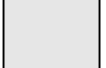


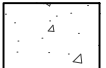

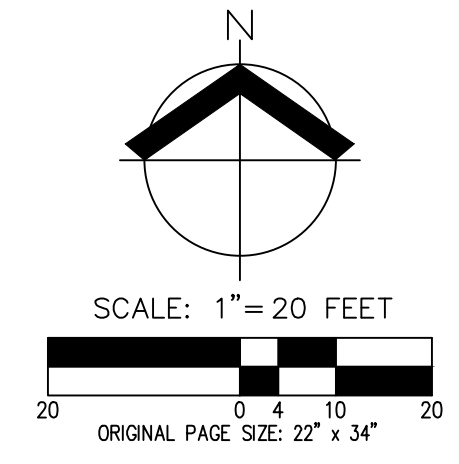
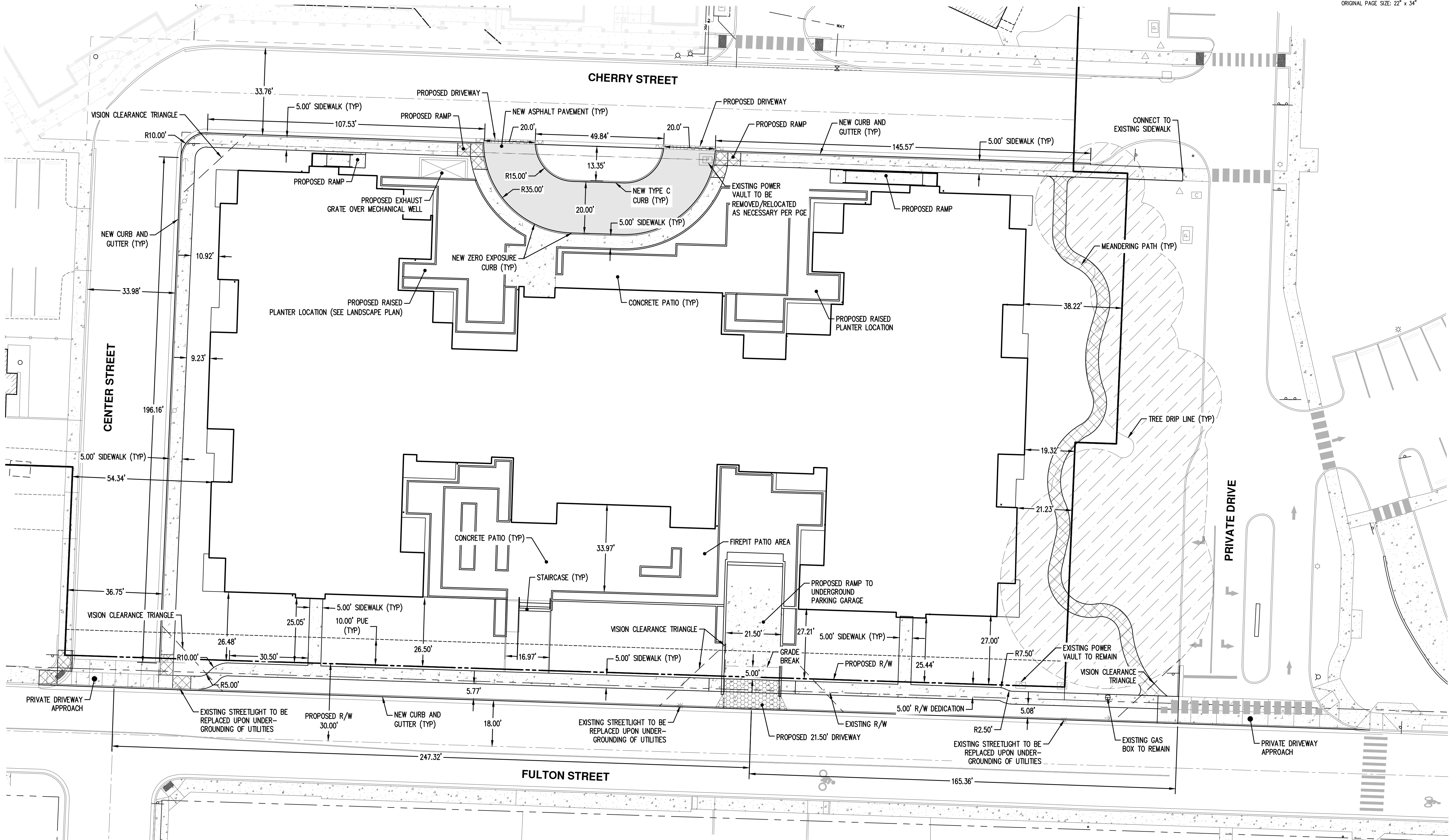


LEGEND

-  NEW AC PAVEMENT
-  NEW PEDESTRIAN PATH
-  NEW CONCRETE
-  EXISTING CONCRETE TO REMAIN
-  EXISTING AC TO REMAIN



PRELIMINARY CONSTRUCTION
 REGISTERED PROFESSIONAL ENGINEER
 No. 4522
 State of Oregon
 LEVON C. ROPER
 RENEWAL DATE: 12/31/20



CONSULTANT:
AKS
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 FORESTRY · PLANNING · LANDSCAPE ARCHITECTURE

PROJECT NUMBER: 217304
University Village Phase II
 1001 Fulton Street,
 Newberg OR 97132



SHEET TITLE:
PRELIMINARY SITE PLAN

DRAWN BY:
 DATE ISSUED: 10/02/2020

SHEET: **C2**

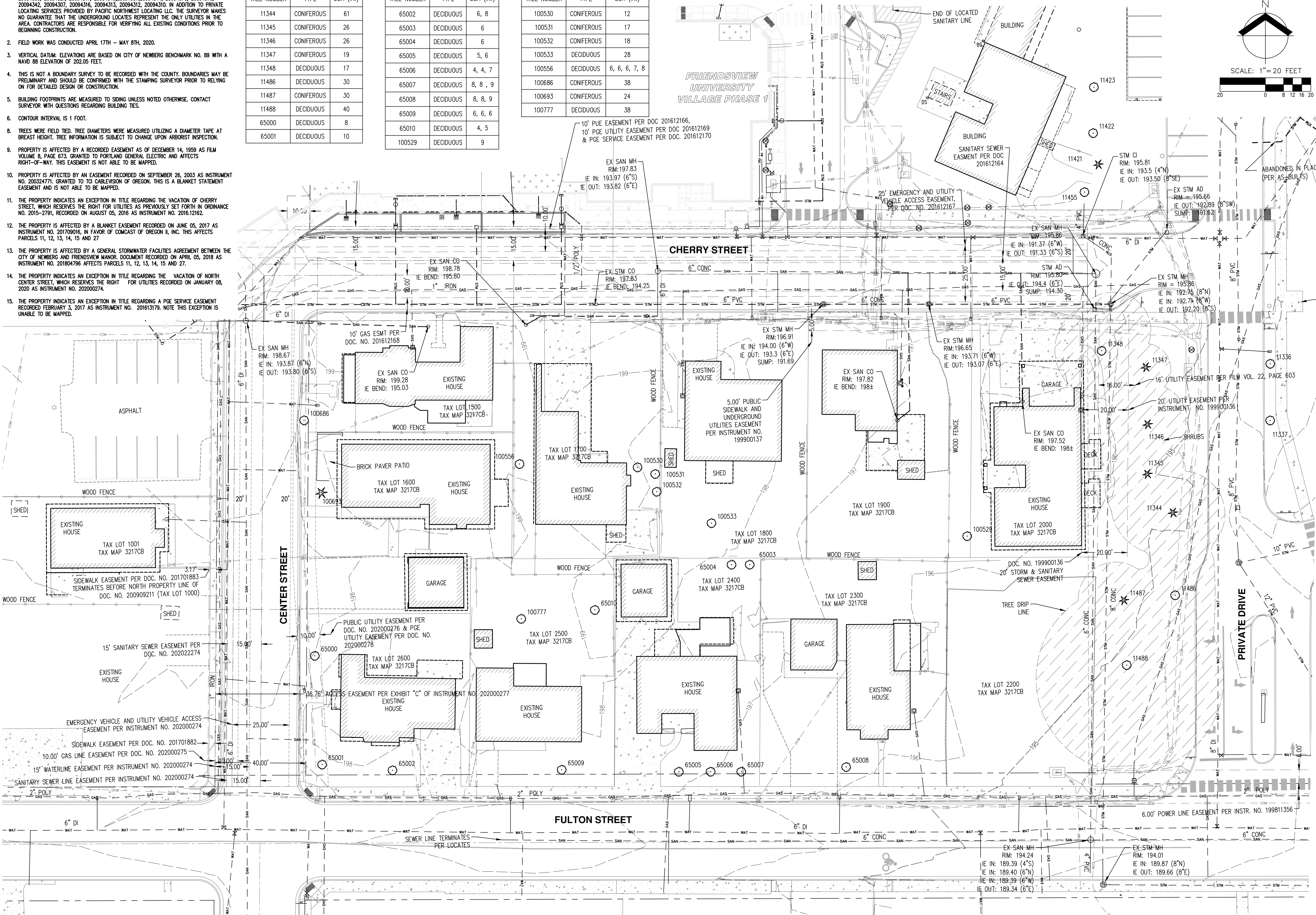
NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS. PROVIDED PER UTILITY LOCATE TICKET NUMBERS 20094370, 20094348, 20094362, 20094346, 20094321, 20094317, 20094346, 20094337, 20094344, 20094373, 20094375, 20094342, 20094307, 20094316, 20094312, 20094310. IN ADDITION TO PRIVATE LOCATING SERVICES PROVIDED BY PACIFIC NORTHWEST LOCATING LLC, THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED APRIL 17TH - MAY 8TH, 2020.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON CITY OF NEWBERG BENCHMARK NO. 89 WITH A NAVD 88 ELEVATION OF 202.05 FEET.
- THIS IS NOT A BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
- BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
- CONTOUR INTERVAL IS 1 FOOT.
- TREES WERE FIELD TIED. TREE DIAMETERS WERE MEASURED UTILIZING A DIAMETER TAPE AT BREAST HEIGHT. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
- PROPERTY IS AFFECTED BY A RECORDED EASEMENT AS OF DECEMBER 14, 1959 AS FILM VOLUME 8, PAGE 673. GRANTED TO PORTLAND GENERAL ELECTRIC AND AFFECTS RIGHT-OF-WAY. THIS EASEMENT IS NOT ABLE TO BE MAPPED.
- PROPERTY IS AFFECTED BY AN EASEMENT RECORDED ON SEPTEMBER 26, 2003 AS INSTRUMENT NO. 200324771. GRANTED TO CABLEVISION OF OREGON. THIS IS A BLANKET STATEMENT EASEMENT AND IS NOT ABLE TO BE MAPPED.
- THE PROPERTY INDICATES AN EXCEPTION IN TITLE REGARDING THE VACATION OF CHERRY STREET, WHICH RESERVES THE RIGHT FOR UTILITIES AS PREVIOUSLY SET FORTH IN ORDINANCE NO. 2015-2791, RECORDED ON AUGUST 05, 2016 AS INSTRUMENT NO. 201612162.
- THE PROPERTY IS AFFECTED BY A BLANKET EASEMENT RECORDED ON JUNE 05, 2017 AS INSTRUMENT NO. 201709016, IN FAVOR OF COMCAST OF OREGON II, INC. THIS AFFECTS PARCELS 11, 12, 13, 14, 15 AND 27.
- THE PROPERTY IS AFFECTED BY A GENERAL STORMWATER FACILITIES AGREEMENT BETWEEN THE CITY OF NEWBERG AND FRIENDSVIEW MANOR, DOCUMENT RECORDED ON APRIL 05, 2018 AS INSTRUMENT NO. 201804796 AFFECTS PARCELS 11, 12, 13, 14, 15 AND 27.
- THE PROPERTY INDICATES AN EXCEPTION IN TITLE REGARDING THE VACATION OF NORTH CENTER STREET, WHICH RESERVES THE RIGHT FOR UTILITIES RECORDED ON JANUARY 08, 2020 AS INSTRUMENT NO. 202000274.
- THE PROPERTY INDICATES AN EXCEPTION IN TITLE REGARDING A PGE SERVICE EASEMENT RECORDED FEBRUARY 3, 2017 AS INSTRUMENT NO. 201613179. NOTE THIS EXCEPTION IS UNABLE TO BE MAPPED.

