES/STRAW BALE

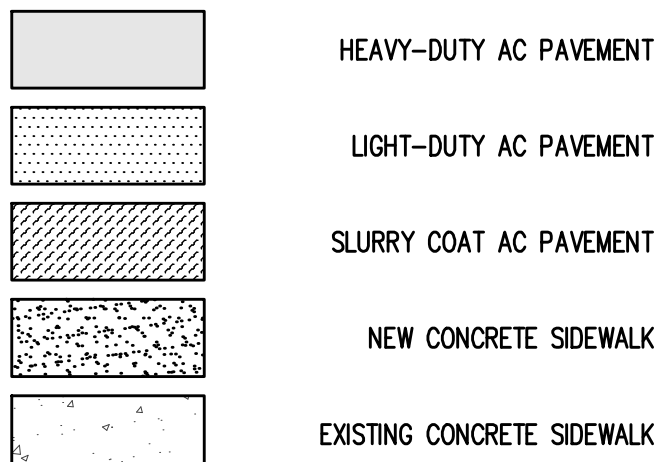
SCALE: N.T.S.
DATE: 01/10/2014
APPROVED BY: [Signature]
STANDARD DRAWING 611

LEGEND

FINISHED FLOOR ELEVATION	FFE:100.00
SIDEWALK ELEVATION	SW:100.00
TOP OF CURB ELEVATION	TC:100.00
EDGE OF ASPHALT ELEVATION	AC:100.00
RIM ELEVATION	RIM:100.00
FINISHED GRADE AT TOP OF WALL	TW:100.00
FINISHED GRADE ELEVATION	FG:100.00
EXISTING GRADE ELEVATION	(EG:100.00)
EXISTING GRADE CONTOUR (1FT)	— 191 —
EXISTING GRADE CONTOUR (5FT)	— 190 —
FINISHED GRADE CONTOUR (1FT)	— 184 —
FINISHED GRADE CONTOUR (5FT)	— 185 —

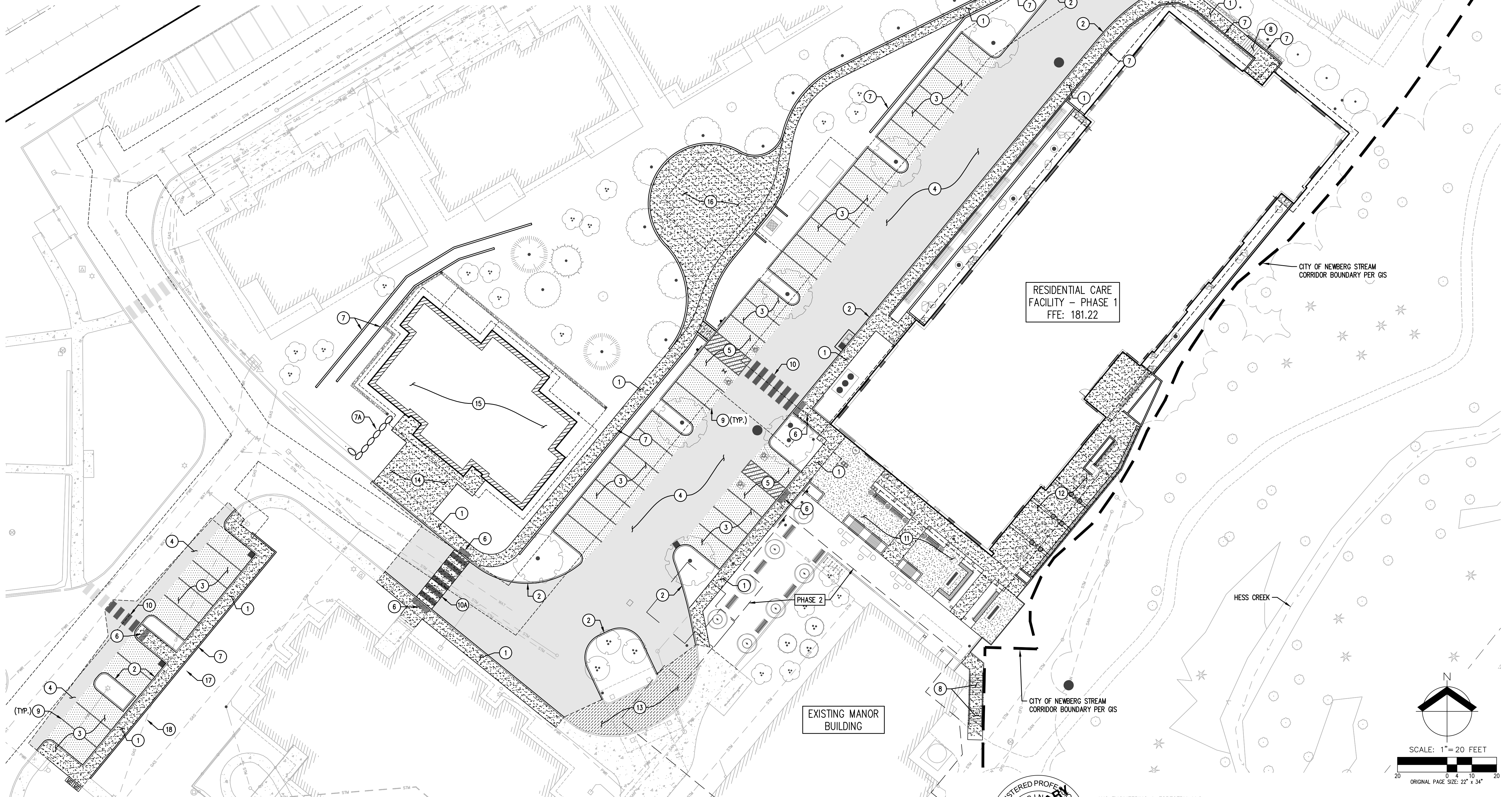


LEGEND



KEYED SITE NOTES:

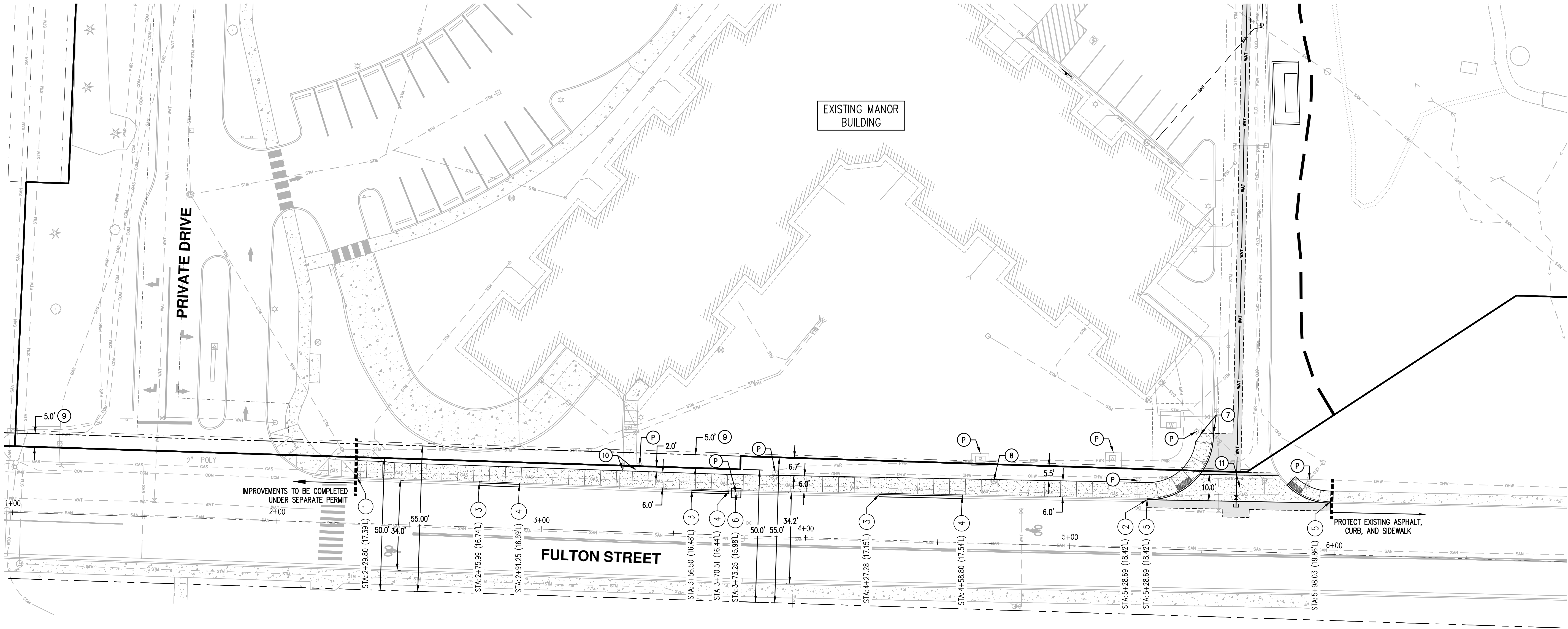
1. NEW CONCRETE SIDEWALK
2. NEW STANDARD TYPE-C CURB
3. NEW LIGHT-DUTY AC PAVEMENT
4. NEW HEAVY-DUTY AC PAVEMENT
5. NEW ADA PARKING STALL
6. NEW ADA RAMP
7. NEW RETAINING WALL
- 7A. REUSE SALVAGED BOULDER WALL
8. NEW CONCRETE STAIRS WITH HANDRAILS
9. NEW PARKING STRIPE
10. NEW CROSSWALK STRIPE
- 10A. NEW CONCRETE CROSSWALK
11. NEW LANDSCAPE PAVERS AND PLAZA AREA, SEE LANDSCAPE PLANS
12. NEW CONCRETE TERRACE
13. SLURRY COAT EXISTING AC PAVEMENT
14. NEW CONCRETE DRIVEWAY
15. RELOCATED EXISTING DUPLEX
16. NEW GAZEBO
17. RELOCATED EXISTING MAILBOXES
18. RELOCATED EXISTING BENCH



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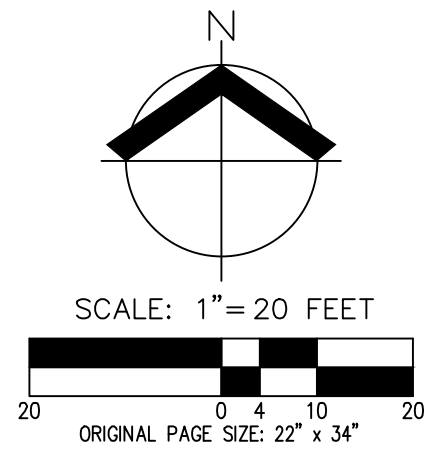


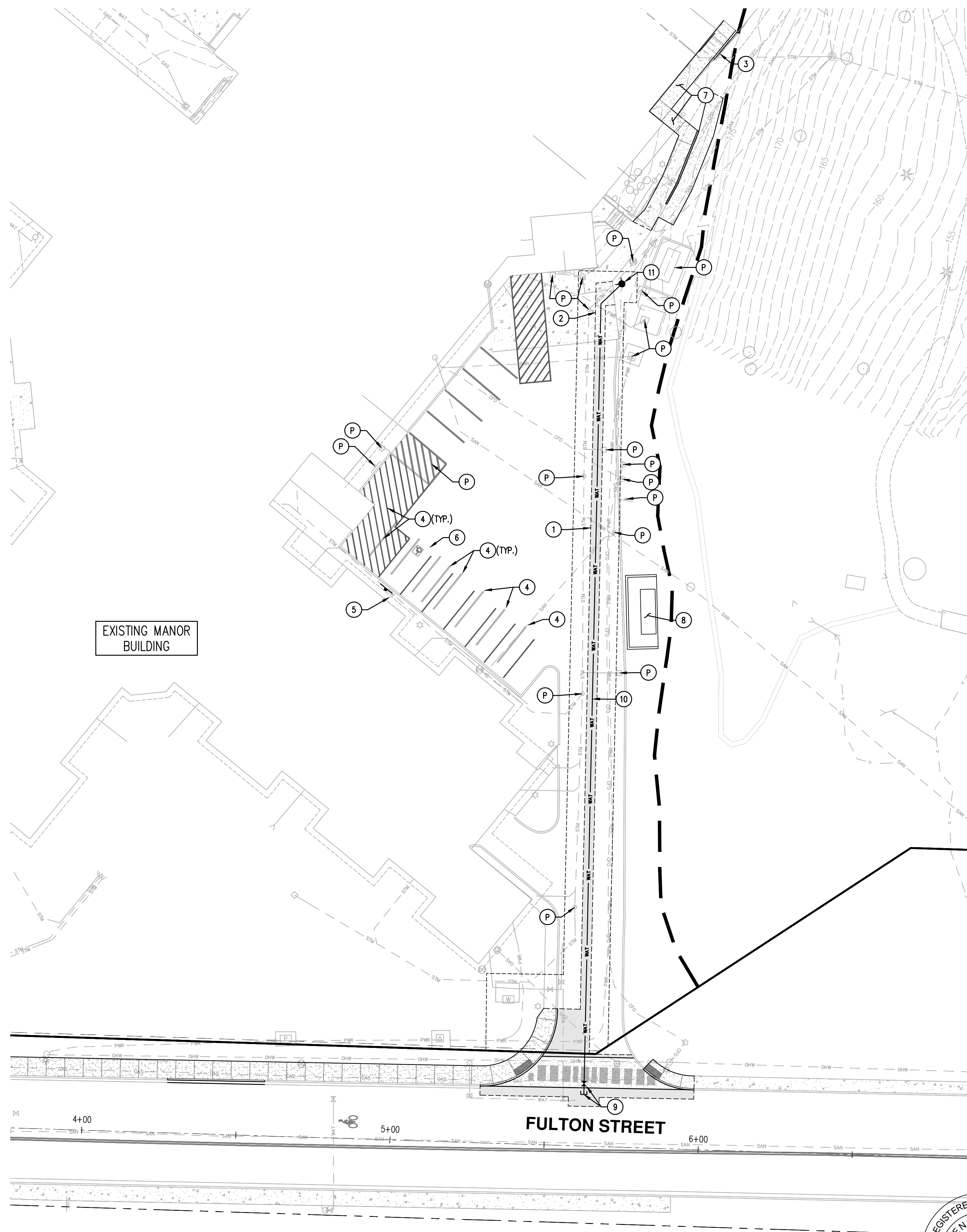
FULTON STREET KEYED NOTES:

- BEGIN SIDEWALK IMPROVEMENTS. SAWCUT AT BACK OF CURB, REMOVE SIDEWALK AND REPLACE WITH 6.0' WIDE CURB TIGHT SIDEWALK
- END SIDEWALK IMPROVEMENTS
- BEGIN CURB IMPROVEMENTS. SAWCUT AT FACE OF CURB, REMOVE EXISTING CURB DROP AND REPLACE WITH STANDARD CURB AND GUTTER
- END CURB IMPROVEMENTS
- SAWCUT 3.0' FROM FACE OF CURB, REMOVE AND REPLACE EXISTING CURB RETURN WITH NEW ADA-COMPLIANT RETURN
- INSTALL INLET PROTECTION
- END IMPROVEMENTS, TAPER SIDEWALK TO MATCH EXISTING
- RELOCATE EXISTING IRRIGATION VALVE OUTSIDE OF SIDEWALK
- 5.0' RIGHT-OF-WAY DEDICATION
- RECONNECT CONCRETE PATHWAY TO SIDEWALK
- CONSTRUCT NEW PRIVATE DRIVEWAY ENTRANCE WITH 10' WIDE CONCRETE PEDESTRIAN CROSSING
- PROTECT AT ALL TIMES DURING CONSTRUCTION, ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE

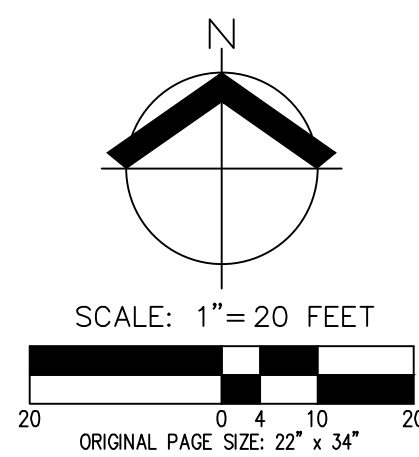
NOTE:

- PER CITY PREAPPLICATION MEETING NOTES, APPLICANT WILL BE REQUIRED TO REPAIR/REPLACE ANY SIDEWALK ALONG THE PROPERTY FRONTAGE THAT DOES NOT MEET CURRENT ADA STANDARDS.



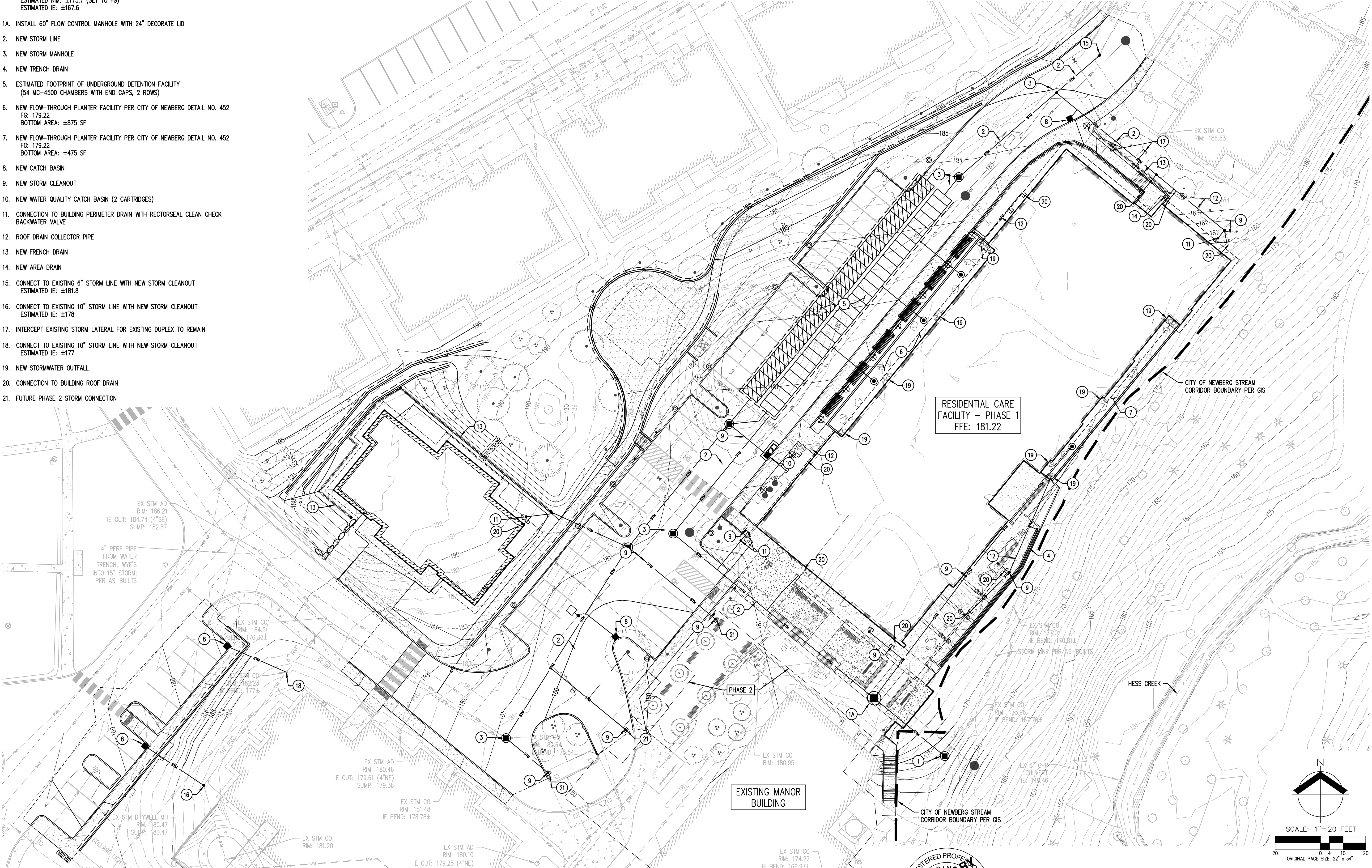


- # KEYED NOTES:
1. SAWCUT EXISTING ASPHALT FOR FIRE HYDRANT SERVICE INSTALLATION
 2. SAWCUT EXISTING CONCRETE FOR FIRE HYDRANT SERVICE INSTALLATION
 3. EXISTING STAIRS TO BE REMOVED
 4. REMOVE EXISTING PARKING STRIPING AND RESTRIPE PARKING SPOTS FOR LOADING ZONE
 5. NEW ADA PARKING SIGN
 6. NEW ADA PARKING STRIPING
 7. NEW ADA RAMP
 8. NEW POWER GENERATOR
 9. CONNECT TO EXISTING 6" WATER MAIN. CONTRACTOR TO POTHOLE AND VERIFY LOCATION OF EXISTING WATER MAIN. CONTACT ENGINEER WITH ANY DISCREPANCIES.
 10. NEW 6" DI FIRE HYDRANT SERVICE
 11. NEW FIRE HYDRANT
- (P) PROTECT AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE



KEYED STORM NOTES:

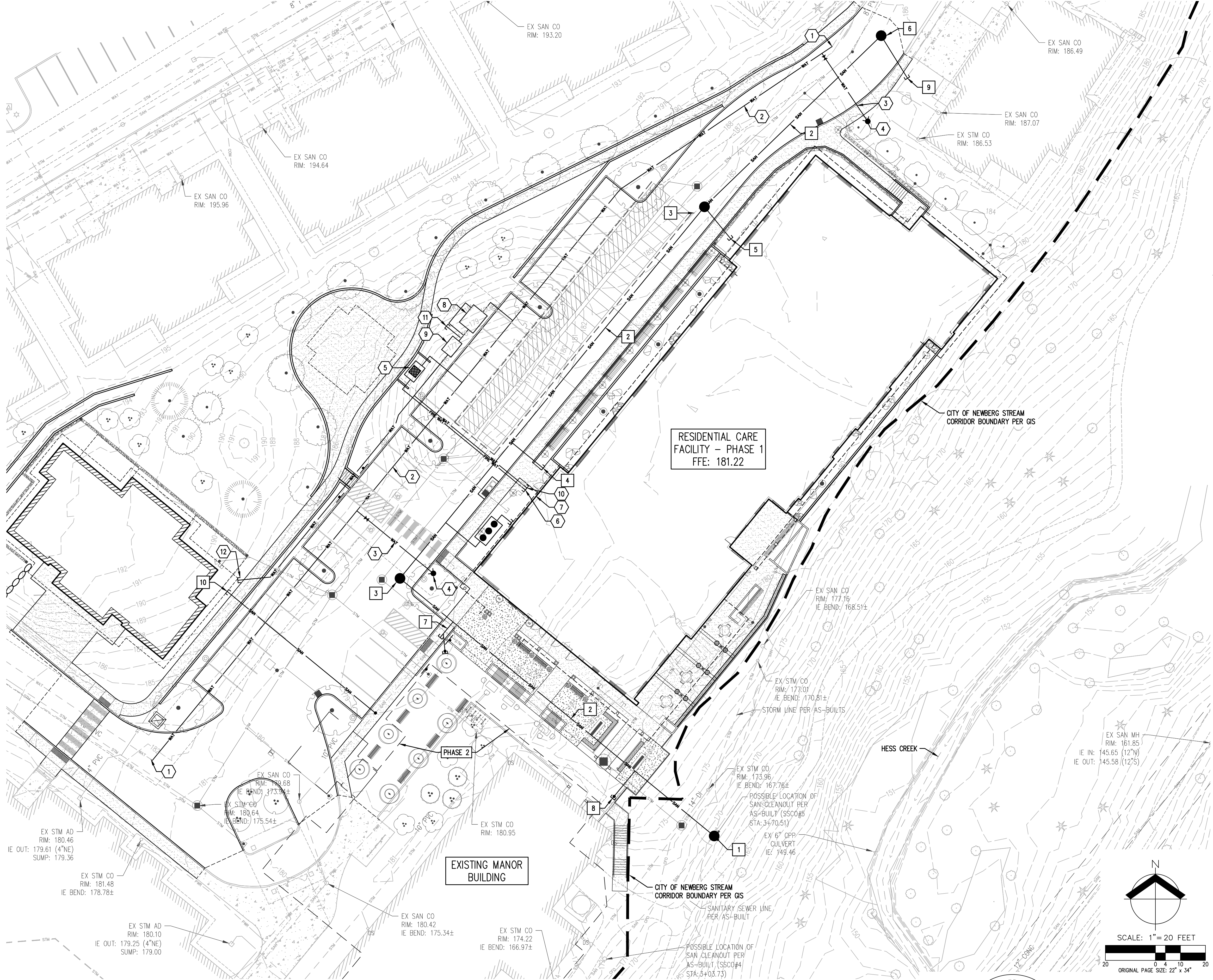
1. CONNECT TO EXISTING 14" DI STORM MAIN, INSTALL NEW STORM MANHOLE
ESTIMATED RIM: ±173.7 (SET TO FG)
ESTIMATED IE: ±167.6
- 1A. INSTALL 60" FLOW CONTROL MANHOLE WITH 24" DECORATE LID
2. NEW STORM LINE
3. NEW STORM MANHOLE
4. NEW TRENCH DRAIN
5. ESTIMATED FOOTPRINT OF UNDERGROUND DETENTION FACILITY
(54 MC-4500 CHAMBERS WITH END CAPS, 2 ROWS)
FG: 179.22
BOTTOM AREA: ±875 SF
6. NEW FLOW-THROUGH PLANTER FACILITY PER CITY OF NEWBERG DETAIL NO. 452
FG: 179.22
BOTTOM AREA: ±875 SF
7. NEW FLOW-THROUGH PLANTER FACILITY PER CITY OF NEWBERG DETAIL NO. 452
FG: 179.22
BOTTOM AREA: ±475 SF
8. NEW CATCH BASIN
9. NEW STORM CLEANOUT
10. NEW WATER QUALITY CATCH BASIN (2 CARTRIDGES)
11. CONNECTION TO BUILDING PERIMETER DRAIN WITH RECTORSEAL CLEAN CHECK
BACKWATER VALVE
12. ROOF DRAIN COLLECTOR PIPE
13. NEW FRENCH DRAIN
14. NEW AREA DRAIN
15. CONNECT TO EXISTING 6" STORM LINE WITH NEW STORM CLEANOUT
ESTIMATED IE: ±181.8
16. CONNECT TO EXISTING 10" STORM LINE WITH NEW STORM CLEANOUT
ESTIMATED IE: ±178
17. INTERCEPT EXISTING STORM LATERAL FOR EXISTING DUPLEX TO REMAIN
18. CONNECT TO EXISTING 10" STORM LINE WITH NEW STORM CLEANOUT
ESTIMATED IE: ±177
19. NEW STORMWATER OUTFALL
20. CONNECTION TO BUILDING ROOF DRAIN
21. FUTURE PHASE 2 STORM CONNECTION