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
11344	CONIFEROUS	61
11345	CONIFEROUS	26
11346	CONIFEROUS	19
11347	CONIFEROUS	26
11348	DECIDUOUS	17
11486	DECIDUOUS	30
11487	CONIFEROUS	30
11488	DECIDUOUS	40
65000	DECIDUOUS	8
65001	DECIDUOUS	10

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
65002	DECIDUOUS	6, 8
65003	DECIDUOUS	6
65004	DECIDUOUS	6
65005	DECIDUOUS	5, 6
65006	DECIDUOUS	4, 4, 7
65007	DECIDUOUS	8, 8, 9
65008	DECIDUOUS	8, 8, 9
65009	DECIDUOUS	6, 6, 6
65010	DECIDUOUS	4, 5
100529	DECIDUOUS	9

TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
100530	CONIFEROUS	12
100531	CONIFEROUS	17
100532	CONIFEROUS	18
100533	DECIDUOUS	28
100556	DECIDUOUS	6, 6, 6, 7, 8
100686	CONIFEROUS	38
100693	CONIFEROUS	24
100777	DECIDUOUS	38



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

REGISTERED PROFESSIONAL LAND SURVEYOR
 GREGORY J. WHITE
 LICENSE NO. 1007
 EXPIRES: 6/30/22

CONSULTANT:

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 FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE

PROJECT NUMBER: 217304

**University Village
 Phase II**
 1001 Fulton Street,
 Newberg OR 97132




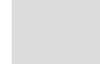





SHEET TITLE:
**EXISTING
 CONDITIONS PLAN**

DRAWN BY:
 DATE ISSUED: 10/02/2020

SHEET: **C3**

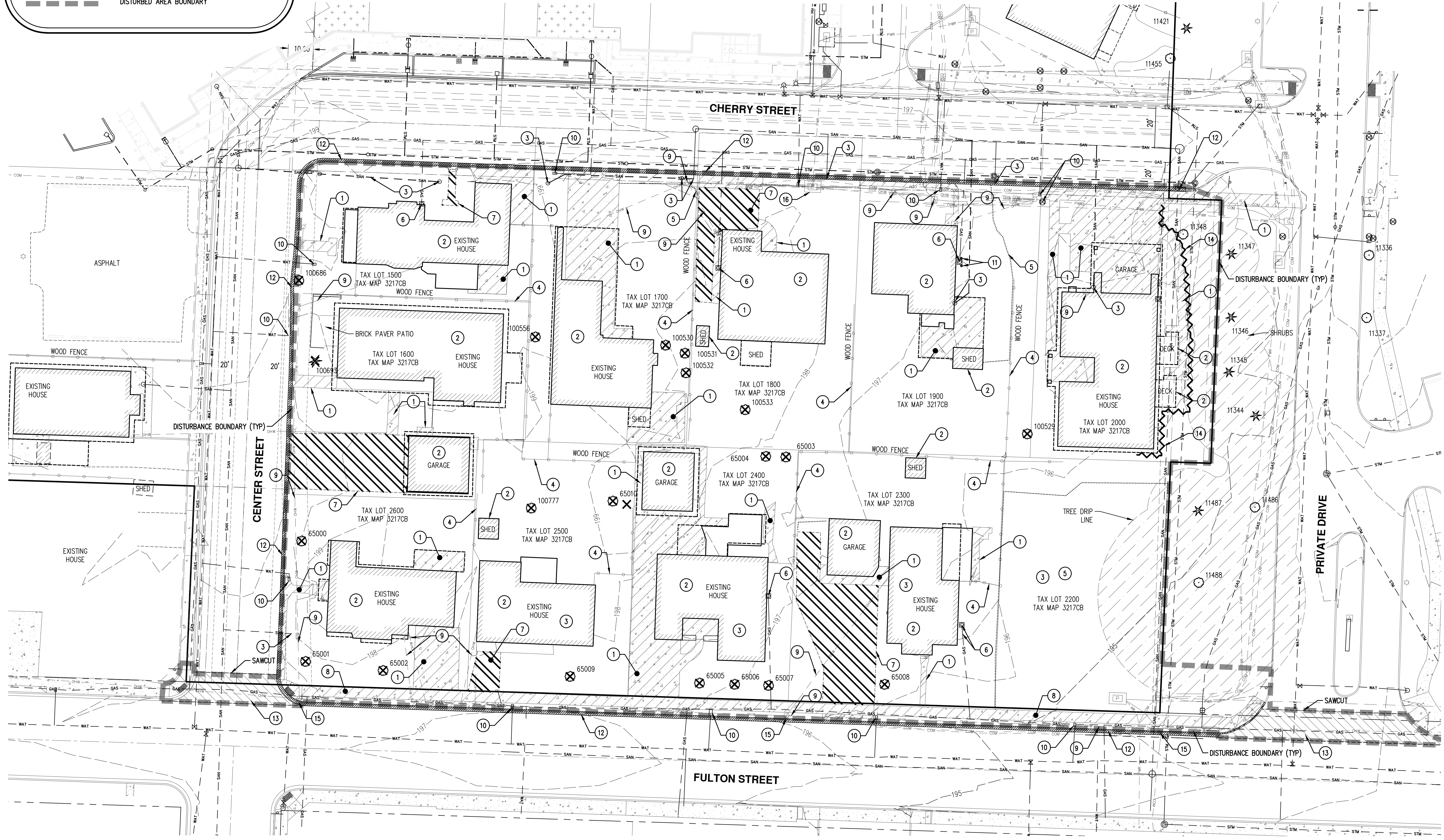
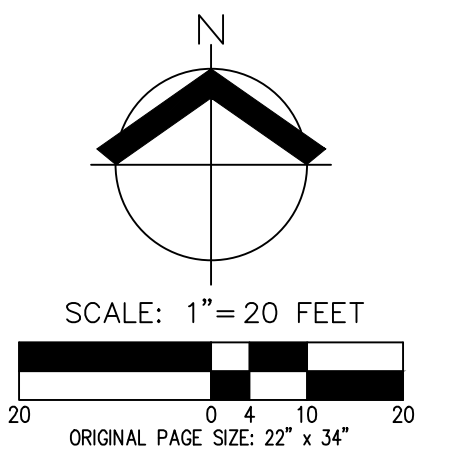
LEGEND

-  EXISTING CURB AND GUTTER TO BE REMOVED
-  EXISTING AC TO BE REMOVED
-  EXISTING PCC TO BE REMOVED
-  EXISTING AC TO REMAIN
-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  DISTURBED AREA BOUNDARY

TREE TABLE			
TREE NUMBER	TYPE	DBH (IN.)	PRESERVE/REMOVE
11344	CONIFEROUS	61	PRESERVE
11345	CONIFEROUS	26	PRESERVE
11346	CONIFEROUS	26	PRESERVE
11347	CONIFEROUS	19	PRESERVE
11348	DECIDUOUS	17	PRESERVE
11486	DECIDUOUS	30	PRESERVE
11487	CONIFEROUS	30	PRESERVE
11488	DECIDUOUS	40	PRESERVE

(X) KEYED DEMOLITION NOTES:

1. REMOVE EXISTING CONCRETE AND DISPOSE OF OFF-SITE.
2. REMOVE EXISTING STRUCTURE AND DISPOSE OF OFF-SITE.
3. ABANDON EXISTING SANITARY CLEANOUT & LATERAL PER CITY OF NEWBERG. SOME LATERAL LOCATIONS MAY BE UNKNOWN.
4. REMOVE EXISTING FENCE AND DISPOSE OF OFF-SITE.
5. REMOVE EXISTING GRAVEL AS NECESSARY IN LANDSCAPE AREAS.
6. ABANDON EXISTING GAS METER/LINE. CONTRACTOR TO COORDINATE WITH NORTHWEST NATURAL.
7. REMOVE EXISTING PAVEMENT AND DISPOSE OF OFF-SITE.
8. REMOVE EXISTING SIDEWALK AND RAMPS AND DISPOSE OF OFF-SITE.
9. ABANDON EXISTING POWER SERVICE AND/OR STRUCTURE. CONTRACTOR TO COORDINATE WITH PGE REGARDING REMOVAL OF ANY EXISTING OVERHEAD WIRES, TRANSFORMERS, AND STRUCTURES. ANY POWER TO REMAIN TO BE UNDERGROUNDED.
10. ABANDON EXISTING WATER SERVICE. CONTRACTOR TO COORDINATE WITH CITY WATER DEPARTMENT.
11. REMOVE EXISTING POSTS AND DISPOSE OF OFF-SITE.
12. REMOVE EXISTING CURB AND DISPOSE OF OFF-SITE.
13. REMOVE EXISTING ASPHALT FOR FUTURE DRIVEWAY APPROACH.
14. INSTALL TREE PROTECTION FENCE PRIOR TO DEMOLITION OF EXISTING STRUCTURES. TREE PROTECTION TO REMAIN THROUGH CONSTRUCTION. ALL WORK PERFORMED WITHIN TREE DRIP LINE TO BE COORDINATED AND OVERSEEN BY AKS ARBORIST. TREES SHOWN TO BE REMOVED TO BE DISPOSED OF OFF-SITE.
15. REPLACE EXISTING STREET LIGHT PER CITY OF NEWBERG STANDARDS FOLLOWING UNDERGROUNDING OF OVERHEAD POWER AND REMOVAL OF POWER POLES.
16. REMOVE/RELOCATE EXISTING POWER VAULT AS NECESSARY PER PGE.



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 720 NW Davis Suite 300
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 503.221.2077
 Portland OR 97209 www.lrsarchitects.com

REGISTERED PROFESSIONAL ARCHITECT
PRELIMINARY NOT FOR CONSTRUCTION
 REVISION DATE: 12/31/20

CONSULTANT:

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PROJECT NUMBER: 217304

University Village Phase II
 1001 Fulton Street,
 Newberg OR 97132

Friendsview
 RETIREMENT COMMUNITY

SHEET TITLE:
PRELIMINARY DEMOLITION PLAN

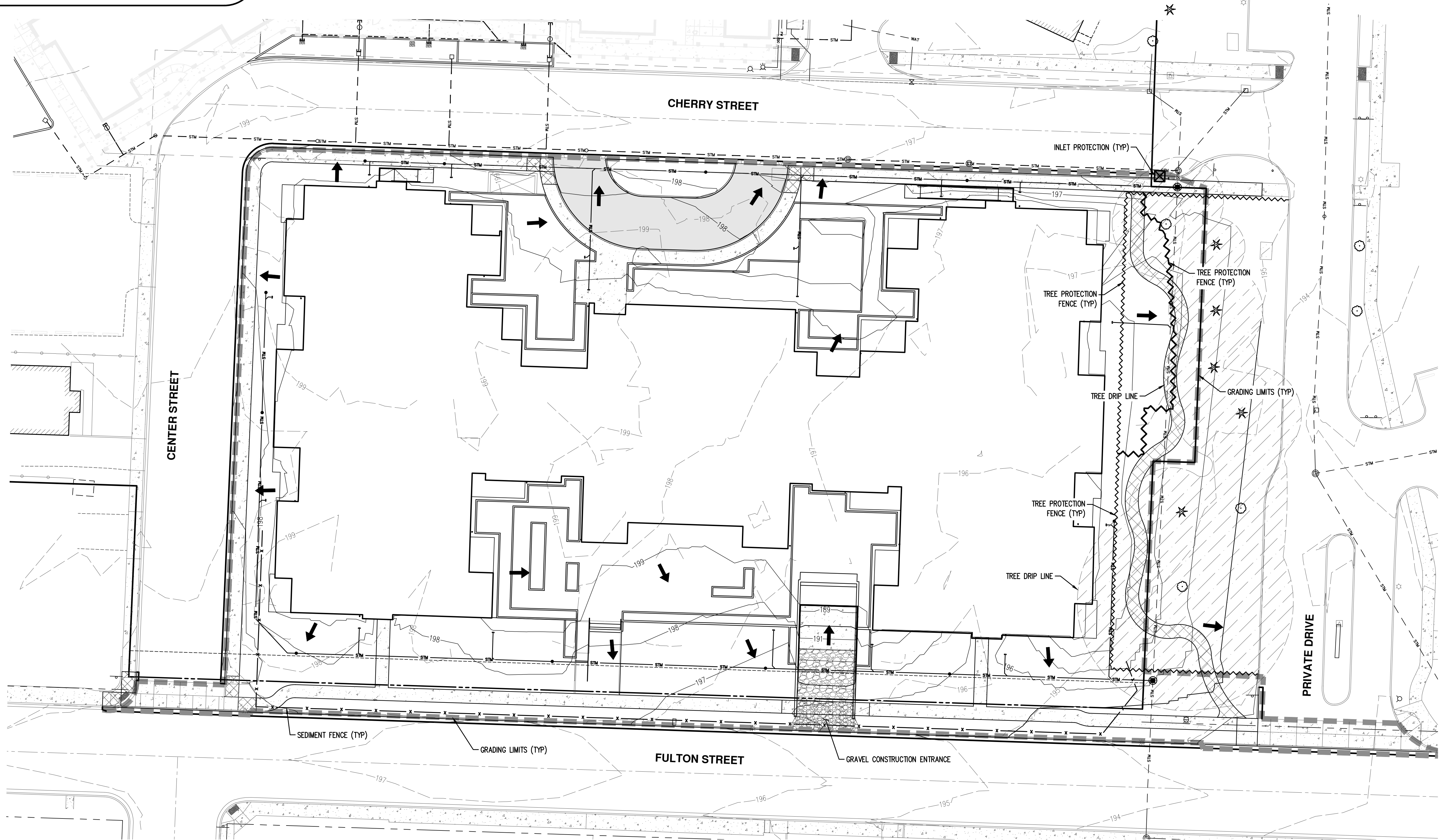
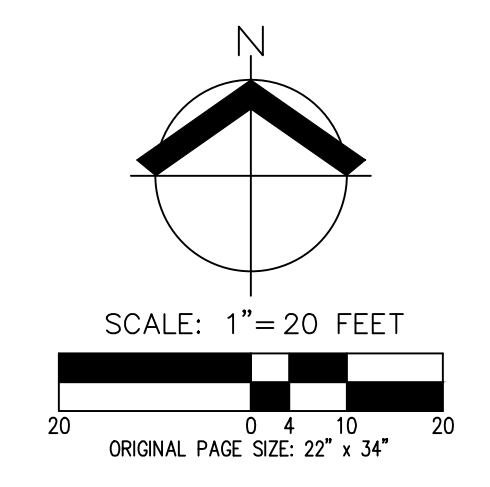
DRAWN BY:
DATE ISSUED: 10/02/2020

SHEET: C4

LEGEND

- EXISTING GROUND CONTOUR (1 FT)
- EXISTING GROUND CONTOUR (5 FT)
- FINISHED GRADE CONTOUR (1 FT)
- FINISHED GRADE CONTOUR (5 FT)
- SEDIMENT FENCE (TO BE INSTALLED PRIOR TO GRADING)
- INLET PROTECTION (TYP) PER DETAIL
- DRAINAGE FLOW DIRECTION
- GRAVEL CONSTRUCTION ENTRANCE
- GRADING LIMITS
- TREE PROTECTION FENCE (TO BE INSTALLED FOLLOWING DEMOLITION)
- TREE PROTECTION FENCE (TO BE INSTALLED PRIOR TO DEMOLITION)

NOTE:
ALL WORK WITHIN TREE DRIP LINE TO BE COORDINATED AND OVERSEEN BY AKS ARBORIST.



CONSULTANT:
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PROJECT NUMBER: 217304
University Village Phase II
1001 Fulton Street,
Newberg OR 97132



SHEET TITLE:
PRELIMINARY EROSION AND SEDIMENTATION CONTROL PLAN

DRAWN BY:
DATE ISSUED: 10/02/2020

SHEET: **C5**



CONSULTANT:

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PROJECT NUMBER: 217304

University Village Phase II
 1001 Fulton Street,
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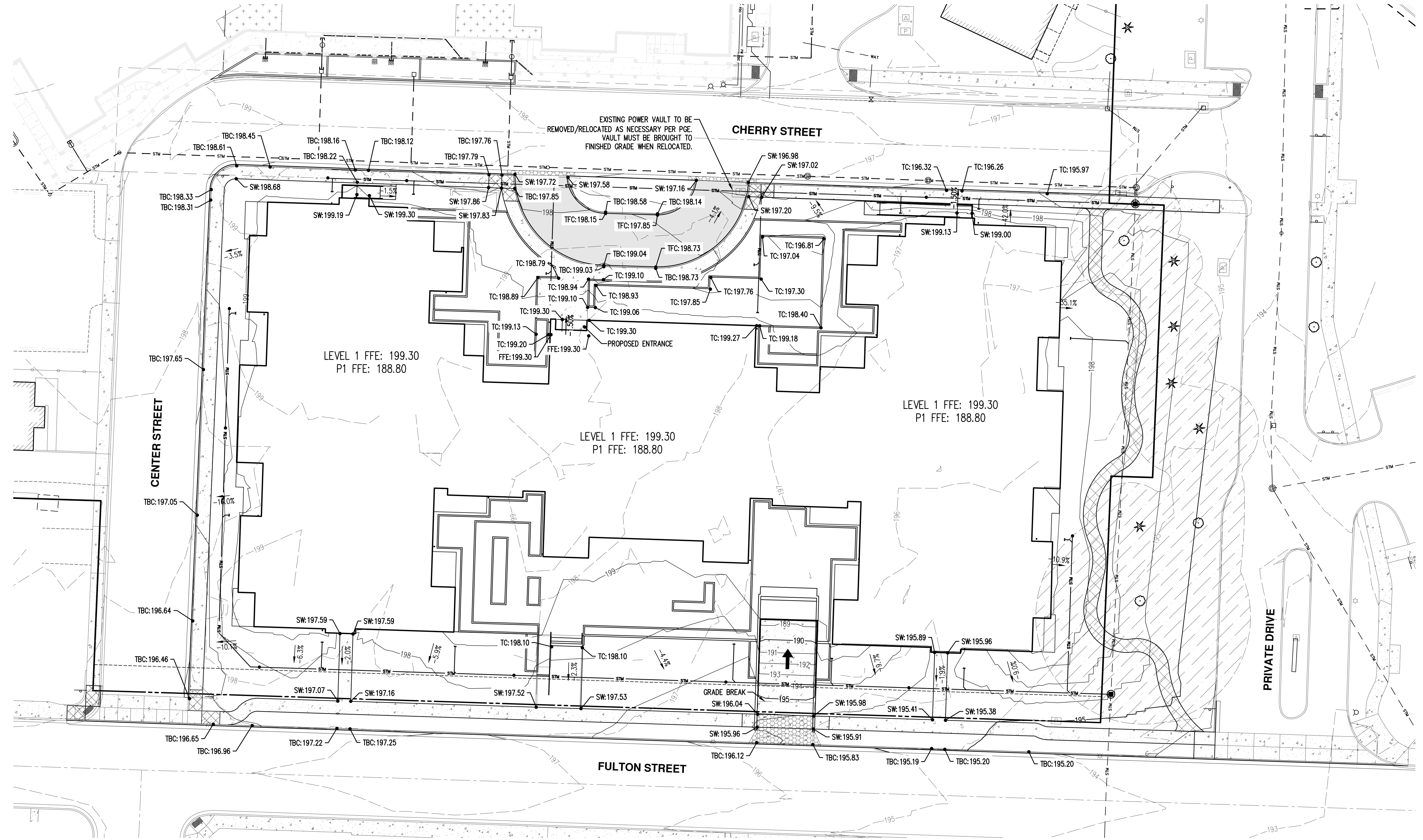
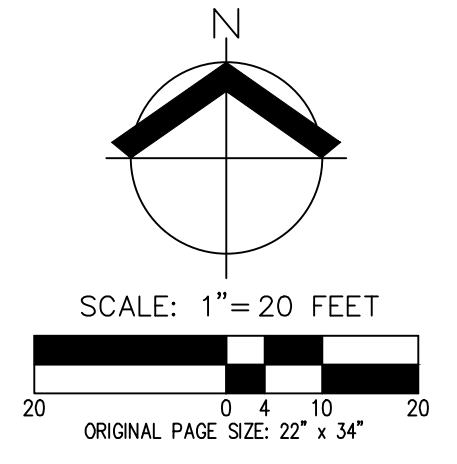


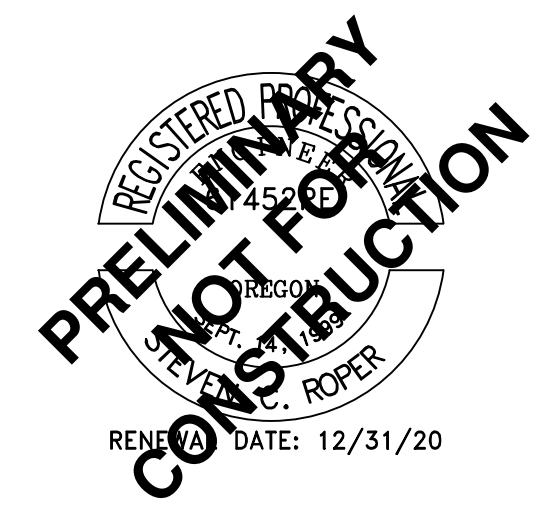
SHEET TITLE:
PRELIMINARY GRADING PLAN

DRAWN BY:
 DATE ISSUED: 10/02/2020

SHEET: **C6**

LEGEND	
EXISTING GROUND CONTOUR (1 FT)	---
EXISTING GROUND CONTOUR (5 FT)	----- 350
FINISHED GRADE CONTOUR (1 FT)	_____ 345
FINISHED GRADE CONTOUR (5 FT)	----- 345
SIDEWALK	SW:100
TOP OF CONCRETE	TC:100
TOP FACE OF CURB	TFC:100
TOP BACK OF CURB	TBC:100
FINISHED FLOOR ELEVATION	FFE:100





CONSULTANT:
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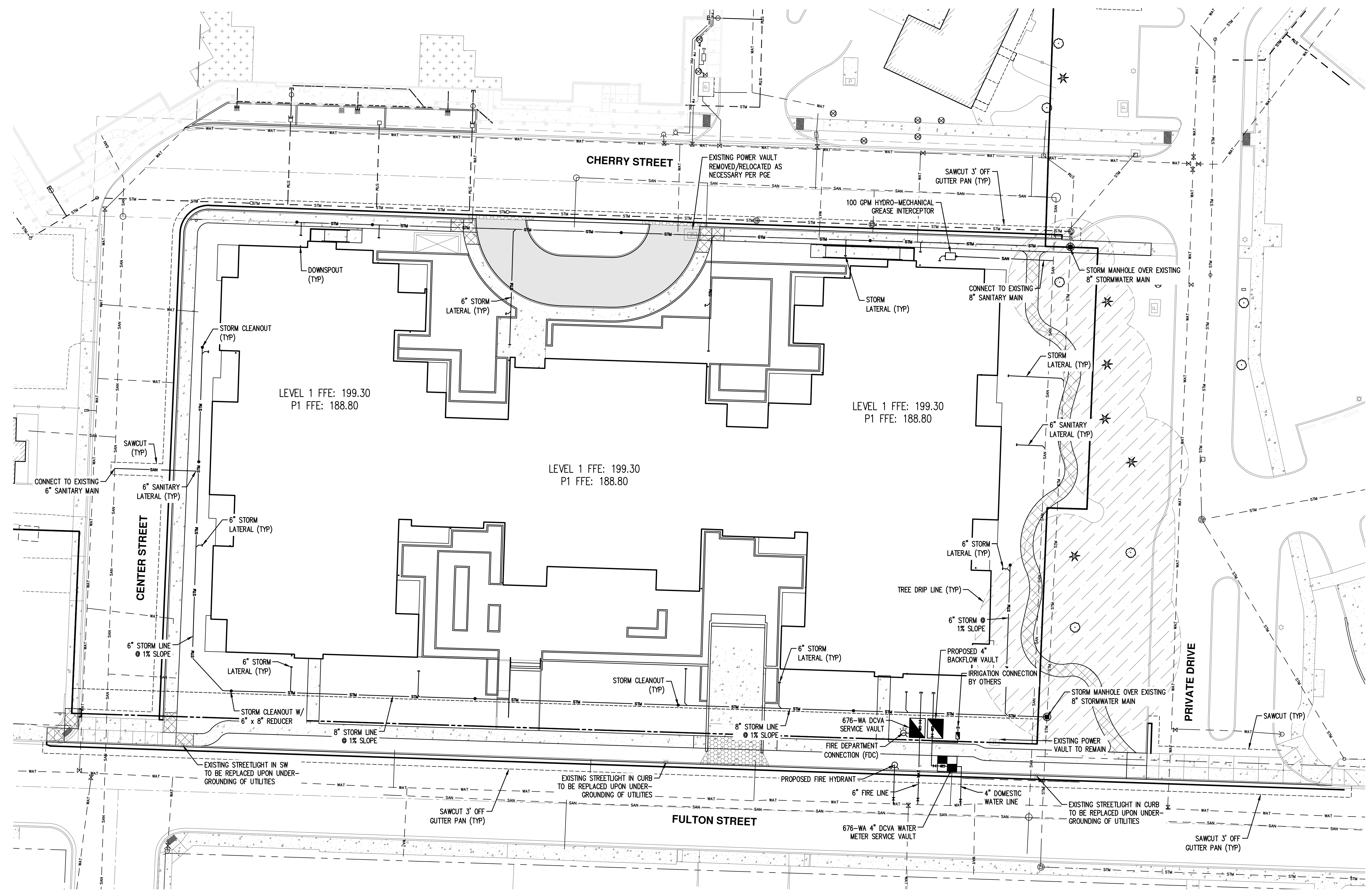
PROJECT NUMBER: 217304
**University Village
 Phase II**
 1001 Fulton Street,
 Newberg OR 97132



SHEET TITLE:
**PRELIMINARY
 COMPOSITE
 UTILITY PLAN**

DRAWN BY:
 DATE ISSUED: 10/02/2020

SHEET: **C7**



PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

SHAPIRO / DIDWAY
1204 SE Water Ave
Portland, Oregon 97214
t. 503.232.0520
www.shapirodidway.com

PROJECT NUMBER: 217304

**University
Village Phase II
(Building #1)**

1001 Fulton Street,
Newberg, OR 97132

Friendsview
RETIREMENT COMMUNITY

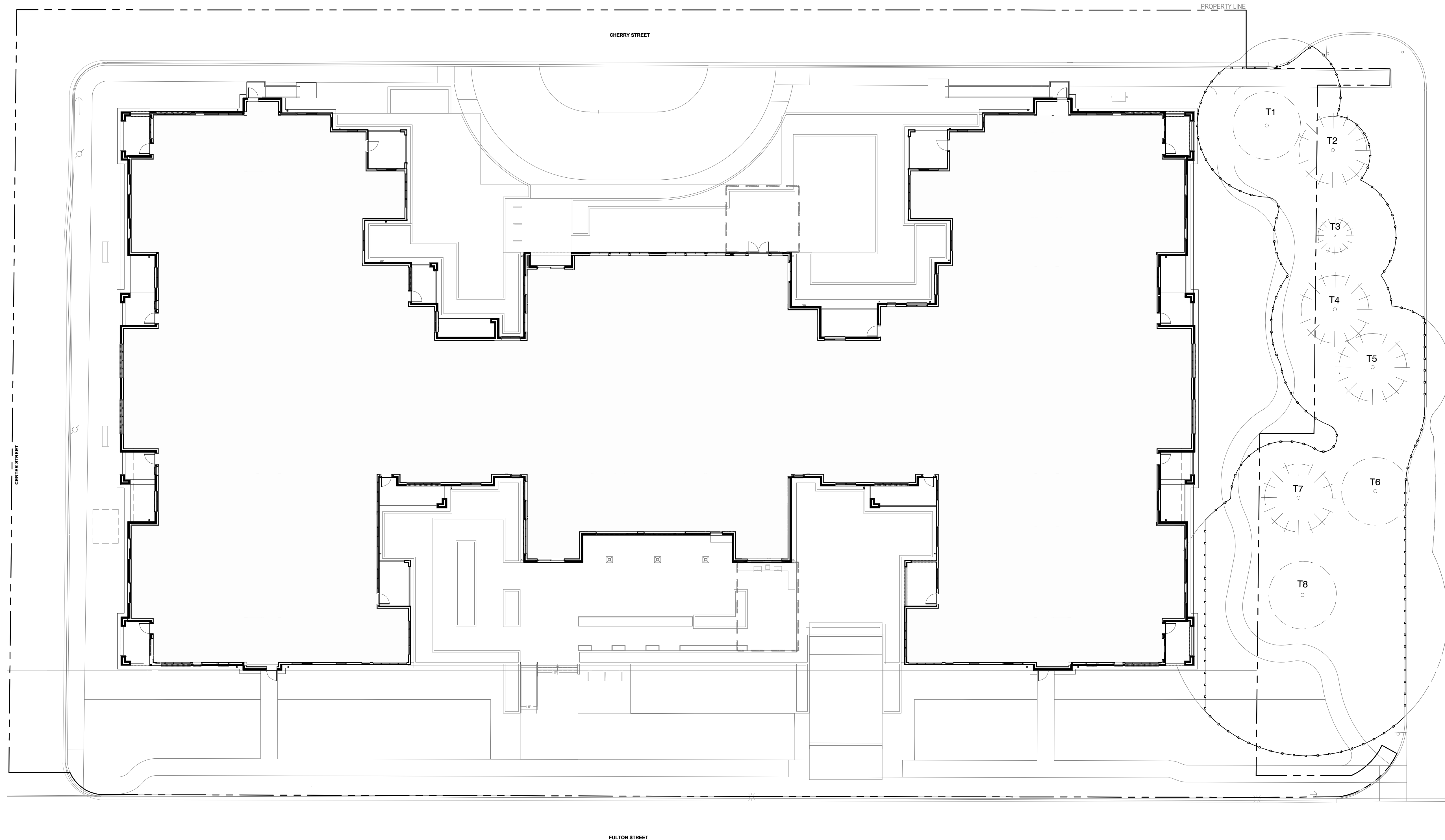
SHEET TITLE:

**EXISTING TREE
INVENTORY
AND
PROTECTION
PLAN**

KEY PLAN:



DRAWN BY:
DATE CREATED:



TREES LEGEND

- DECIDUOUS TREE TO REMAIN
- EVERGREEN TREE TO REMAIN
- TREE ROOTZONE
- TREE PROTECTION FENCING.
REFER TO EXISTING TREE
PROTECTION DETAIL 19/L701

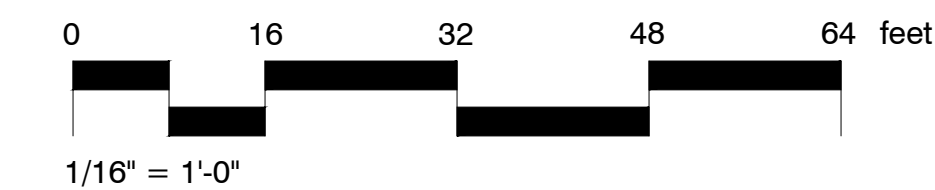
TREE PROTECTION NOTES

- PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES.
- CONSULT CITY FORESTER FOR PRESCRIBED PROTECTION REQUIREMENTS FOR EXISTING STREET TREES.
- INSTALL FENCING PER EXISTING TREE OR TREE PROTECTION PLAN.
- WORK WITHIN THE TREE PROTECTION ZONE SHALL BE REVIEWED AND APPROVED BY PROJECT ARBORIST.
- EXCAVATION WITHIN THE TREE PROTECTION ZONE SHALL BE PERFORMED WITH HANDHELD TOOLS OR AIR SPADE. EXCAVATE THE MINIMUM AMOUNT NECESSARY TO ACCOMPLISH PURPOSE FOR EXCAVATION.
- THE FOLLOWING IS PROHIBITED WITHIN THE ROOT PROTECTION ZONE OF EACH TREE OR OUTSIDE THE LIMITS OF THE DEVELOPMENT IMPACT AREA: GROUND DISTURBANCE OR CONSTRUCTION ACTIVITY INCLUDING VEHICLE OR EQUIPMENT ACCESS (BUT EXCLUDING ACCESS ON EXISTING STREETS OR DRIVEWAYS), STORAGE OF EQUIPMENT OR MATERIALS INCLUDING SOIL, TEMPORARY OR PERMANENT STOCKPILING, PROPOSED BUILDINGS IMPERVIOUS SURFACES, UNDERGROUND UTILITIES, EXCAVATION OR FILL, TRENCHING OR OTHER WORK ACTIVITIES.
- PROTECTIVE FENCE SHALL BE INSTALLED BEFORE ANY GROUND DISTURBING ACTIVITIES INCLUDING CLEARING AND GRADING, OR CONSTRUCTION STARTS, AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION.
- SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.
- TREE PROTECTION ZONE SHALL REMAIN FREE OF ALL CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS.

TREE PRESERVATION LEGEND

TREE NUMBER	TYPE	SPECIES	DBH (IN.)	PROTECT	REMOVE
T1	DECIDUOUS	Maple (Acer sp.)	23	X	
T2	EV/CONIFER	Douglas Fir (Pseudotsuga menziesii)	19	X	
T3	EV/CONIFER	Pine (Pinus sp.)	26	X	
T4	EV/CONIFER	Pine (Pinus sp.)	26	X	
T5	EV/CONIFER	Giant Sequoia (Sequoiadendron giganteum)	61	X	
T6	DECIDUOUS	California Black Oak (Quercus kelloggii)	27	X	
T7	EV/CONIFER	Pine (Pinus sp.)	30	X	
T8	DECIDUOUS	California Black Oak (Quercus kelloggii)	40	X	

1 EXISTING TREE INVENTORY AND PROTECTION PLAN



PRELIMINARY
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CONSULTANT:

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PROJECT NUMBER: 217304

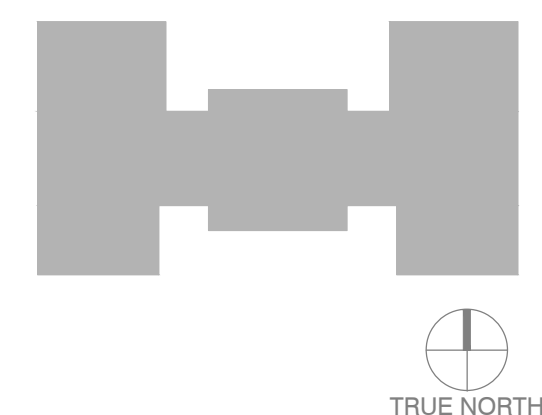
**University
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 (Building #1)**

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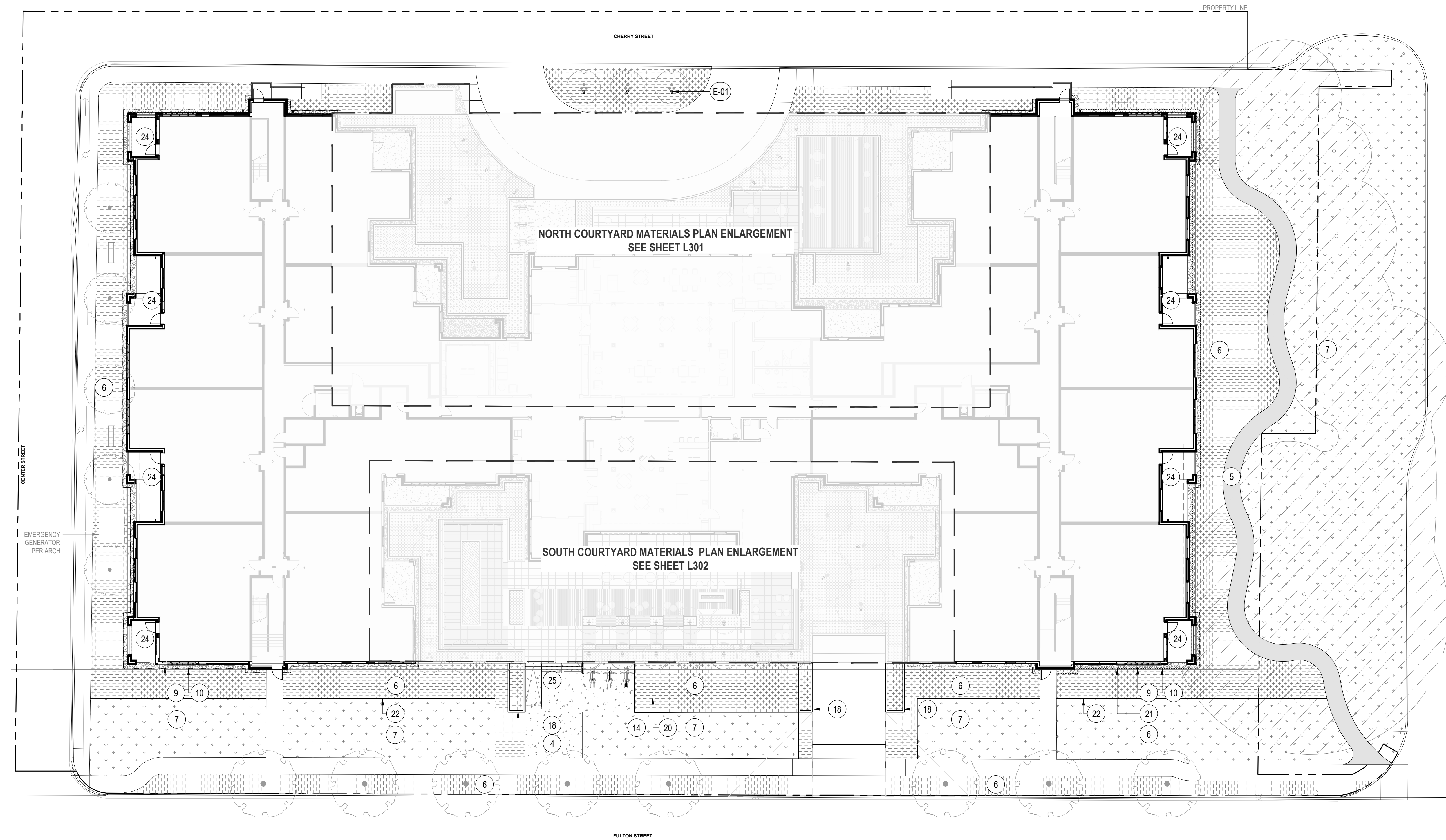
Friendsview
 RETIREMENT COMMUNITY

SHEET TITLE:
**LANDSCAPE
 SITE
 MATERIALS
 PLAN**

KEY PLAN:



DRAWN BY:
 DATE CREATED:

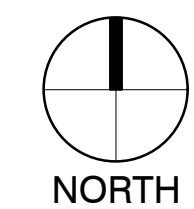
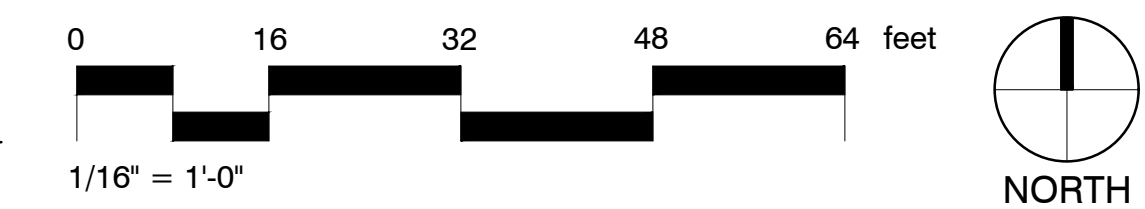


REFERENCE NOTES SCHEDULE - ON SITE

SYMBOL	DESCRIPTION
4	CONCRETE SURFACING, TYP.
5	ASPHALT SURFACING
6	PLANTING AREA, TYP.
7	TURF AREA, TYP.
9	DECORATIVE STONE MAINTENANCE EDGE
10	METAL EDGE RESTRAINT, TYP.
14	BIKE RACK, TYP.
18	RAISED CONCRETE PLANTER
20	CONCRETE EDGE BAND
21	METAL EDGE RESTRAINT, TYP.
22	SHOVEL CUT EDGE, TYP.
24	UNIT PATIO
25	ENTRY STAIRCASE AND RAMP W/ HANDRAILS
SYMBOL	ELECTRICAL DESCRIPTION
E-01	LOW VOLTAGE UPLIGHT, TYP.

REFERENCE NOTES SCHEDULE - RIGHT OF WAY

SYMBOL	DESCRIPTION
6	PLANTING AREA, TYP.



1 LANDSCAPE SITE MATERIALS PLAN

SHEET:
L300
 50% DD SET
 07.30.20

PRELIMINARY
 NOT FOR
 CONSTRUCTION

CONSULTANT:

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 Portland, Oregon 97214
 503.232.0520
 www.shapirodidway.com

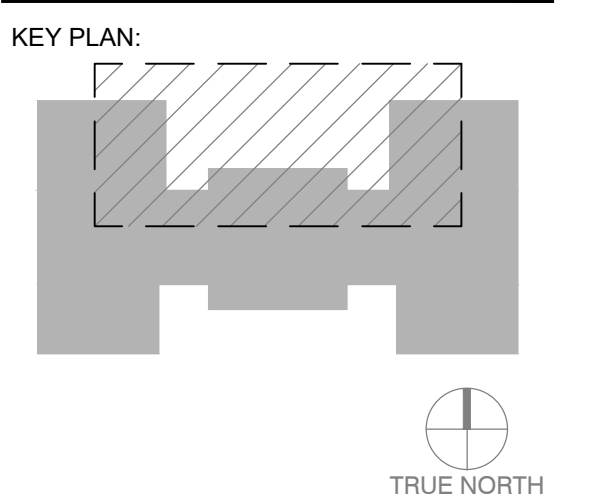
PROJECT NUMBER: 217304

**University
 Village Phase II
 (Building #1)**

1001 Fulton Street,
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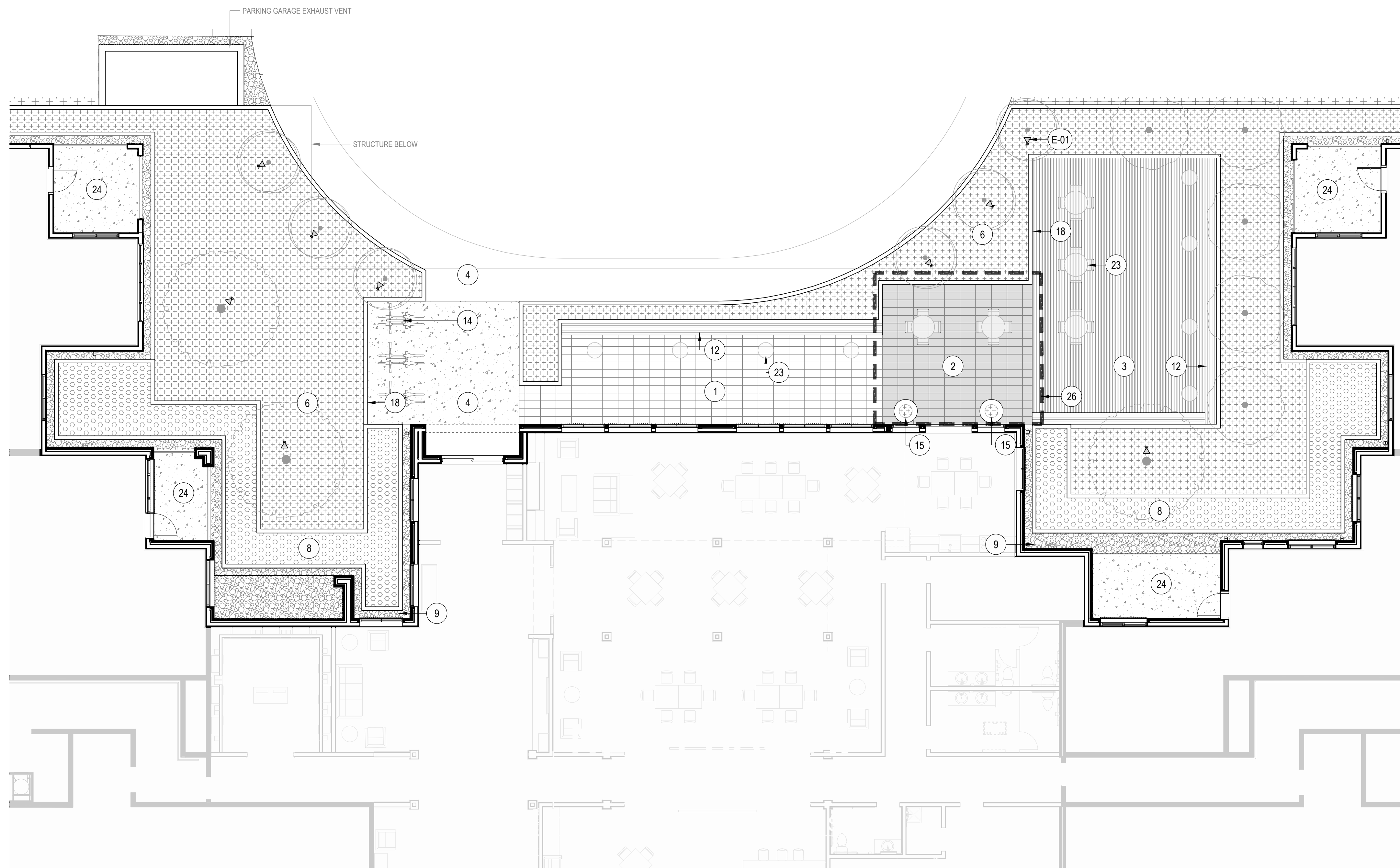
Friendsview
 RETIREMENT COMMUNITY