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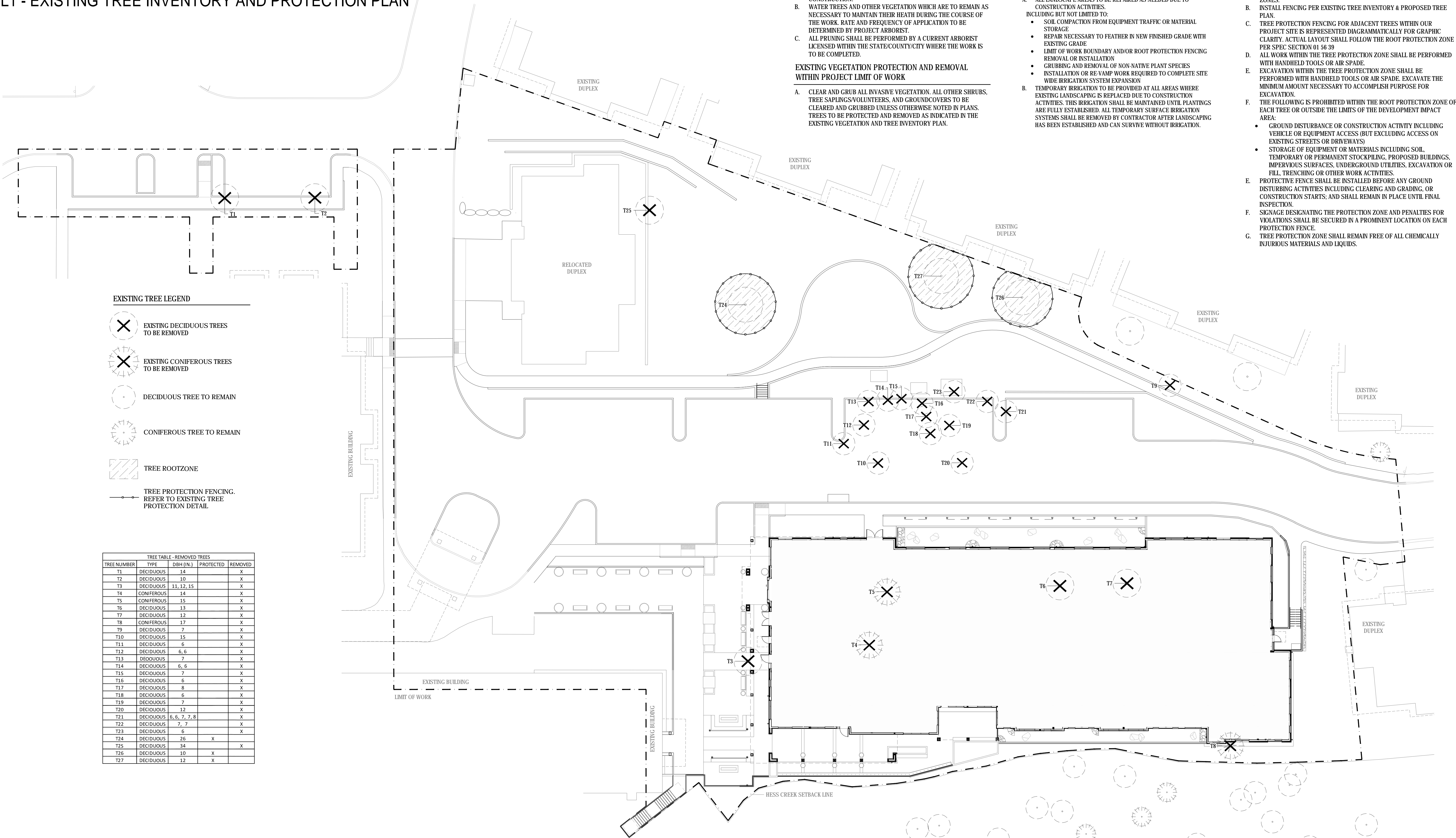




- # KEYED SANITARY NOTES:**
1. CONNECT TO EXISTING 8" PVC SANITARY MAIN PER AS-BUILT
ESTIMATED RIM: ±169.5 (SET 18" ABOVE FG)
ESTIMATED IE: ±168.1
 2. NEW SANITARY LINE
 3. NEW SANITARY MANHOLE
 4. 6" SANITARY BUILDING CONNECTION
IE (6"): ±177.2
 5. 6" SANITARY BUILDING CONNECTION
IE (6"): ±176.7
 6. CONNECT TO EXISTING SANITARY LINE WITH NEW SANITARY
MANHOLE
ESTIMATED IE: ±179.3
 7. RECONNECT EXISTING SANITARY SERVICE AND PROVIDE NEW
CONNECTION STUB FOR PHASE 2 IMPROVEMENTS
 8. PHASE 2 SANITARY SEWER CONNECTION STUB
 9. RECONNECT TO EXISTING SANITARY SERVICE
 10. RELOCATED DUPLEX SANITARY BUILDING CONNECTION
 11. NEW SANITARY CLEANOUT
- # KEYED WATER NOTES:**
1. CONNECT TO EXISTING 8" DI WATER MAIN
 2. RELOCATED 8" DI WATER MAIN WITH ALL RESTRAINED JOINTS
 3. NEW 6" DI FIRE HYDRANT SERVICE
 4. NEW FIRE HYDRANT
 5. NEW 6" FIRE DOUBLE CHECK DETECTOR ASSEMBLY
 6. 6" FIRE WATER BUILDING CONNECTION
 7. NEW BUILDING-MOUNTED FDC
 8. NEW 3" DOMESTIC WATER METER
 9. NEW 4" DOMESTIC DOUBLE CHECK VALVE
 10. 4" DOMESTIC WATER BUILDING CONNECTION
 11. IRRIGATION POINT OF CONNECTION
 12. RELOCATED DUPLEX DOMESTIC WATER BUILDING CONNECTION

MANOR REDEVELOPMENT PHASE 1

L1 - EXISTING TREE INVENTORY AND PROTECTION PLAN



L2 - MATERIALS PLAN

REFERENCE CIVIL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITE WORK INFORMATION.

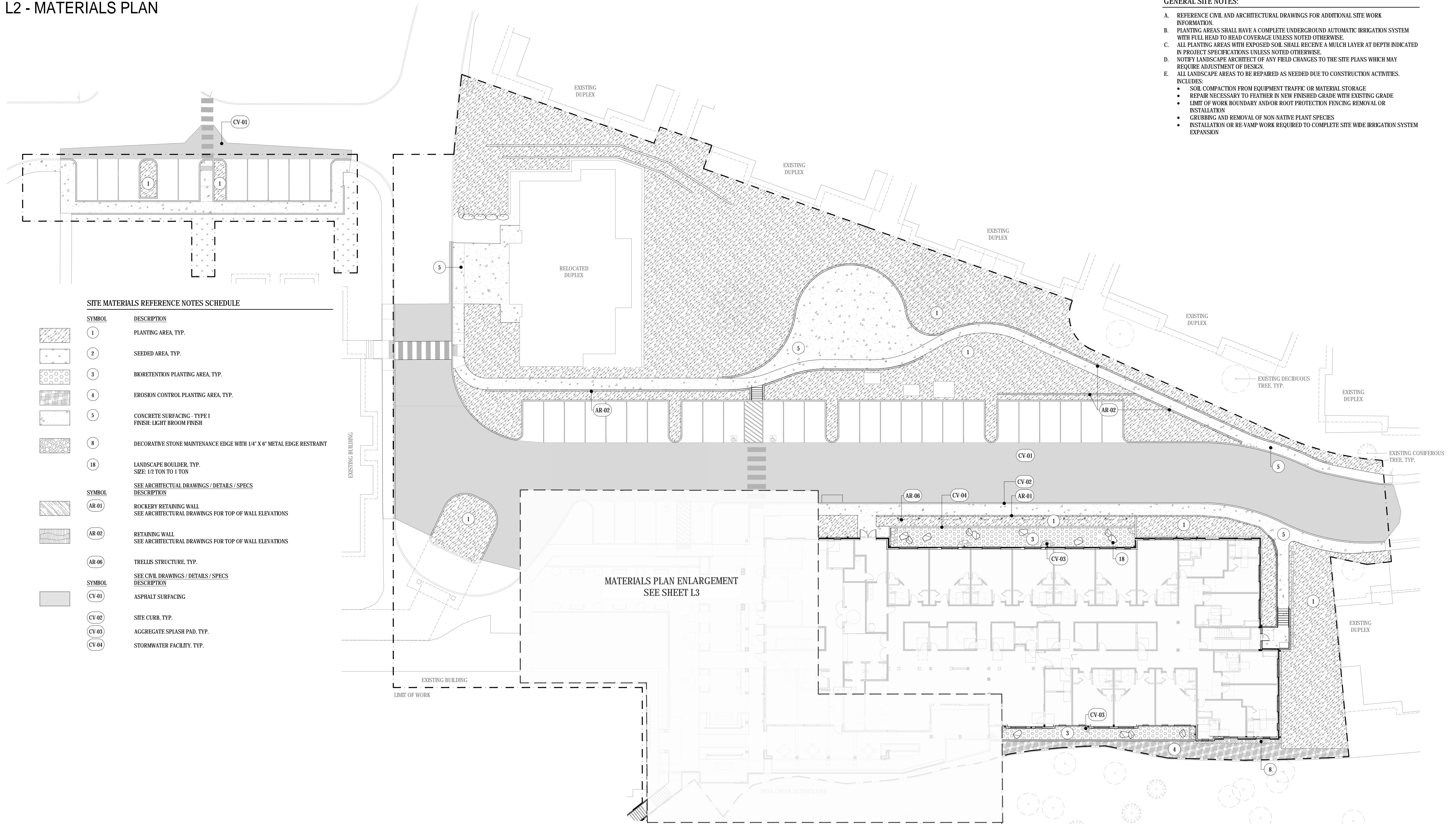
PLANTING AREAS SHALL HAVE A COMPLETE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH FULL HEAD TO HEAD COVERAGE UNLESS NOTED OTHERWISE.

ALL PLANTING AREAS WITH EXPOSED SOIL SHALL RECEIVE A MULCH LAYER AT DEPTH INDICATED IN PROJECT SPECIFICATIONS UNLESS NOTED OTHERWISE.

NOTIFY LANDSCAPE ARCHITECT OF ANY FIELD CHANGES TO THE SITE PLANS WHICH MAY REQUIRE ADJUSTMENT OF DESIGN.

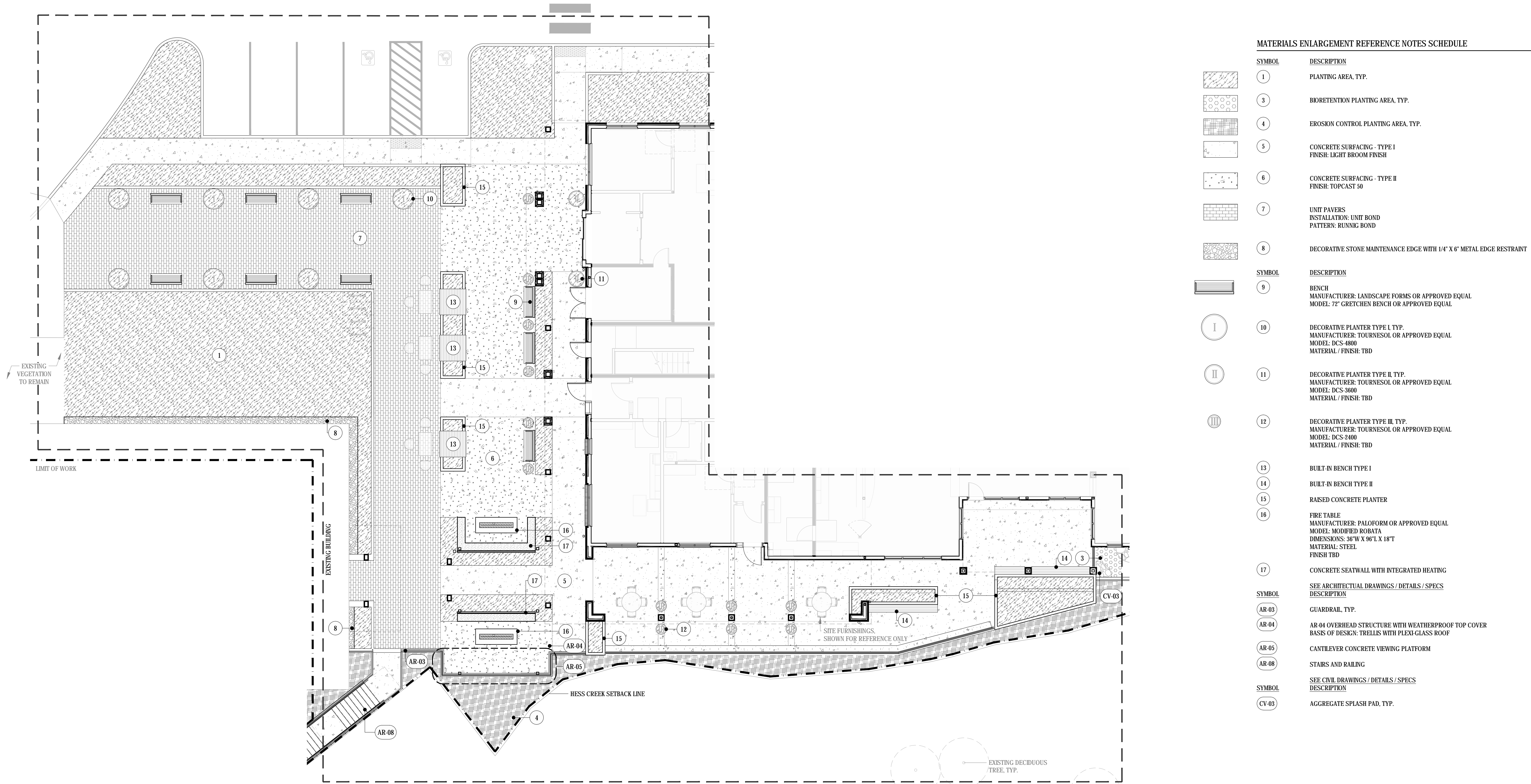
ALL LANDSCAPE AREAS TO BE REPAIRED AS NEEDED DUE TO CONSTRUCTION ACTIVITIES. INCLUDES:

- SOIL COMPACTION FROM EQUIPMENT TRAFFIC OR MATERIAL STORAGE
- REPAIR NECESSARY TO FEATHER IN NEW FINISHED GRADE WITH EXISTING GRADE
- LIMIT OF WORK BOUNDARY AND/OR ROOT PROTECTION FENCING REMOVAL OR INSTALLATION
- GRUBBING AND REMOVAL OF NON-NATIVE PLANT SPECIES
- INSTALLATION OR RE-VAMP WORK REQUIRED TO COMPLETE SITE WIDE IRRIGATION SYSTEM EXPANSION