SHEET TITLE:
**NORTH
 COURTYARD
 MATERIALS
 PLAN
 ENLARGEMENT**

KEY PLAN:

 TRUE NORTH

DRAWN BY:
 DATE CREATED:

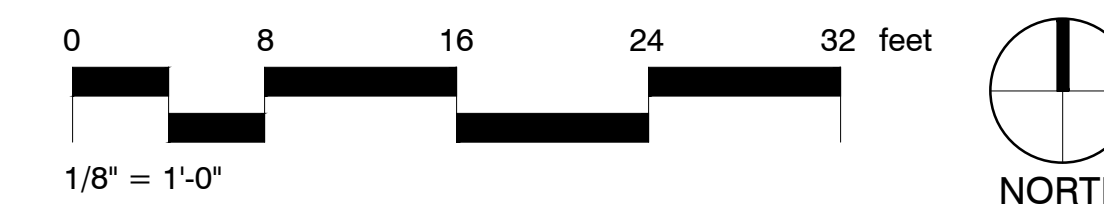
SHEET:
L301
 50% DD SET
 07.30.20



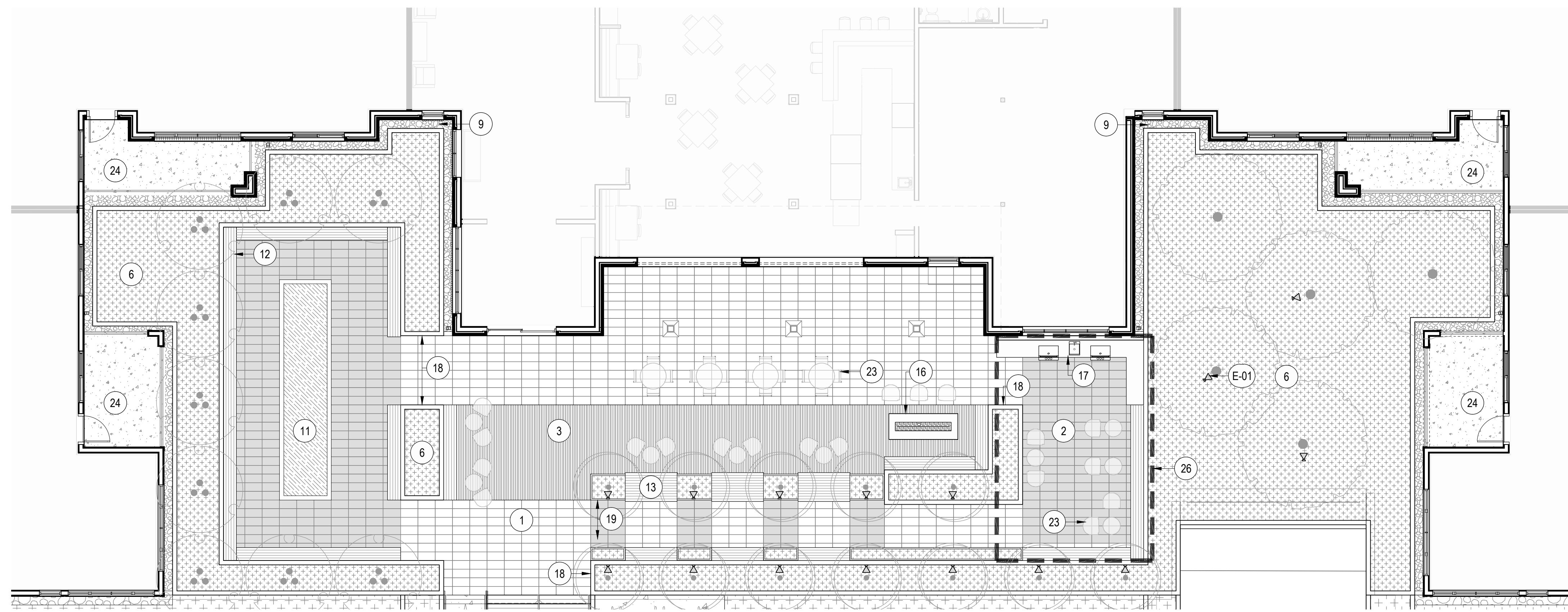
REFERENCE NOTES SCHEDULE - NORTH COURTYARD

SYMBOL	DESCRIPTION
	1 PEDESTAL PAVER - TYPE I, TYP. INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
	2 PEDESTAL PAVER - TYPE II, TYP. INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
	3 COMPOSITE DECKING INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
	4 CONCRETE SURFACING, TYP.
	6 PLANTING AREA, TYP.
	8 STORMWATER FACILITY PLANTING AREA, TYP.
	9 DECORATIVE STONE MAINTENANCE EDGE
	12 BUILT-IN COMPOSITE DECKING BENCH, TYP.
	14 BIKE RACK, TYP.
	15 DECORATIVE PLANTER W/ ORNAMETAL SEASONAL PLANTINGS
	18 RAISED CONCRETE PLANTER
	23 SITE FURNISHING, TYP. SHOWN FOR REFERENCE ONLY
	24 UNIT PATIO
	26 OVERHEAD STRUCTURE
SYMBOL	DESCRIPTION
	E-01 LOW VOLTAGE UPLIGHT, TYP.

1 NORTH COURTYARD MATERIALS PLAN ENLARGEMENT



PRELIMINARY
 NOT FOR
 CONSTRUCTION



REFERENCE NOTES SCHEDULE - SOUTH COURTYARD

SYMBOL	DESCRIPTION
①	PEDESTAL PAVER - TYPE I, TYP. INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
②	PEDESTAL PAVER - TYPE II, TYP. INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
③	COMPOSITE DECKING INSTALLATION TYPE: PEDESTAL SUPPORT SYSTEM
④	CONCRETE SURFACING, TYP.
⑥	PLANTING AREA, TYP.
⑨	DECORATIVE STONE MAINTENANCE EDGE
⑪	GAME AREA/COURT
⑫	BUILT-IN COMPOSITE DECKING BENCH, TYP.
⑬	BUILT-IN COMPOSITE DECKING BENCH - DOUBLE SIDED, TYP.
⑮	FIRE TABLE
⑰	OUTDOOR KITCHEN
⑱	RAISED CONCRETE PLANTER
⑲	RAISED STEEL PLANTER, TYP.
⑳	SITE FURNISHING, TYP. SHOWN FOR REFERENCE ONLY
㉑	UNIT PATIO
㉒	OVERHEAD STRUCTURE
SYMBOL	ELECTRICAL DESCRIPTION
E-01	LOW VOLTAGE UPLIGHT, TYP.

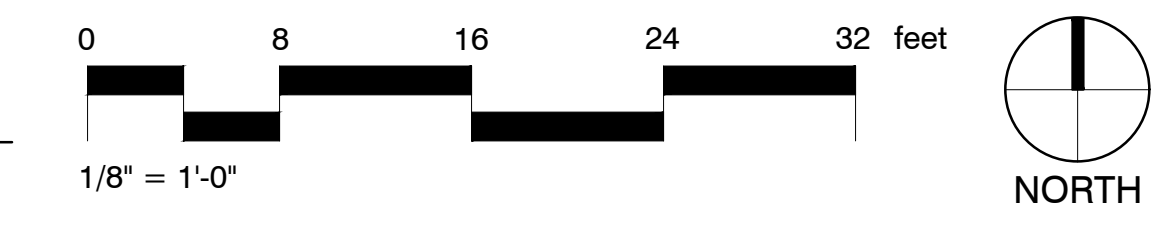
CONSULTANT:
SHAPIRO / DIDWAY
 1204 SE Water Ave
 Portland, Oregon 97214
 T. 503.232.0520
 www.shapirodidway.com

PROJECT NUMBER: 217304
**University
 Village Phase II
 (Building #1)**

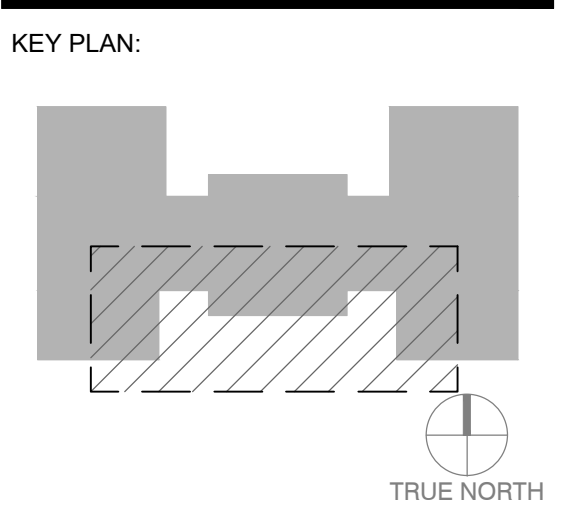
1001 Fulton Street,
 Newberg, OR 97132



① SOUTH COURTYARD MATERIALS PLAN ENLARGEMENT



SHEET TITLE:
**SOUTH
 COURTYARD
 MATERIALS
 PLAN
 ENLARGEMENT**



DRAWN BY:
 DATE CREATED:

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

SHAPIRO / DIDWAY
1204 SE Water Ave
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PROJECT NUMBER: 217304

**University
Village Phase II
(Building #1)**

1001 Fulton Street,
Newberg, OR 97132

Friendsview
RETIREMENT COMMUNITY

SHEET TITLE:
**SITE PLANTING
PLAN**

KEY PLAN:



DRAWN BY:
DATE CREATED:

LANDSCAPE AREA:

LOT AREA OF DISTURBANCE:	77,557 SF
LANDSCAPE AREA:	30,814 SF
LOT LANDSCAPE PERCENTAGE:	39.7%

PLANTING NOTES:

- DO NOT FULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO LACK OF PROVIDING SUCH NOTIFICATION.
- ENSURE THAT FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET AT THE PROPER ELEVATIONS RELATIVE TO PAVING FINISH SURFACE ELEVATIONS. UTILITY COVERS AND CURBS, SHRUBS PLANTING AREAS AT 2" BELOW AND LAWN 1" BELOW ADJACENT GRADE. NOTIFY OWNER OF ANY DISCREPANCIES.
- ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS TO DRAIN AWAY FROM BUILDING, 2% MINIMUM.
- QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
- EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD. STAGE ALL PLANT MATERIAL ON-SITE PER PLAN, IN THE PLANT CONTAINERS. LARGER TREES MAY BE CENTER MARKED BY PAINTING OR STAKES. NOTIFY LANDSCAPE ARCHITECT OF PLACEMENT 48 HOURS PRIOR TO REQUIRED INSPECTION BY LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT PLACEMENT WHILE STILL IN THE CONTAINERS, AT NO ADDITIONAL COST TO THE OWNER, BEFORE GIVING APPROVAL TO THE FINAL LOCATION FOR PLANTING.
- PLANTING SHALL NOT BE PERFORMED PRIOR TO THE FOLLOWING APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE:
 - OPERATIONAL IRRIGATION SYSTEM PROVIDING HEAD TO HEAD COVERAGE
 - DECOMPACTION AND PRE-PLANTING SOIL AMENDMENTS ARE COMPLETE.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS ON-SITE AND THOSE AREAS INDICATED ON DRAWINGS, NOTIFY THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL EXPOSED SOIL PLANTING AREAS TO RECEIVE A 3-INCH DEEP LAYER OF LANDSCAPE ARCHITECT APPROVED MULCH.
 - PROVIDE ROOT CONTROL BARRIERS FOR ALL TREES PLANTED WITHIN 5' OF A HARDSCAPE EDGE OF PAVING. REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION.
 - INSTALL PLANT MATERIAL WITH ITS BEST SIDE FACING PREDOMINATE VIEW OF PUBLIC.
 - PROVIDE THE PROPER SETBACK BETWEEN UTILITIES AND TREES. CONTACT CITY INSPECTOR FOR REQUIRED SETBACKS IN THE CASE THAT THE DRAWINGS ARE NOT CLEAR.
 - PROVIDE A 4 FT. DIAMETER MULCH CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS UNLESS NOTED OTHERWISE.
 - PLANT SUBSTITUTIONS DUE TO AVAILABILITY, SHALL BE SUBMITTED IN WRITING TO LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL PLANTING WITHIN THE RIGHT OF WAY SHALL MEET THE LOCAL JURISDICTION REQUIREMENTS, PLANTING STANDARDS, AND SITE VISION TRIANGLE CLEARANCE STANDARDS. CLEAR AND GRUB ALL INVASIVE VEGETATION. VERIFY ACTION FOR ALL NON-INVASIVE VEGETATION WITH LANDSCAPE ARCHITECT UNLESS OTHERWISE NOTED IN PLANS.