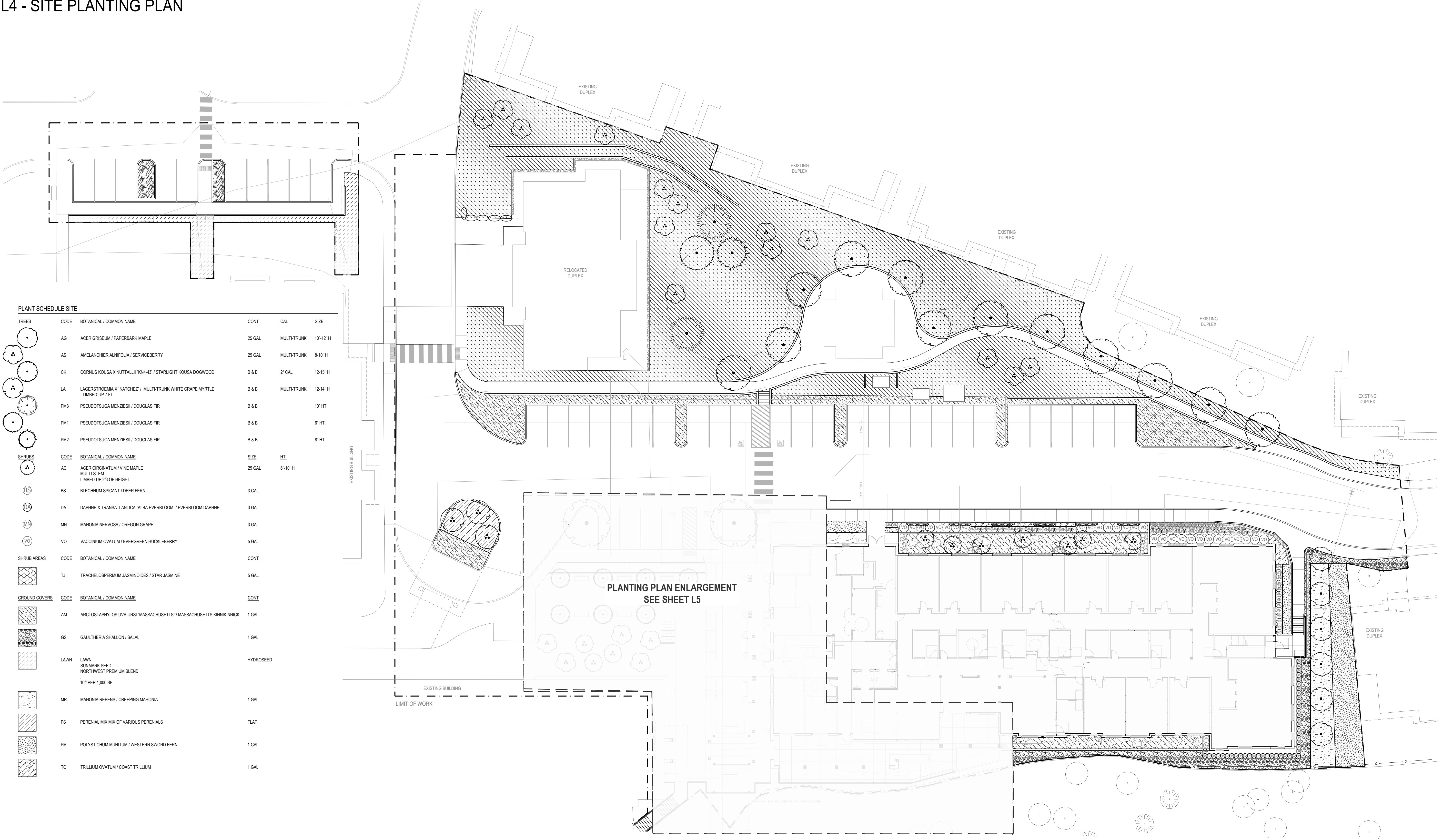
MANOR REDEVELOPMENT PHASE 1

L3 - MATERIALS PLAN ENLARGEMENT



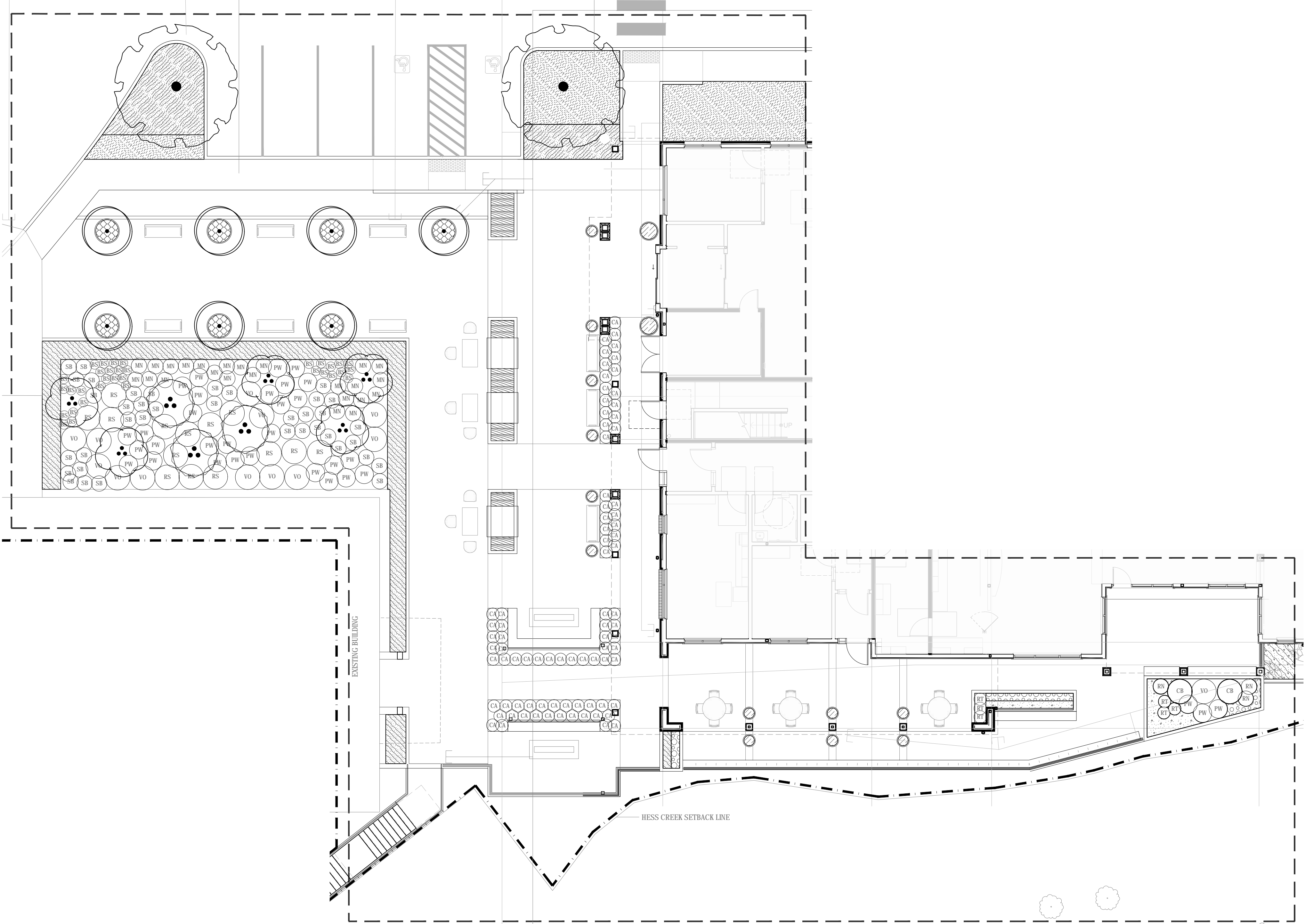
MANOR REDEVELOPMENT PHASE 1

L4 - SITE PLANTING PLAN



MANOR REDEVELOPMENT PHASE 1

L5 - PLANTING PLAN ENLARGEMENT

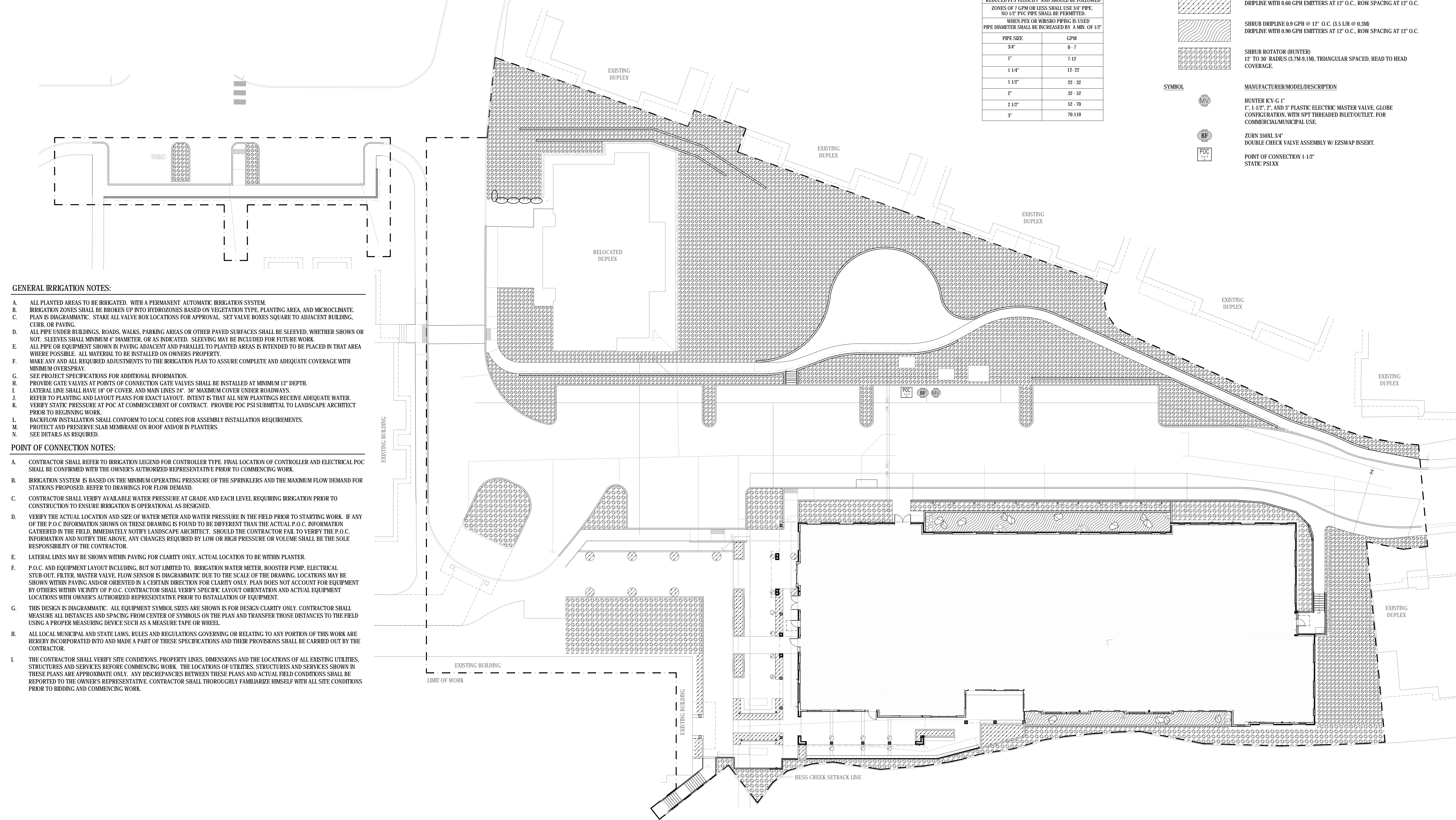


PLANT SCHEDULE ENLARGEMENT					
TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AP	ACER PALMATUM 'SEIRYU' / SEIRYU JAPANESE MAPLE	25 GAL	2" CAL	8-10' H
	AS	AMELANCHIER ALNIFOLIA / SERVICEBERRY	25 GAL	MULTI-TRUNK	8-10' H
	ZS	ZELKOVA SERBATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA	B & B	2.5" CAL	12-15' H
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
	AC	ACER CIRCINATUM / VINE MAPLE MULTI-STEM TIMBER UP 23 OF HEIGHT	25 GAL	8'-10' H	
	BS	BLECHNUM SPICANT / DEER FERN	3 GAL		
	CA	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER / KARL FOERSTER FEATHER REED GRASS	3 GAL		
	CB	CEANOTHUS THYRSIFLORUS 'BIXBY BRIDGE' / BIXBY BRIDGE BLUE BLOSSOM	5 GAL		
	MN	MAHONIA NERVOSA / OREGON GRAPE	3 GAL		
	PW	PHILADELPHUS LEWISI / WILD MOCKORANGE	5 GAL		
	RS	RIBES SANGUINEUM / RED FLOWERING CURRANT	5 GAL		
	RN	ROSA NUTRANA / NOOTKA ROSE	5 GAL		
	RT	RUBUS PARVIFLORUS / THIMBLEBERRY	3 GAL		
	SB	SPIRAEA RETULIFOLIA / BIRCH LEAF SPIREA	3 GAL		
	VO	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	5 GAL		
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	
	TJ	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	5 GAL	24" o.c.	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	
	AM	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' / MASSACHUSETTS KINNICKINICK	1 GAL	12" o.c.	
	FC	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	1 GAL	12" o.c.	
	MR	MAHONIA REPENS / CREEPING MAHONIA	1 GAL	18" o.c.	
	PH	PENNISETUM ALOPECUROIDES 'HAHELN' / HAHELN FOUNTAIN GRASS	1 GAL	18" o.c.	
	PS	PERENNIAL MIX MIX OF VARIOUS PERENNIALS	FLAT		
	PM	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	18" o.c.	

1 PLANTING PLAN ENLARGEMENT

MANOR REDEVELOPMENT PHASE 1

L6 - IRRIGATION PLAN



PIPE SIZE CHART SCHEDULE 40 PVC	
MAXIMUM WATER VELOCITY 5 FEET PER SECOND	
PIPE SHOWN AT A LARGER SIZE ACCOUNTS FOR REDUCED FPS VELOCITY AND SHOULD BE FOLLOWED	
ZONES OF 7 GPM OR LESS SHALL USE 3/4" PIPE. NO 1/2" PVC PIPE SHALL BE PERMITTED.	
WHEN PEX OR WIRSBO PIPING IS USED PIPE DIAMETER SHALL BE INCREASED BY A MIN. OF 1/2"	
PIPE SIZE	GPM
3/4"	0 - 7
1"	7-12
1 1/4"	12-22
1 1/2"	22-32
2"	32-52
2 1/2"	52-70
3"	70-110

IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
	SHRUB DRIPLINE 0.6 GPH @ 12" O.C. (2.3 L/H @ 0.3M) DRIPLINE WITH 0.60 GPH EMITTERS AT 12" O.C., ROW SPACING AT 12" O.C.
	SHRUB DRIPLINE 0.9 GPH @ 12" O.C. (3.5 L/H @ 0.3M) DRIPLINE WITH 0.90 GPH EMITTERS AT 12" O.C., ROW SPACING AT 12" O.C.
	SHRUB ROTATOR (HUNTER) 12" TO 30" RADIUS (3.7M-9.1M), TRIANGULAR SPACED, HEAD TO HEAD COVERAGE.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER RCV-G 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	ZURN 350XL 3/4" DOUBLE CHECK VALVE ASSEMBLY W/ EZSWAP INSERT.
	POINT OF CONNECTION 1-1/2" STATIC PSI XX

GENERAL IRRIGATION NOTES:

- ALL PLANTED AREAS TO BE IRRIGATED. WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION ZONES SHALL BE BROKEN UP INTO HYDROZONES BASED ON VEGETATION TYPE, PLANTING AREA, AND MICROCLIMATE.
- PLAN IS DIAGRAMMATIC. STAKE ALL VALVE BOX LOCATIONS FOR APPROVAL. SET VALVE BOXES SQUARE TO ADJACENT BUILDING, CURB, OR PAVING.
- ALL PIPE UNDER BUILDINGS, ROADS, WALKS, PARKING AREAS OR OTHER PAVED SURFACES SHALL BE SLEEVED, WHETHER SHOWN OR NOT. SLEEVES SHALL MINIMUM 4" DIAMETER, OR AS INDICATED. SLEEVING MAY BE INCLUDED FOR FUTURE WORK.
- ALL PIPE OR EQUIPMENT SHOWN IN PAVING ADJACENT AND PARALLEL TO PLANTED AREAS IS INTENDED TO BE PLACED IN THAT AREA WHERE POSSIBLE. ALL MATERIAL TO BE INSTALLED ON OWNERS PROPERTY.
- MAKE ANY AND ALL REQUIRED ADJUSTMENTS TO THE IRRIGATION PLAN TO ASSURE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY.
- SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE GATE VALVES AT POINTS OF CONNECTION GATE VALVES SHALL BE INSTALLED AT MINIMUM 12" DEPTH.
- LATERAL LINE SHALL HAVE 18" OF COVER, AND MAIN LINES 24". 36" MAXIMUM COVER UNDER ROADWAYS.
- REFER TO PLANTING AND LAYOUT PLANS FOR EXACT LAYOUT. INTENT IS THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER.
- VERIFY STATIC PRESSURE AT POC AT COMMENCEMENT OF CONTRACT. PROVIDE POC PSI SUBMITTAL TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- BACKFLOW INSTALLATION SHALL CONFORM TO LOCAL CODES FOR ASSEMBLY INSTALLATION REQUIREMENTS.
- PROTECT AND PRESERVE SLAB MEMBRANE ON ROOF AND/OR IN PLANTERS.
- SEE DETAILS AS REQUIRED.

POINT OF CONNECTION NOTES:

- CONTRACTOR SHALL REFER TO IRRIGATION LEGEND FOR CONTROLLER TYPE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- IRRIGATION SYSTEM IS BASED ON THE MINIMUM OPERATING PRESSURE OF THE SPRINKLERS AND THE MAXIMUM FLOW DEMAND FOR STATIONS PROPOSED. REFER TO DRAWINGS FOR FLOW DEMAND.
- CONTRACTOR SHALL VERIFY AVAILABLE WATER PRESSURE AT GRADE AND EACH LEVEL REQUIRING IRRIGATION PRIOR TO CONSTRUCTION TO ENSURE IRRIGATION IS OPERATIONAL AS DESIGNED.
- VERIFY THE ACTUAL LOCATION AND SIZE OF WATER METER AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE P.O.C INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL P.O.C INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE P.O.C INFORMATION AND NOTIFY THE ABOVE, ANY CHANGES REQUIRED BY LOW OR HIGH PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- LATERAL LINES MAY BE SHOWN WITHIN PAVING FOR CLARITY ONLY, ACTUAL LOCATION TO BE WITHIN PLANTER.
- P.O.C AND EQUIPMENT LAYOUT INCLUDING, BUT NOT LIMITED TO, IRRIGATION WATER METER, BOOSTER PUMP, ELECTRICAL STUB-OUT, FILTER, MASTER VALVE, FLOW SENSOR IS DIAGRAMMATIC DUE TO THE SCALE OF THE DRAWING. LOCATIONS MAY BE SHOWN WITHIN PAVING AND/OR ORIENTED IN A CERTAIN DIRECTION FOR CLARITY ONLY. PLAN DOES NOT ACCOUNT FOR EQUIPMENT BY OTHERS WITHIN VICINITY OF P.O.C. CONTRACTOR SHALL VERIFY SPECIFIC LAYOUT ORIENTATION AND ACTUAL EQUIPMENT LOCATIONS WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF EQUIPMENT.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SYMBOL SIZES ARE SHOWN IS FOR DESIGN CLARITY ONLY. CONTRACTOR SHALL MEASURE ALL DISTANCES AND SPACING FROM CENTER OF SYMBOLS ON THE PLAN AND TRANSFER THOSE DISTANCES TO THE FIELD USING A PROPER MEASURING DEVICE SUCH AS A MEASURE TAPE OR WHEEL.
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, PROPERTY LINES, DIMENSIONS AND THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK.

MANOR REDEVELOPMENT PHASE 1

L7 - PLANTING DETAILS

PLANTING NOTES:

DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN THE DURING DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO LACK OF PROVIDING SUCH NOTIFICATION.

ENSURE THAT FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET AT THE PROPER ELEVATIONS RELATIVE TO PAVING FINISH SURFACE ELEVATIONS, UTILITY COVERS AND CURBS. SHRUBS PLANTING AREAS AT 2" BELOW AND LAWN 1" BELOW ADJACENT GRADE. NOTIFY OWNER OF ANY DISCREPANCIES.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS TO DRAIN AWAY FROM BUILDING, 2% MINIMUM.

PLANT MATERIAL, I.E. TREES, SHRUBS VINES, ESPALIERS AND GROUNDCOVERS, MUST BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIAL INSTALLED WITHOUT OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH RELATED COSTS BORNE BY CONTRACTOR.

FINAL LOCATIONS OF PLANT MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PERFORM THE FOLLOWING BEFORE BEGINNING PLANTING PIT EXCAVATION:

- A. SHRUBS - PLACE ACTUAL PLANT CONTAINERS ON-SITE IN "FINAL" LOCATIONS.
- B. TREES - CHALK OR STAKE CENTER OF TREE.

PLANTING SHALL NOT BE PERFORMED UNTIL PRE-PLANTING SOIL AMENDMENTS ARE COMPLETE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS ON-SITE AND THOSE AREAS INDICATED ON DRAWINGS, CONTACT OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO OWNER'S AUTHORIZED REPRESENTATIVE IN A TIMELY FASHION MAY RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE PLANT MATERIALS OR AT WORST CASE, BECOME UNABLE TO CHARGE OWNER FOR PLANT MATERIAL ALREADY PLANTED.

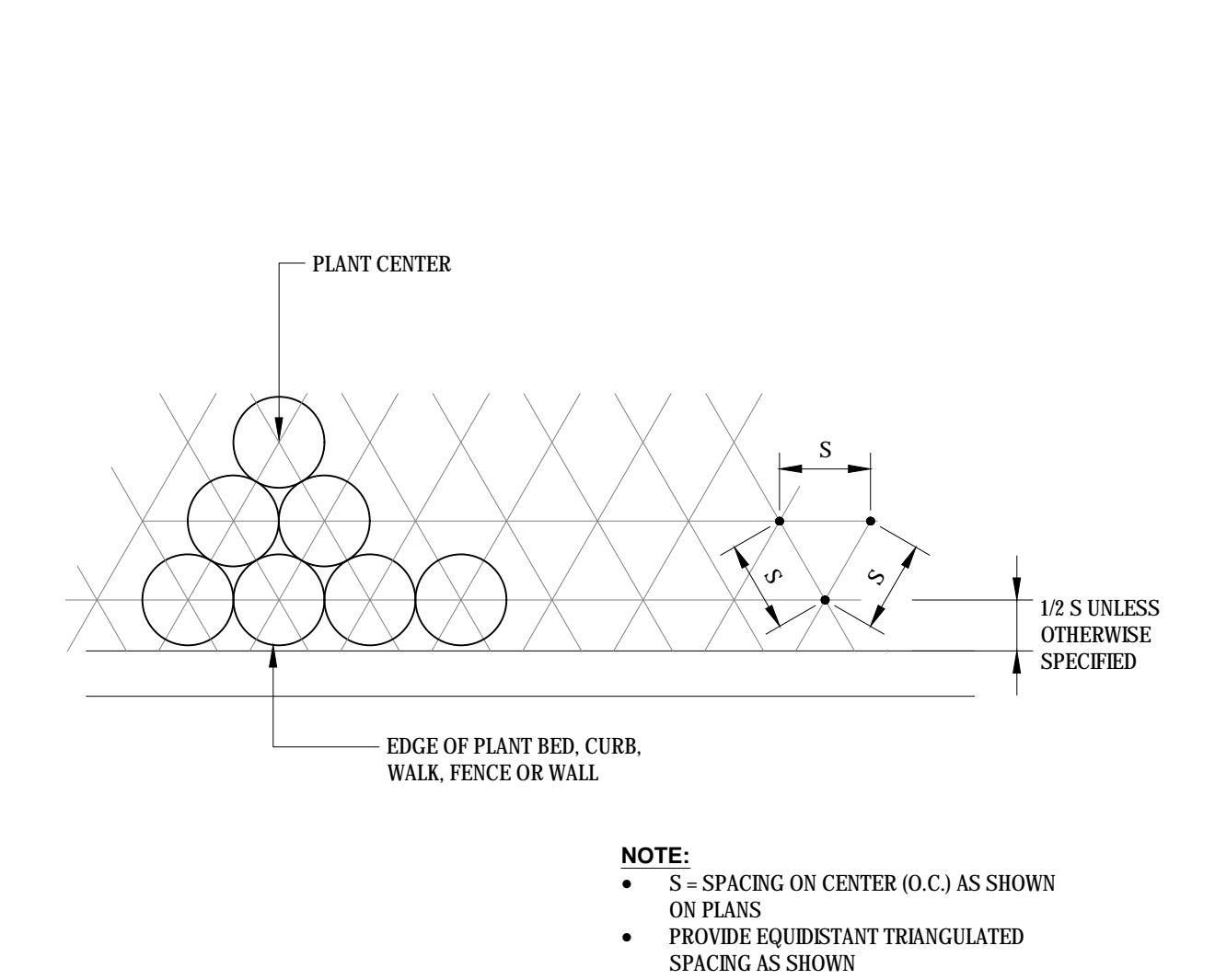
SHRUB AND GROUNDCOVER AREAS TO RECIEVE A 2-INCH DEEP LAYER MULCH TO BE SUBMITTED FOR APPROVAL FROM LANDSCAPE ARCHITECT.

AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED WITHIN ALL PLANTING AREAS PROVIDING HEAD TO HEAD COVERAGE.

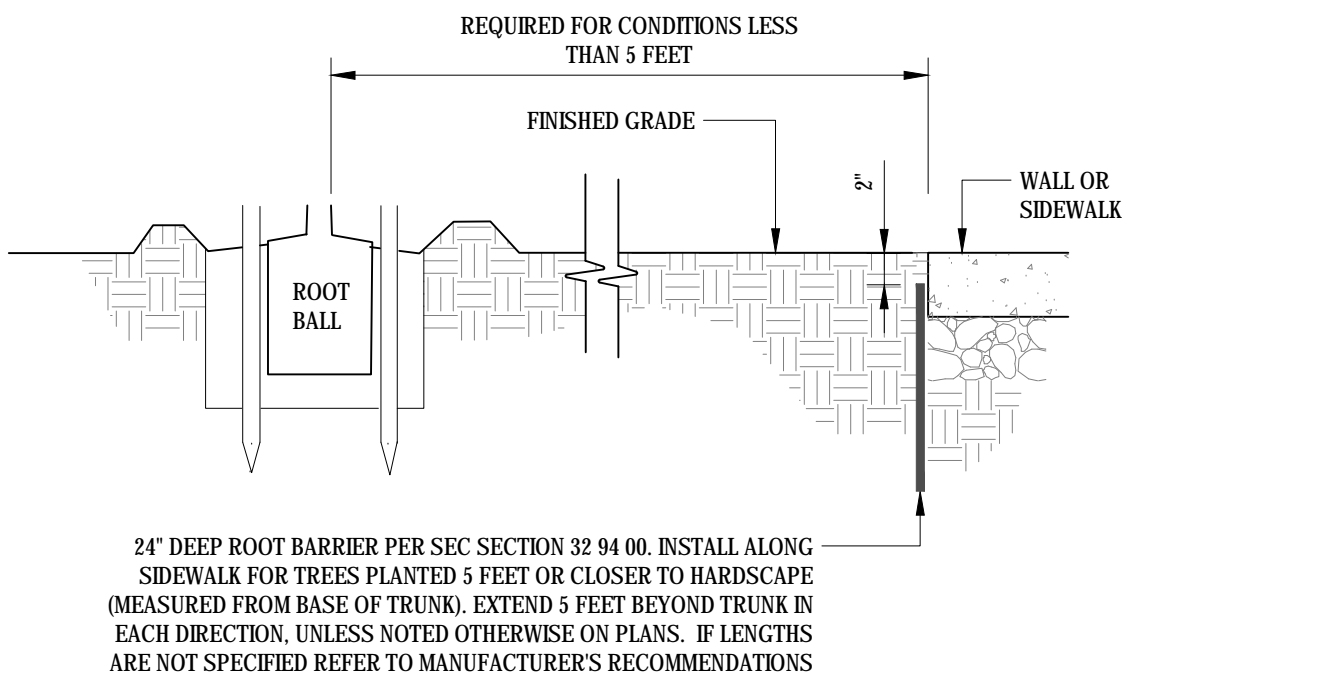
PROVIDE ROOT CONTROL BARRIERS FOR ALL TREES PLANTED WITHIN 5' OF A HARDSCAPE EDGE SUCH AS PAVING, WALLS, STEPS, ETC. REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION.

INSTALL PLANT MATERIAL WITH ITS BEST SIDE FACING PREDOMINATE VIEW OF PUBLIC.

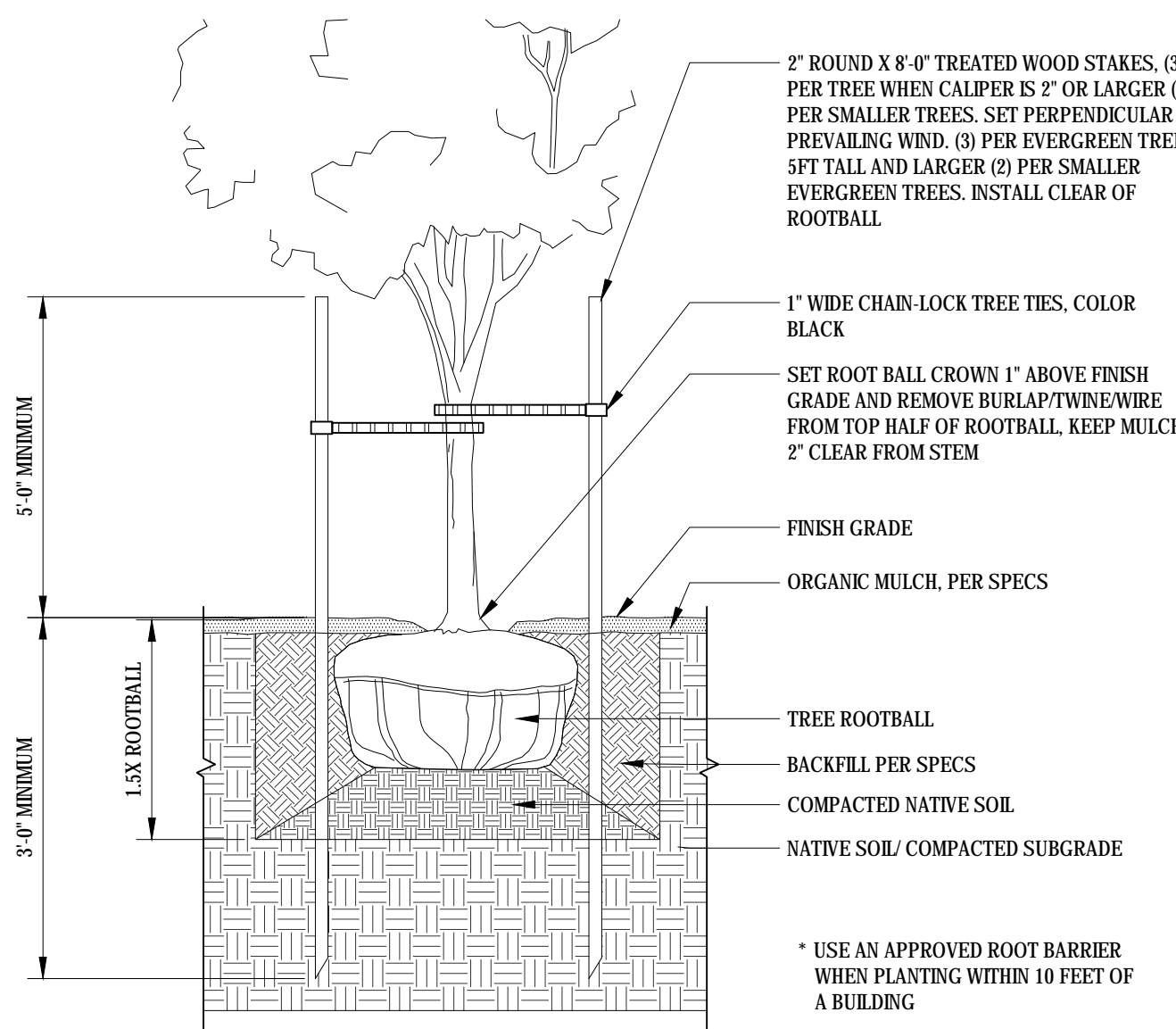
PROVIDE THE PROPER SETBACK BETWEEN UTILITIES AND TREES - CONTACT CITY INSPECTOR FOR REQUIRED SETBACKS IN THE CASE THAT THE DRAWINGS ARE NOT CLEAR.



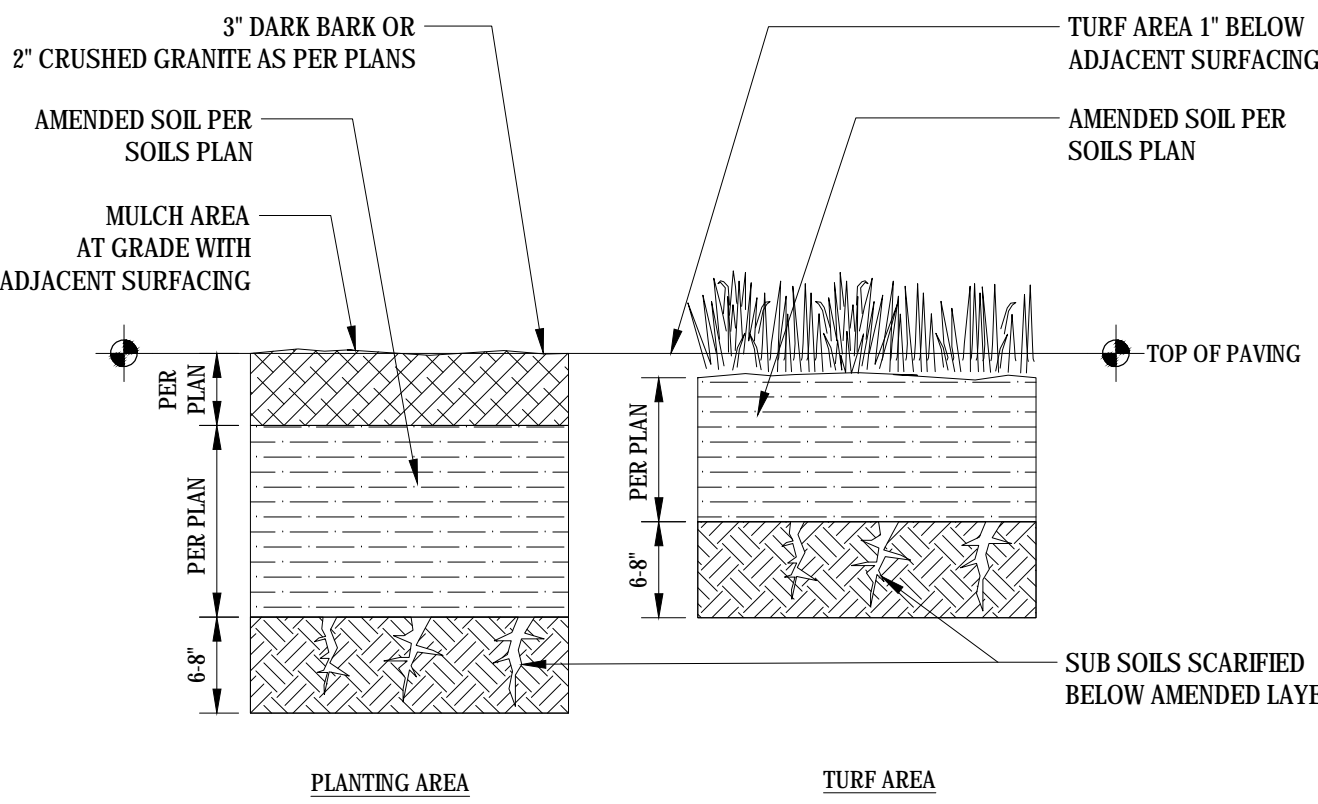
3 GROUNDCOVER SPACING
1/2" = 1'-0" 329333.83-01



4 TREE ROOT BARRIER
1" = 1'-0" P-CO-20039-04



5 TREE PLANTING ON GRADE
NTS P-CO-20039-01



- NOTES:
1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS SHALL BE AMENDED AS DESCRIBED.
 2. SUBSOIL NOT TO BE DISTURBED BENEATH DRIPLINES OF PROTECTED EXISTING TREES ON SITE OR FROM ADJACENT PROPERTY.
 3. DO NOT DISTURB COMPACTED SOILS ADJACENT TO STRUCTURAL FOOTINGS OR WALLS. CONTACT PROJECT CIVIL ENGINEER OR STRUCTURAL ENGINEER FOR RECOMMENDED SETBACKS PRIOR TO SITE WORK.

6 SOIL AMENDMENT AND DEPTH
1 1/2" = 1'-0" P-CO-20039-09

TREE BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

CALIPER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
1.0"	5.00
1.5"	7.50
2.0"	10.00
2.5"	20.00
3.0"	30.00
3.5"	50.00

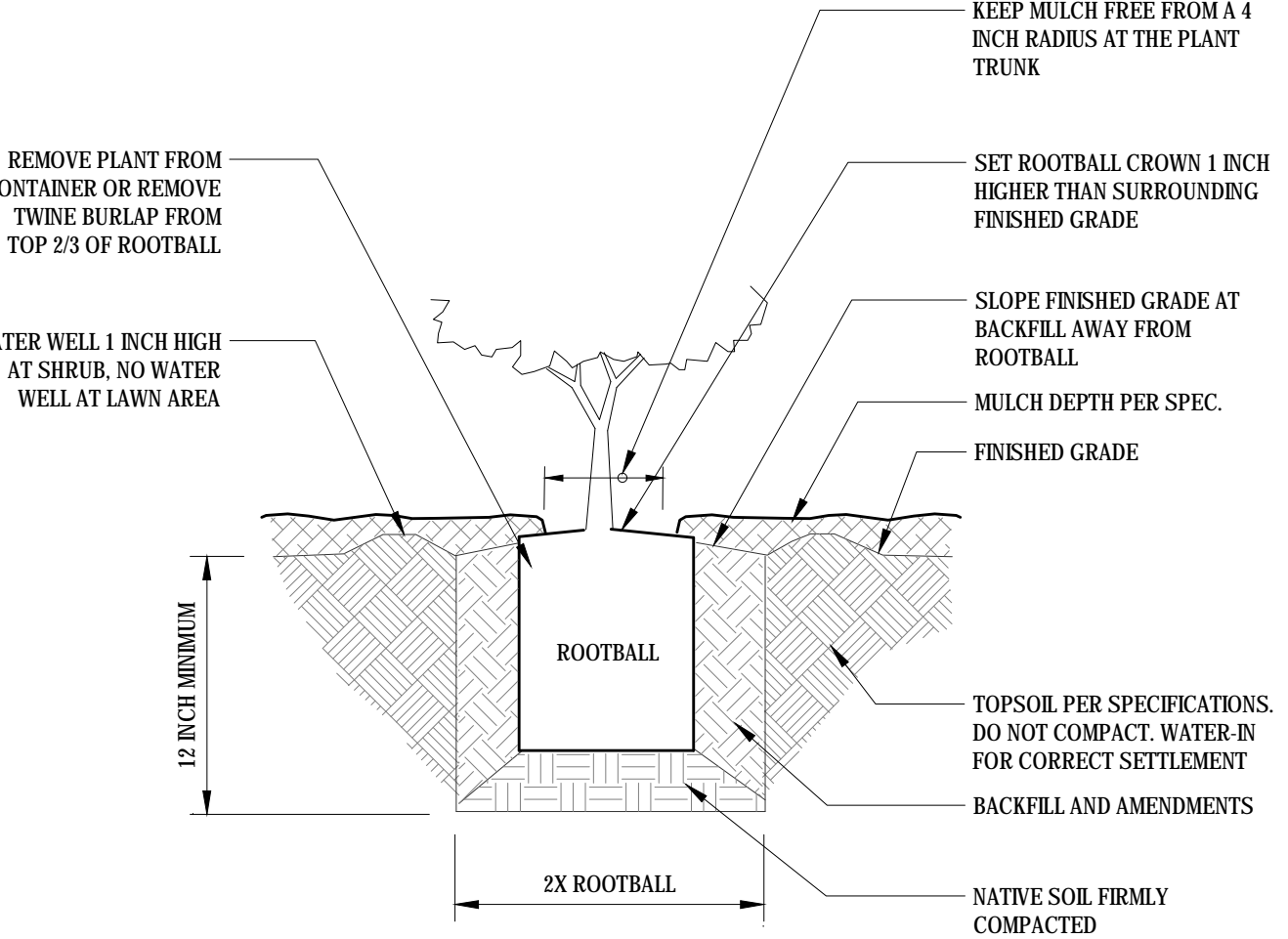
SHRUB, GRASSES AND GROUNDCOVER BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

CONTAINER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
PLUG	.05
4-INCH	.20
1 GAL.	.50
2 GAL.	.75
3 GAL.	1.25
6 GAL.	1.50
15 GAL.	5.00

PERMAMATRIX AVAILABLE LOCALLY FROM SUNMARK ENVIRONMENTAL 503.241.7333

1 PLANTING BACKFILL SOIL AMENDMENT SCHEDULE
1" = 1'-0" P-CO-20039-03

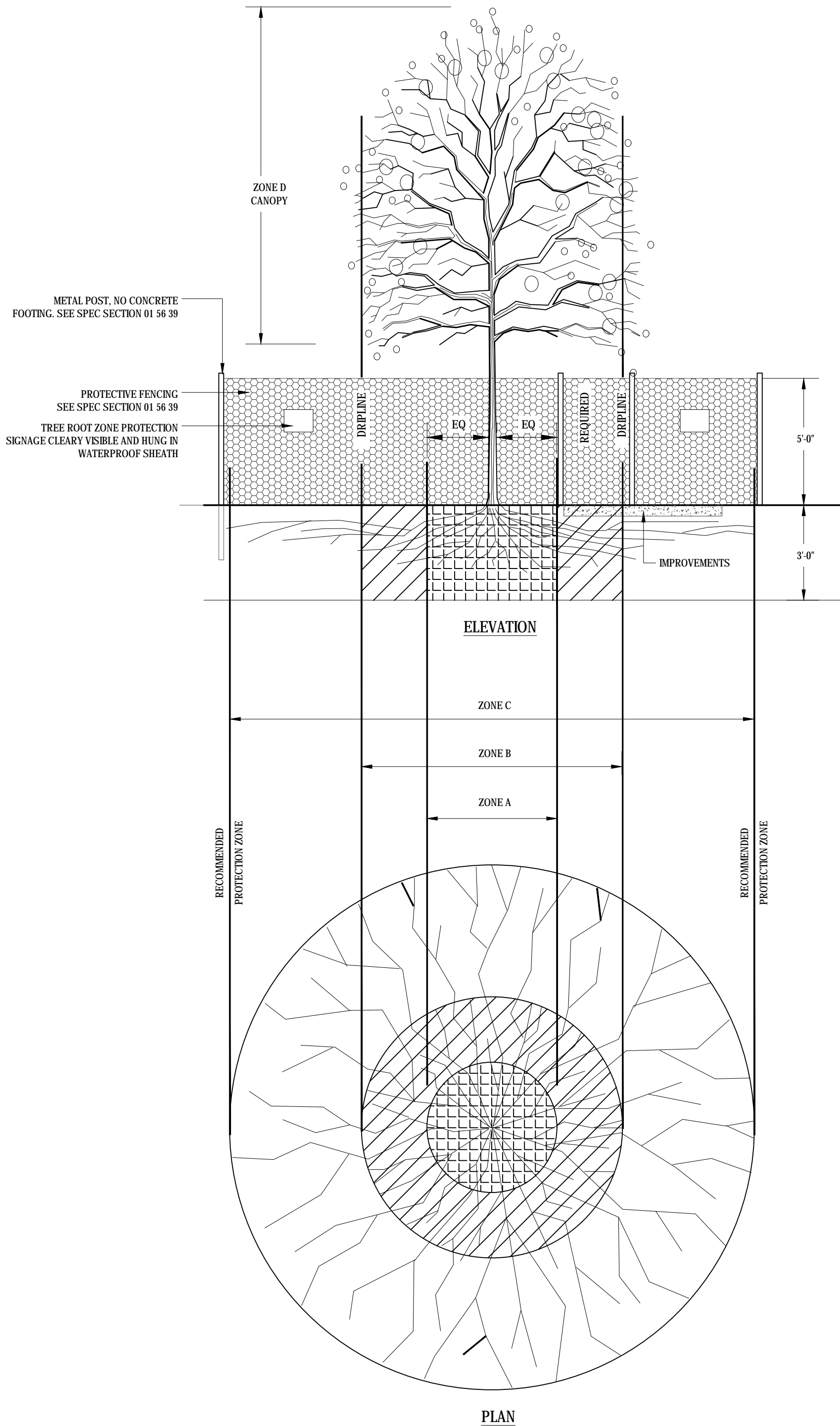


NOTE: CHECK ROOTBALL FOR PRESENCE OF ROOT FLARE AT BASE OF TRUNK. REMOVE EXCESS SOIL OVER ROOT FLARE AND ADJUST DEPTH OF PLANTING HOLE TO ACCOMMODATE REDUCED ROOTBALL DEPTH IF NEEDED. ROOT FLARE MUST BE VISIBLE ABOVE MULCH/SOIL/ROOTBALL.

2 SHRUB PLANTING
1" = 1'-0" 329333-01

MANOR REDEVELOPMENT PHASE 1

L8 - PLANTING DETAILS



TREE PROTECTION NOTES

- OWNER SHALL RETAIN A CERTIFIED ARBORIST. ALL REFERENCES WITHIN THIS DOCUMENT REFER TO THE OWNER'S CERTIFIED ARBORIST.
- ALL TREES WILL NEED TO BE EVALUATED AND TAGGED FOR PRESERVATION OR DEMOLITION BY THE OWNER'S CERTIFIED ARBORIST.
- THE PROJECT ARCHITECT AND OWNER'S CERTIFIED ARBORIST SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND WITH THE TREES IDENTIFIED ON THIS PLAN AND ACTUAL CONDITIONS.

FENCING PROTECTION ZONE

ALL ZONES

- PROTECTIVE FENCING SHALL BE PROVIDED AND MAINTAINED AT THE DRIP LINE OF EACH TREE OR GROUP OF TREES AT THE DRIP LINE. ORANGE OR GREEN PVC WEB FENCING MAY BE USED ONLY AS APPROVED BY THE CITY AND OWNER. ZONE C FENCING BEYOND THE DRIP LINE IS NOT REQUIRED BUT IS RECOMMENDED WHERE POSSIBLE.
- THE APPROVAL OF THE OWNER'S CERTIFIED ARBORIST IS REQUIRED FOR USE/ACCESS WITHIN ZONES.
- SURFACE PROTECTION MEASURES REQUIRED SUCH AS WOOD PLANKING OR STEEL PLATES UNDER BACKHOE STABILIZERS PLACED ANYWHERE WITHIN ZONES.
- BARK MULCH REQUIRED AT 6" 8" DEPTH KEPT 12 INCHES CLEAR OF TRUNK.
- NO MATERIALS, EQUIPMENT, SPOIL, OR WASTE OR WASHOUT / WASTEWATER I.E. CEMENT MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE C AT ALL TIMES.
- PROVIDING SEASONAL WATERING AS NEEDED TO MAINTAIN HEALTH AND VIGOR OF PLANTS TO REMAIN. THIS INCLUDES PROVIDING WATER SUPPLY, PIPING AND HOSES, AND APPLICATION MATERIALS AND THE LABOR REQUIRED TO PROVIDE PROPER WATER APPLICATION.

TRENCHING / EXCAVATION

ZONE A (CRITICAL ROOT ZONE)

[CRZ IS DETERMINED BY TRUNK DIAMETER MEASURED AT CHEST HEIGHT (DBH) AND CRZ IS EQUAL TO 1-FOOT RADIUS FOR EVERY 1" DIAMETER OF TREE.]

- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE.
- SEVERANCE OF ROOTS LARGER THAN 2 INCHES IN DIAMETER REQUIRES THE OWNER'S CERTIFIED ARBORIST APPROVAL.
- TUNNELING REQUIRED TO INSTALL LINES 3 FEET BELOW GRADE OR DEEPER.
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

ZONE B (DRIPLINE)

[DEFINED AS MAXIMUM WIDTH OF BRANCH EXTENSION ON TREE]

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO THE OWNER'S CERTIFIED ARBORIST APPROVAL.
- MAINTAIN 2/3 OR MORE OF ZONE IN UNDISTURBED CONDITION.
- WHEN TRENCHING FOR UTILITIES WITHIN ZONE B, HAND DIG OR TUNNEL AROUND ROOTS WHENEVER POSSIBLE. CUT ALL ROOTS CLEANLY WITH SHARP PRUNERS OR SAWS. IF ROOTS OVER 2" DIA. ARE ENCOUNTERED, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL PRIOR TO PROCEEDING. ROOT PRUNE AND REMEDY ONLY AS DIRECTED BY THE OWNER'S CERTIFIED ARBORIST.
- AIR OR WATER-SPADING, OR BORING MAY BE REQUIRED BY IN ZONE A OR ZONE B IF CONDITIONS WARRANT.
- FOR INSTALLATION OF SILT FENCING, DO NOT TRENCH IN ZONE A OR ZONE B; INSTEAD SECURE TOE OF FENCING WITH DRAIN ROCK OR SUITABLE SOIL AND MONITOR/MAINTAIN FENCING AS NECESSARY TO PREVENT EROSION.
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

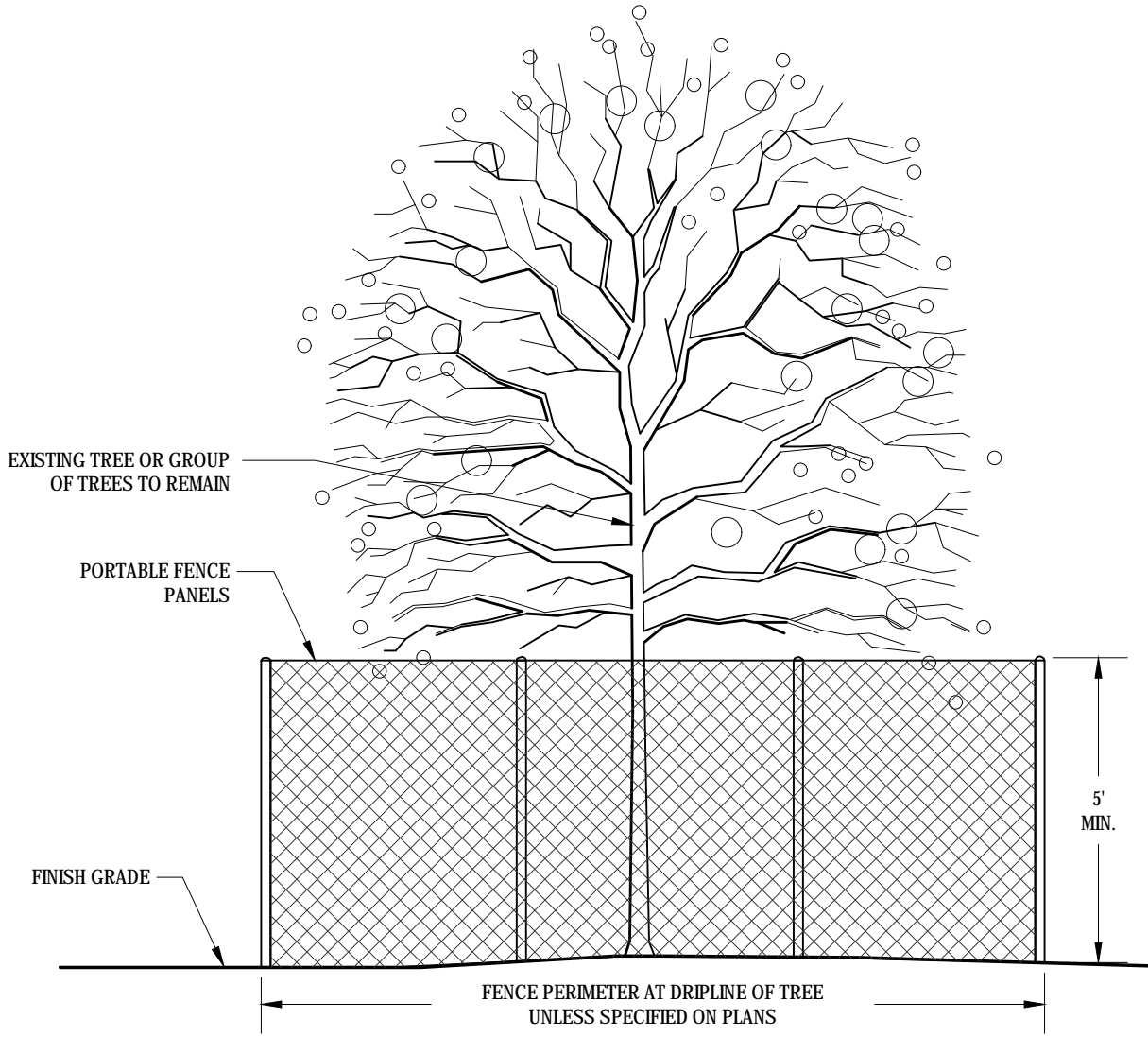
ZONE C (ABSORBING ROOT ZONE)

[ARZ IS DETERMINED BY TRUNK DIAMETER MEASURED AT CHEST HEIGHT (DBH) AND ARZ IS EQUAL TO 2-FOOT RADIUS FOR EVERY 1" DIAMETER OF TREE.]

- OPERATION OF HEAVY EQUIPMENT AND OR STOCKPILING OF MATERIALS SUBJECT TO OWNER'S AUTHORIZED REPRESENTATIVE APPROVAL.
- TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - MINIMIZE TRENCH WIDTH
 - MAINTAIN 2/3 OR MORE OF ZONE IN UNDISTURBED CONDITION
 - OR AS SPECIFIED BY THE OWNER'S CERTIFIED ARBORIST
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

ZONE D (CANOPY)

- OVERHEAD BRANCHING LIKELY TO BE DAMAGED BY EQUIPMENT OPERATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S CERTIFIED ARBORIST. OVERHEAD PREVENTIVE MEASURES (PRUNING OR TIE-BACK OF BRANCHES) AS APPROVED BY THE OWNER'S CERTIFIED ARBORIST SHALL BE PROPERLY EXECUTED BEFORE COMMENCEMENT OF THE CONSTRUCTION ACTIVITIES.
- WASH OFF FOLIAGE WHICH BECOMES SOILED DURING CONSTRUCTION.



1 EXISTING TREE PROTECTION

3/8" = 1'-0"

SITE PLAN - PHOTOMETRICS

E103

LAND USE LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	DISTRIBUTION	MOUNTING	POWER SUPPLY	LIGHT SOURCE	WATTAGE	MFG/CATALOG #
SA	SITE AREA LED POST TOP LUMINAIRE	TYPE III MEDIUM DISTRIBUTION WITH PARTIAL BLS	8-FOOT HIGH, STRAIGHT STEEL ROUND POLE, PROVIDE FLUSH ROUND CONCRETE PEDESTAL	INTEGRAL DRIVER, 0-10V DIMMING	NOMINAL 8750 LUMENS, 4000K, 70 CRI	101 WATTS	CREE THE EDGE ROUND SERIES TO MATCH UNIVERSITY COLLEGE PROJECT
SD	EXTEIROR LED WALL MOUNTED LUMINAIRE	20 DEGREE FORWARD THROW	WALL MOUNTED.	INTEGRAL DRIVER, 0-10V DIMMING	NOMINAL 2050 LUMENS, 3000K, 85 CRI	27 WATTS	WAC LIGHTING HAWK (WP-LED2) SERIES TO MATCH UNIVERSITY COLLEGE PROJECT
SF	RECESSED LED DOWNLIGHT	OPEN REFLECTOR, MEDIUM DISTRIBUTION, SELF FLANGED	RECESSED IN CEILING.	INTEGRAL DRIVER, 0-10VOLT DIMMING	NOMINAL 1500 LUMENS, 3500K, 80 CRI	14 WATTS	HE WILLIAMS 4DR SERIES
SG	LED BOLLARD	TYPE III MEDIUM DISTRIBUTION	PROVIDE FLUSH ROUND CONCRETE PEDESTAL	INTEGRAL DRIVER, 0-10VOLT DIMMING	NOMINAL 1389 LUMENS, 4000K, 70 CRI		CREE PWY-EDG SERIES TO MATCH UNIVERSITY COLLEGE PROJECT
INCLUDED FOR REFERENCE ONLY							
SB	EXTERIOR WALL MOUNTED LED SCONCE	CLEAR ACRYLIC OUTSIDE CYLINDER WITH SEEDY GLASS INSIDE PANEL	WALL MOUNTED.		LED REPLACEMENT LAMP, UG10 SOCKET	35 WATT	HINKLEY LIGHTING MIST (1224BZ) SERIES TO MATCH UNIVERSITY COLLEGE PROJECT
SC	EXTERIOR WALL MOUNTED LED SCONCE AT PATIO/DECK AREAS		WALL MOUNTED.	INTEGRAL DRIVER; ELV DIMMING	NOMINAL 623 LUMENS, 3000K, 90 CRI	9 WATTS	PROGRESS LIGHTING DISTRICT LED (P5623-2030K9) SERIES TO MATCH UNIVERSITY COLLEGE PROJECT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	2.15	20.7	0.0	N.A.	N.A.
East Entrance & Walkway	Illuminance	Fc	8.07	10.3	6.5	1.24	1.58
North Walkway	Illuminance	Fc	8.45	12.8	2.2	3.84	5.82
Parking-Driving Area	Illuminance	Fc	4.93	18.1	0.3	16.43	60.33
West Entrance & Walkway	Illuminance	Fc	14.20	20.7	4.5	3.16	4.60

GENERAL SHEET NOTES

- 1. AREA POLE MOUNTED LUMINAIRE, TYPE SA SERIES, ARE MOUNTED ON 8' POLES WITH FLUSH CONCRETE PEDESTAL.
- 2. BOLLARDS, TYPE SG, ARE 42" TALL WITH A FLUSH CONCRETE PEDESTAL.
- 3. BUILDING ENTRIES TO BE ILLUMINATED WITH EITHER RECESSED DOWNLIGHTS OR BUILDING MOUNTED LUMINAIRES. SEE RCP PLANS FOR LOCATIONS AND TYPES. LUMINAIRE CUT SHEETS INCLUDED FOR REFERENCE.
- 4. PHOTOMETRIC CALCULATIONS ARE AT GRADE LEVEL ON PAVEMENT OR CONCRETE SURFACE.
- 5. CALCULATIONS ARE THE EXPECTED AVERAGE MAINTAINED ILLUMINATION AT GRADE DURING RATED NORMAL LIFE OF LIGHT SOURCE.
- 6. ISO-ILLUMINANCE LINES INDICATE 1 FOOTCANDLE AND 0.5 FOOTCANDLE FOR OVERALL SITE.
- 7. LLF OF 0.95.