PLANT SCHEDULE - ON SITE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	CK	CORNUS KOUSA X MUTTALLII 'OM-43' STARLIGHT KOUSA DOGSWOOD	B & B	2" CAL	12-15' H
	LA	LAGERSTROEMIA X 'NATCHEZ' WHITE CRAPE MYRTLE MULTI-TRUNK • MULTI-STEM • LIMBED-UP 7 FT	B & B	MULTI-TRUNK	12-14' H
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
	VM	ACER CIRCINATUM VINE MAPLE	25 GAL		8-10 FT.
	CS	CAMELIA SASANQUA 'GREEN 02-004' TM OCTOBER MAGIC WHITE SHI-SHI CAMELLIA	5 GAL		
	CT	CHOISYA TERNATA 'AZTEC PEARL' MEXICAN ORANGE	5 GAL		
	CI	CISTUS X AGUILARI 'MACULATUS' ROCKROSE	5 GAL		
	IL	ILEX X MESSERVAE 'CASTLE WALL' CASTLE WALL HOLLY	5 GAL		
	RL	RHOODENDRON DORA AMATEIS LOW WHITE RHOODENDRON	5 GAL		
	TB	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GAL		
	SR	SARCOCOCCA RUSCOFOLIA FRAGRANT SARCOCOCCA	5 GAL		
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
	CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	3 GAL		

SHRUB AREAS

CODE	BOTANICAL / COMMON NAME	CONT.
AU	ARCTOSTAPHYLOS UVA-URSI KIRINKANNIK	1 GAL
LO	LONICERA PILEATA PRIVET HONEYSUCKLE	5 GAL
RO	ROSA X 'NOASCHNEE' WHITE GROUNDCOVER ROSE	3 GAL

ORNAMENTAL GRASS AREAS

CODE	BOTANICAL / COMMON NAME	CONT.
PEAL	PENNSETUM ALOPECUROIDES 'HAMELN' HAMELN DWARF FOUNTAIN GRASS	2 GAL

GROUND COVERS

CODE	BOTANICAL / COMMON NAME	CONT.
ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' MASSACHUSETTS MANZANITA	1 GAL
LIMU	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	1 GAL

SEEDED LAWN

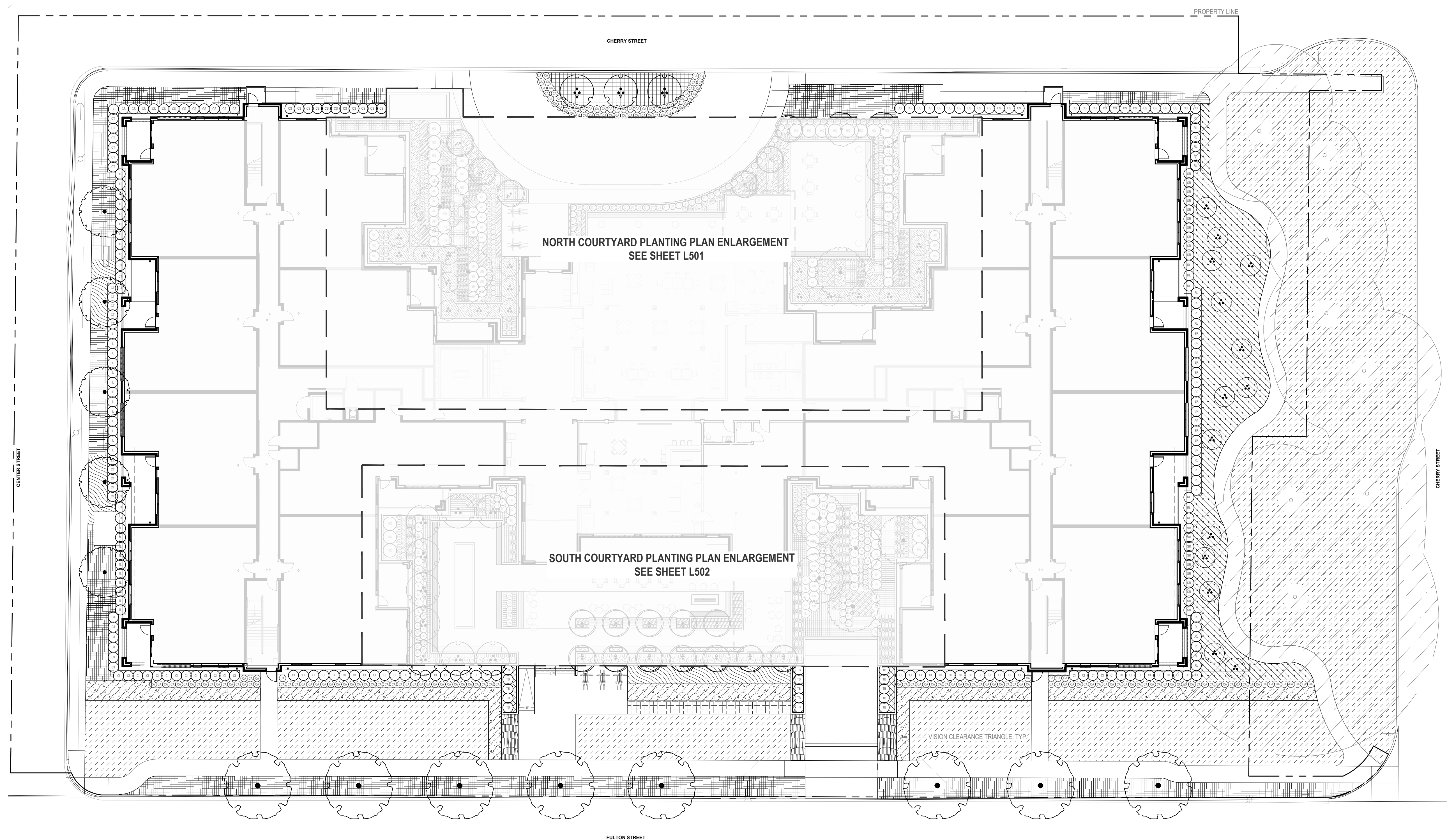
CODE	BOTANICAL / COMMON NAME	CONT.
LAWN	LAWN SUNMARK SEED NORTHWEST PREMIUM BLEND 10# PER 1,000 SF	HYDROSEED

PLANT MIX SCHEDULE - ON SITE

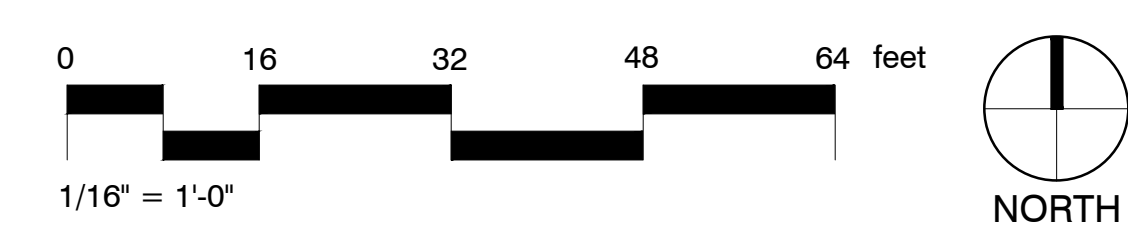
	PLANT GROUP A IRIS TENAX / OREGON IRIS PENNSETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL 35% @ 12" oc 2 GAL 65% @ 18" oc
	PLANT GROUP B CISTUS X AGUILARI 'MACULATUS' / ROCKROSE IRIS TENAX / OREGON IRIS PENNSETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	5 GAL 40% @ 36" oc 1 GAL 10% @ 12" oc 2 GAL 50% @ 18" oc
	PLANT GROUP C ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' / MASSACHUSETTS MANZANITA DISCHAMBRISA CESPITOSA / TUFTED HAIR GRASS GAULTHERIA SHALLOX / SALAL POLYSTICHUM MUNITUM / WESTERN SWORD FERN RIBES SANGUINEUM / RED FLOWERING CURRANT VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	1 GAL 15% @ 18" oc 1 GAL 10% @ 18" oc 1 GAL 35% @ 18" oc 2 GAL 20% @ 24" oc 5 GAL 10% @ 36" oc 5 GAL 10% @ 36" oc

PLANT SCHEDULE - RIGHT OF WAY

TREES	CODE	BOTANICAL / COMMON NAME	CONT.
	ZS	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA	B & B
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	CONT.
	LO	LONICERA PILEATA / PRIVET HONEYSUCKLE	5 GAL



1 SITE PLANTING PLAN



SHEET:
L500
50% DD SET
07.30.20

PRELIMINARY
 NOT FOR
 CONSTRUCTION

CONSULTANT:

SHAPIRO / DIDWAY
 1204 SE Water Ave
 Portland, Oregon 97214
 T. 503.232.0520
 www.shapirodidway.com

PROJECT NUMBER: 217304

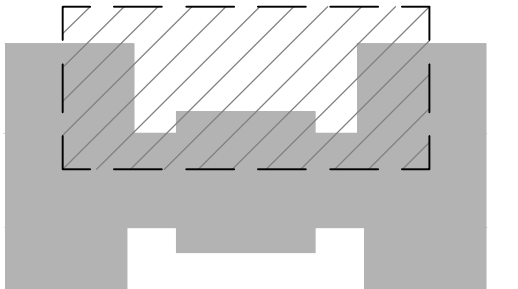
**University
 Village Phase II
 (Building #1)**

1001 Fulton Street,
 Newberg, OR 97132

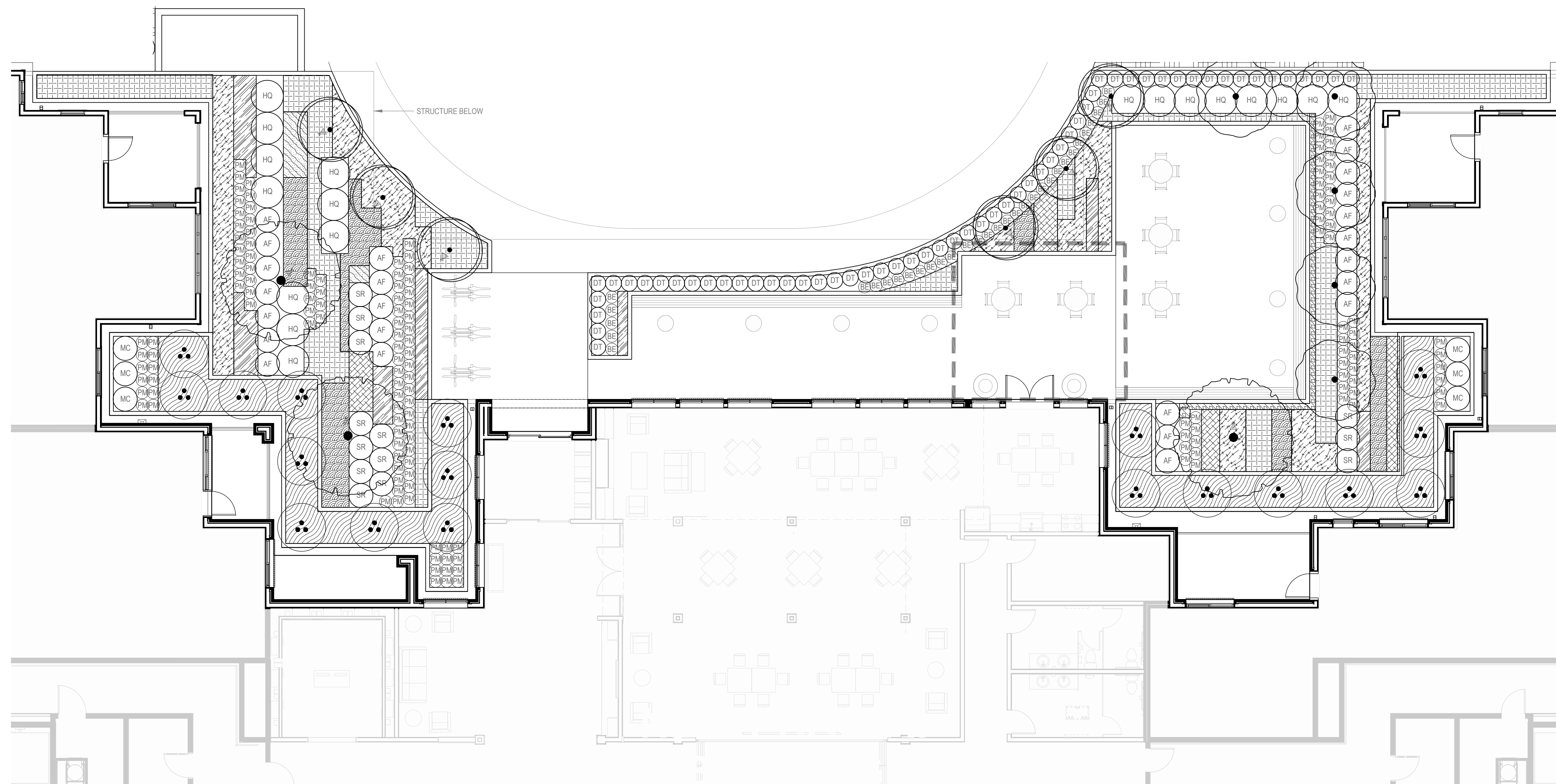


SHEET TITLE:
**NORTH
 COURTYARD
 PLANTING
 PLAN
 ENLARGEMENT**

KEY PLAN:



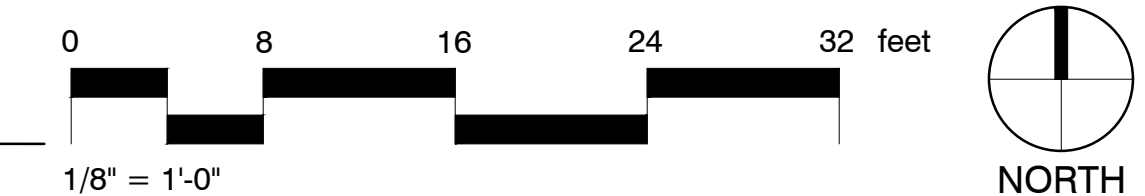
DRAWN BY:
 DATE CREATED:



PLANT SCHEDULE - NORTH COURTYARD

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AG	ACER GRISEUM PAPERBARK MAPLE	25 GAL	MULTI-TRUNK	10'-12" H
	AP	ACER PALMATUM 'SEIRYU' SEIRYU JAPANESE MAPLE	25 GAL	2" CAL	8-10' H
	CK	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD	B & B	2" CAL	12-15' H
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
	VM	ACER CIRCINATUM VINE MAPLE L-2500A MULTI-STEM L-2500A LIMBED-UP 5 FT	25 GAL	8-10 FT.	
	BE	BERGENIA X 'BRESSINGHAM WHITE' BRESSINGHAM WHITE BERGENIA	3 GAL		
	AF	CORNUS SERICEA 'ARCTIC FIRE' ARCTIC FIRE DOGWOOD	5 GAL		
	DT	DAPHNE X TRANSATLANTICA 'ALBA EVERBLOOM' EVERBLOOM DAPHNE	3 GAL		
	HQ	HYDRANGEA QUERCIFOLIA 'PEE WEE' OAKLEAF HYDRANGEA	5 GAL		
	MC	MYRICA CALIFORNICA PACIFIC WAX MYRTLE	3 GAL		
	PM	POLYSTICHUM MUNITUM WESTERN SWORD FERN	3 GAL		
	SR	SARCOCOCCA RUSCIFOLIA FRAGRANT SARCOCOCCA	5 GAL		
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT		
	CAMO	CAREX MORROWII TEMNOLEPUS 'SILK TASSEL' JAPANESE SEDGE	1 GAL		
	GAIL	GAULTHERIA SHALLON SALAL	1 GAL		
	HAKO	HAKONECHLOA MACRA JAPANESE FOREST GRASS	1 GAL		
	HEIP	HELLEBORUS X 'IVORY PRINCE' IVORY PRINCE HELLEBORE	1 GAL		
	IRIS	IRIS SIBIRICA 'WHITE SWIRLS' WHITE SWIRLS SIBERIAN IRIS	1 GAL		
	LIMU	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	1 GAL		
	OXOR	OXALIS OREGANA REDWOOD SORREL	4POT		
STORMWATER	CODE	BOTANICAL / COMMON NAME	CONT		
	JUPA	JUNCUS PATENS CALIFORNIA GRAY RUSH	1 GAL		

1 NORTH COURTYARD PLANTING PLAN ENLARGEMENT



PRELIMINARY
 NOT FOR
 CONSTRUCTION

CONSULTANT:

SHAPIRO / DIDWAY
 1204 SE Water Ave
 Portland, Oregon 97214
 503.232.0520
 www.shapirodidway.com

PROJECT NUMBER: 217304

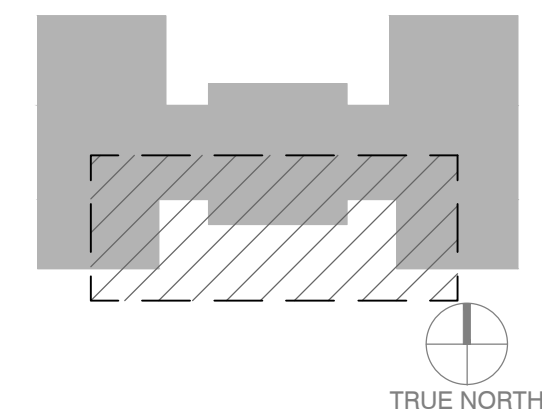
**University
 Village Phase II
 (Building #1)**

1001 Fulton Street,
 Newberg, OR 97132

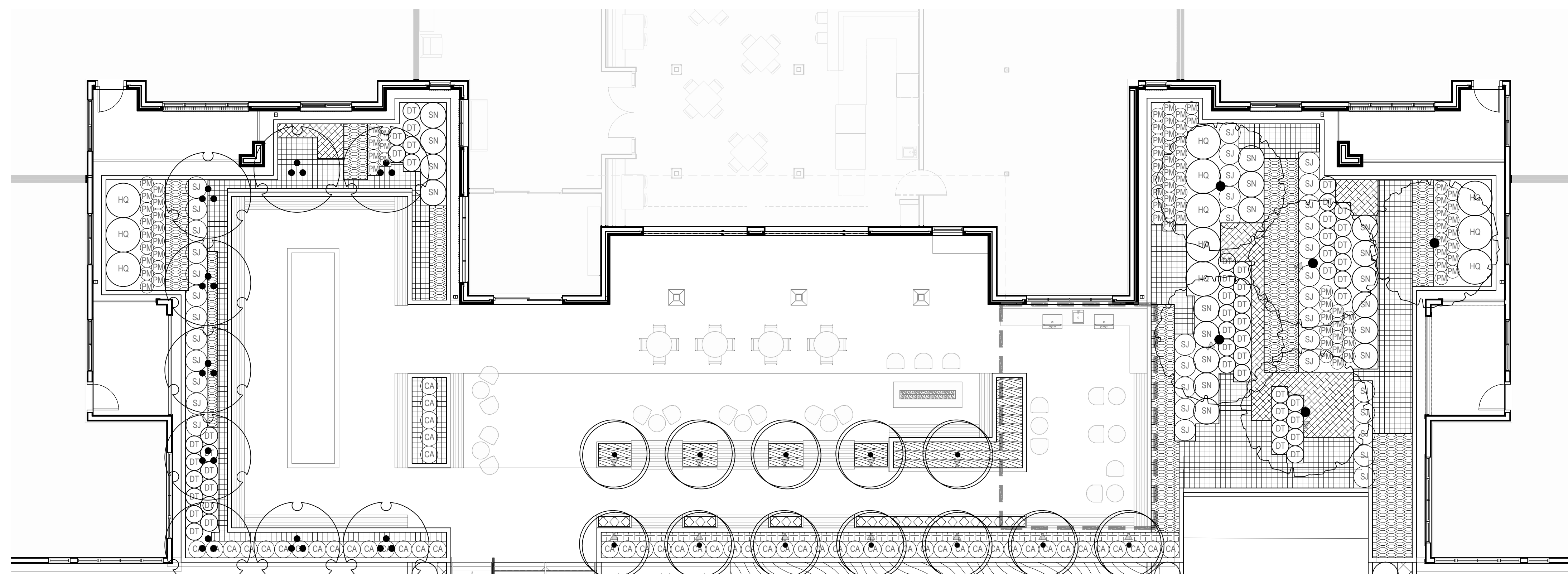
Friendsview
 RETIREMENT COMMUNITY

SHEET TITLE:
**SOUTH
 COURTYARD
 PLANTING
 PLAN
 ENLARGEMENT**

KEY PLAN:



DRAWN BY:
 DATE CREATED:

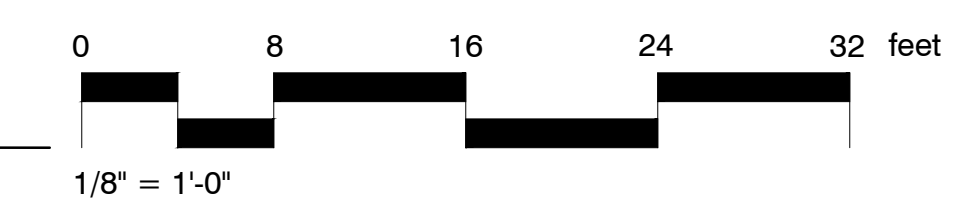


PLANT SCHEDULE - SOUTH COURTYARD

TREES	CODE	BOTANICAL / COMMON NAME	CONT	GAL	SIZE
●	AP	ACER PALMATUM 'SEIRYU' SEIRYU JAPANESE MAPLE	25 GAL	2" CAL	8-10' H
○	CK	CORNUS KOUSA X NUTTALLII 'KM-43' STARLIGHT KOUSA DOGWOOD	8 & 8	2" CAL	12-15' H
○	LA	LAGERSTROEMIA X 'NATCHEZ' MULTI-TRUNK WHITE CRAPE MYRTLE + LIMBED-UP 7 FT	8 & 8	MULTI-TRUNK	12-14' H
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
○	DT	DAPHNE X TRANSATLANTICA 'ALBA EVERBLOOM' EVERBLOOM DAPHNE	3 GAL		
○	HQ	HYDRANGEA QUERCIFOLIA 'PEE WEE' OAKLEAF HYDRANGEA	5 GAL		
○	PM	POLYSTICHUM MUNITUM WESTERN SWORD FERN	3 GAL		
○	SJ	SPIRAEA JAPONICA 'GOLDMOUND' GOLDMOUND SPIREA	5 GAL		
○	SN	SPIRAEA JAPONICA 'SNOWMOUND' SNOWMOUND SPIREA	5 GAL		
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	HT.	
○	CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	3 GAL		
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	
■	TJ	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	3 GAL	24" o.c.	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	
■	ARUV	ARCTOSTAPHYLOS UVA-URSIS 'MASSACHUSETTS' MASSACHUSETTS MANZANITA	1 GAL	15" o.c.	
■	DECE	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS	1 GAL	18" o.c.	
■	GAUL	GAULTHERIA SHALLON SALAL	1 GAL	18" o.c.	
■	LIMU	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	1 GAL	12" o.c.	

PLANT MIX SCHEDULE - SOUTH COURTYARD

PLANT GROUP A	IRIS TENAX / OREGON IRIS	1 GAL	35% @ 12" oc
■	PENNISETUM ALFECUROIDES 'HAEMEL' / HAEMEL DWARF FOUNTAIN GRASS	2 GAL	65% @ 18" oc



1 SOUTH COURTYARD PLANTING PLAN ENLARGEMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:
SHAPIRO / DIDWAY
1204 SE Water Ave
Portland, Oregon 97214
1-503-232-0520
www.shapirodidway.com

PROJECT NUMBER: 217304
**University
Village Phase II
(Building #1)**

1001 Fulton Street,
Newberg, OR 97132

Friendsview
RETIREMENT COMMUNITY

SHEET TITLE:
**IRRIGATION
PLAN**

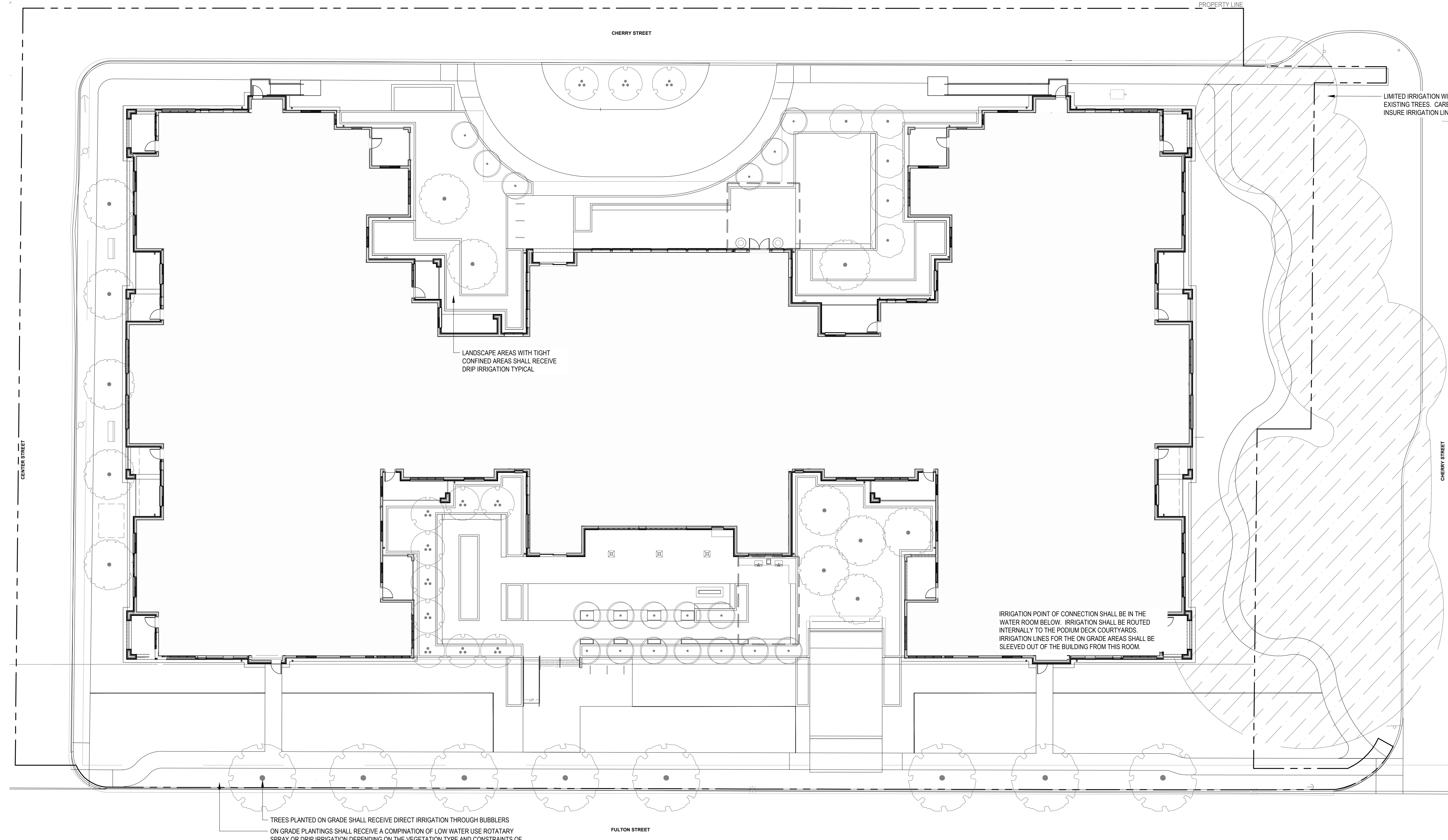
KEY PLAN:



DRAWN BY:
DATE CREATED:

SHEET:
L600
50% DD SET
07.30.20

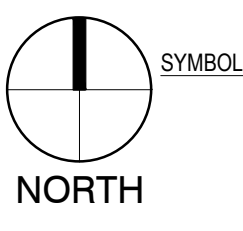
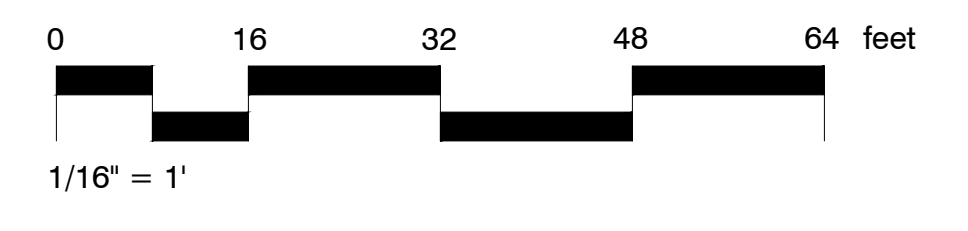
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
⊙	HUNTER MP CORNER PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. T=TURQUOISE ADJ ARC 45-105.	40
⊙	HUNTER MP STRIP PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BRONW SIDE STRIP, RST=COPPER RIGHT STRIP.	40
⊙	HUNTER MP1000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	40
⊙	HUNTER MP2000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	40
⊙	HUNTER MP3000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	40
⊙	HUNTER MP3500 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. L=LIGHT BROWN ADJUSTABLE ARC, 90-210.	40
⊙	HUNTER MP3500SR PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	40
⊙	HUNTER MP815 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON AND GRAY ADJ ARC 90 TO 210, L=LIGHT BLUE AND GRAY 210 TO 270 ARC, O=OLIVE AND GRAY 360 ARC.	40
⊙	HUNTER MP CORNER PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. T=TURQUOISE ADJ ARC 45-105 ON PRS40 BODY.	40
⊙	HUNTER MP STRIP PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. LST=IVORY LEFT STRIP, SST=BRONW SIDE STRIP, RST=COPPER RIGHT STRIP, ON PRS40 BODY.	40
⊙	HUNTER MP1000 PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC ON PRS40 BODY.	40
⊙	HUNTER MP2000 PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC ON PRS40 BODY.	40
⊙	HUNTER MP3000 PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC ON PRS40 BODY.	40
⊙	HUNTER MP3500 PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. L=LIGHT BROWN, ADJUSTABLE ARC, 90-210, ON PRS40 BODY.	40
⊙	HUNTER MP3500SR PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY OR = ORANGE ADJ ARC 90 TO 210.	40
⊙	HUNTER MP815 PROS-12-PRS40-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE. M=MAROON AND GRAY ADJ ARC 90 TO 210, L=LIGHT BLUE AND GRAY 210 TO 270 ARC, O=OLIVE AND GRAY 360 ARC ON PRS40 BODY.	40
⊙	HUNTER PROS-PR330-04-CV-MSBN MULTI-STREAM BUBBLER, 4" POP-UP, FACTORY INSTALLED DRAIN CHECK VALVE. 25=25GPM, 50=50GPM, 10=10GPM, 20=20GPM.	30
⊙	HUNTER RZWS-18 18" LONG RZWS WITH INSTALLED 25GPM OR 50GPM BUBBLER OPTIONS, 1/2" SWING JOINT FOR CONNECTION TO 1/2" PIPE	30
⊙	MANUFACTURER/MODEL/DESCRIPTION	
⊙	HUNTER ICZ 101-40 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION -40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	
⊙	NETAFM TL50V NETAFM TL50V- 1/2" MANUAL FLUSH VALVE. BARBED INSERT. INSTALL IN 1" BOX WITH ADEQUATE BLANK OR "COBRA" TUBING TO EXTEND VALVE OUT OF VALVE BOX. 17MM FITS TECHLINE HCVR, HCVR-RWR/RWP, CV, DL, RW AND RWP DRIP LINES, AND PE IRRIGATION HOSE.	
⊙	AREA TO RECEIVE DRIPLINE HUNTER HDL-04-12-CV HDL-04-12-CV: HUNTER DRIPLINE W/ 0.4 GPH EMITTERS AT 12" O.C. CHECK VALVE. DARK BROWN TUBING WITH TAN STRIPPING. DRIPLINE LATERALS SPACED AT 12" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	
⊙	AREA TO RECEIVE DRIPLINE HUNTER HDL-09-12-CV HDL-09-12-CV: HUNTER DRIPLINE W/ 0.9 GPH EMITTERS AT 12" O.C. CHECK VALVE. DARK BROWN TUBING W/ BLACK STRIPPING. DRIPLINE LATERALS SPACED AT 12" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	
⊙	MANUFACTURER/MODEL/DESCRIPTION	
⊙	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
⊙	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
⊙	ZURN 350XL DOUBLE CHECK VALVE ASSEMBLY W/ EZSWAP INSERT.	
⊙	HUNTER PNC-2400 W/IF ENABLED, FULL FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 24-STATION FIXED CONTROLLER, 120 VAC, INDOOR MODEL.	
⊙	HUNTER HC-200-FLOW 2" FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	
⊙	POINT OF CONNECTION 1-1/2" AVAILABLE WATER PRESSURE IS CURRENTLY UNKNOWN	



1 IRRIGATION PLAN

- GENERAL IRRIGATION NOTES:**
- ALL PLANTED AREAS TO BE IRRIGATED, WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM. IRRIGATION ZONES SHALL BE BROKEN UP INTO HYDROZONES BASED ON VEGETATION TYPE, PLANTING AREA, AND MICROCLIMATE.
 - PLAN IS DIAGRAMMATIC. STAKE ALL VALVE BOX LOCATIONS FOR APPROVAL. SET VALVE BOXES SQUARE TO ADJACENT BUILDING, CURB, OR PAVING.
 - ALL PIPE UNDER BUILDINGS, ROADS, WALKS, PARKING AREAS OR OTHER PAVED SURFACES SHALL BE SLEEVED, WHETHER SHOWN OR NOT. SLEEVES SHALL MINIMUM 4" DIAMETER, OR AS INDICATED. SLEEVING MAY BE INCLUDED FOR FUTURE WORK.
 - ALL PIPE OR EQUIPMENT SHOWN IN PAVING ADJACENT AND PARALLEL TO PLANTED AREAS IS INTENDED TO BE PLACED IN THAT AREA WHERE POSSIBLE. ALL MATERIAL TO BE INSTALLED ON OWNERS PROPERTY.
 - MAKE ANY AND ALL REQUIRED ADJUSTMENTS TO THE IRRIGATION PLAN TO ASSURE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY.
 - SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - PROVIDE GATE VALVES AT POINTS OF CONNECTION. GATE VALVES SHALL BE INSTALLED AT MINIMUM 12" DEPTH.
 - LATERAL LINE SHALL HAVE 18" OF COVER, AND MAIN LINES 24". 36" MAXIMUM COVER UNDER ROADWAYS.
 - REFER TO PLANTING AND LAYOUT PLANS FOR EXACT LAYOUT. INTENT IS THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER.
 - VERIFY STATIC PRESSURE AT POC AT COMMENCEMENT OF CONTRACT. PROVIDE POC PSI SUBMITTAL TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
 - BACKFLOW INSTALLATION SHALL CONFORM TO LOCAL CODES FOR ASSEMBLY INSTALLATION REQUIREMENTS.
 - PROTECT AND PRESERVE SLAB MEMBRANE ON ROOF AND/OR IN PLANTERS.

PIPE SIZE	GPM
3/4"	0-7
1"	7-12
1 1/4"	12-22
1 1/2"	22-32
2"	32-52
2 1/2"	52-70
3"	70-110



PRELIMINARY
 NOT FOR
 CONSTRUCTION

CONSULTANT:
SHAPIRO / DIDWAY
 1204 SE Water Ave
 Portland, Oregon 97214
 503.232.0520
 www.shapirodidway.com

PROJECT NUMBER: 217304
**University
 Village Phase II
 (Building #1)**

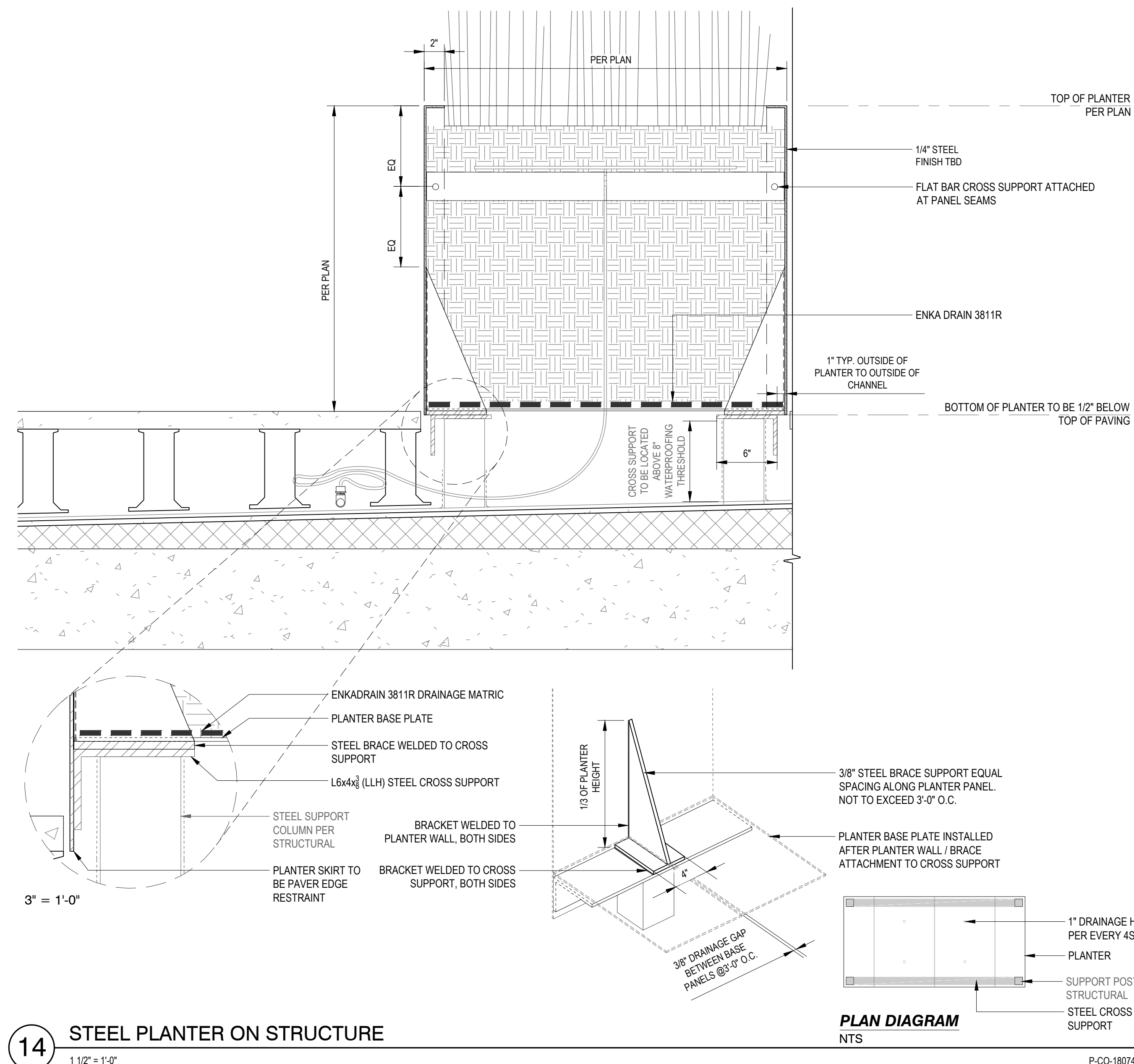
1001 Fulton Street,
 Newberg, OR 97132

Friendsview
 RETIREMENT COMMUNITY

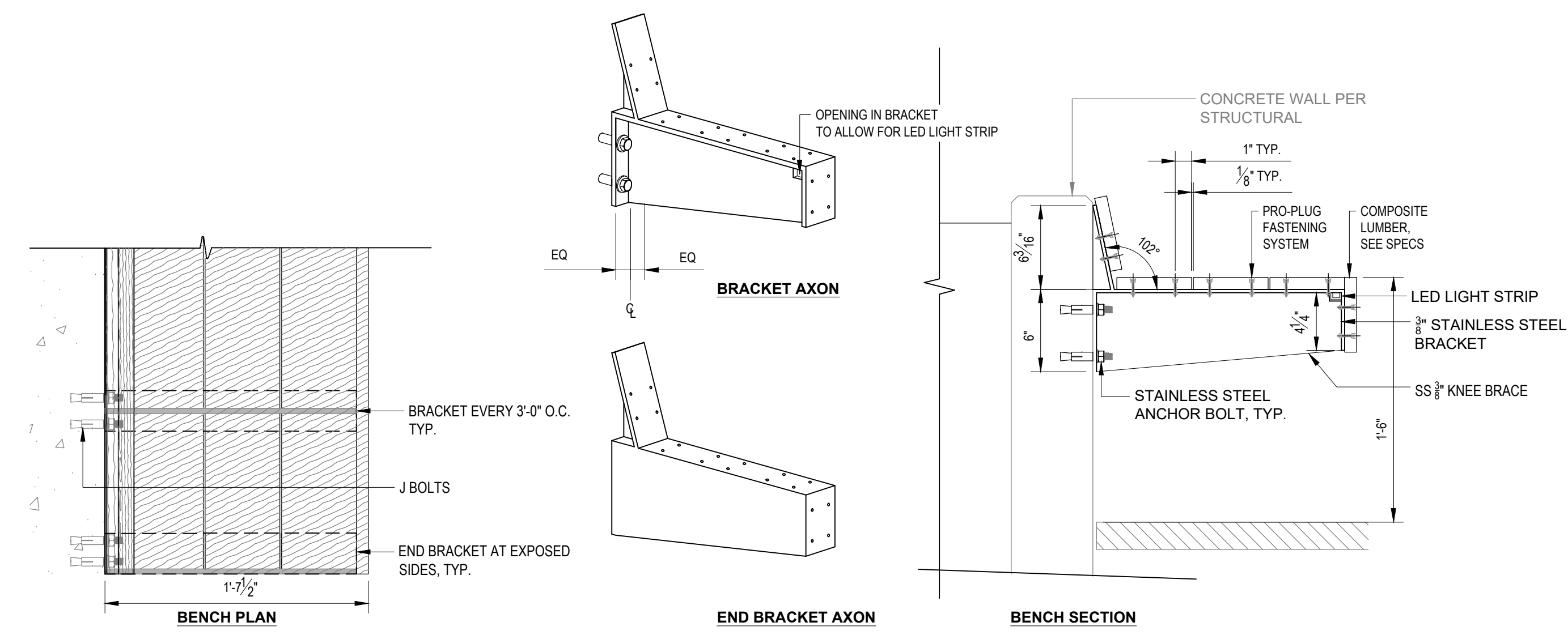
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**LANDSCAPE
 CONSTRUCTION
 DETAILS**

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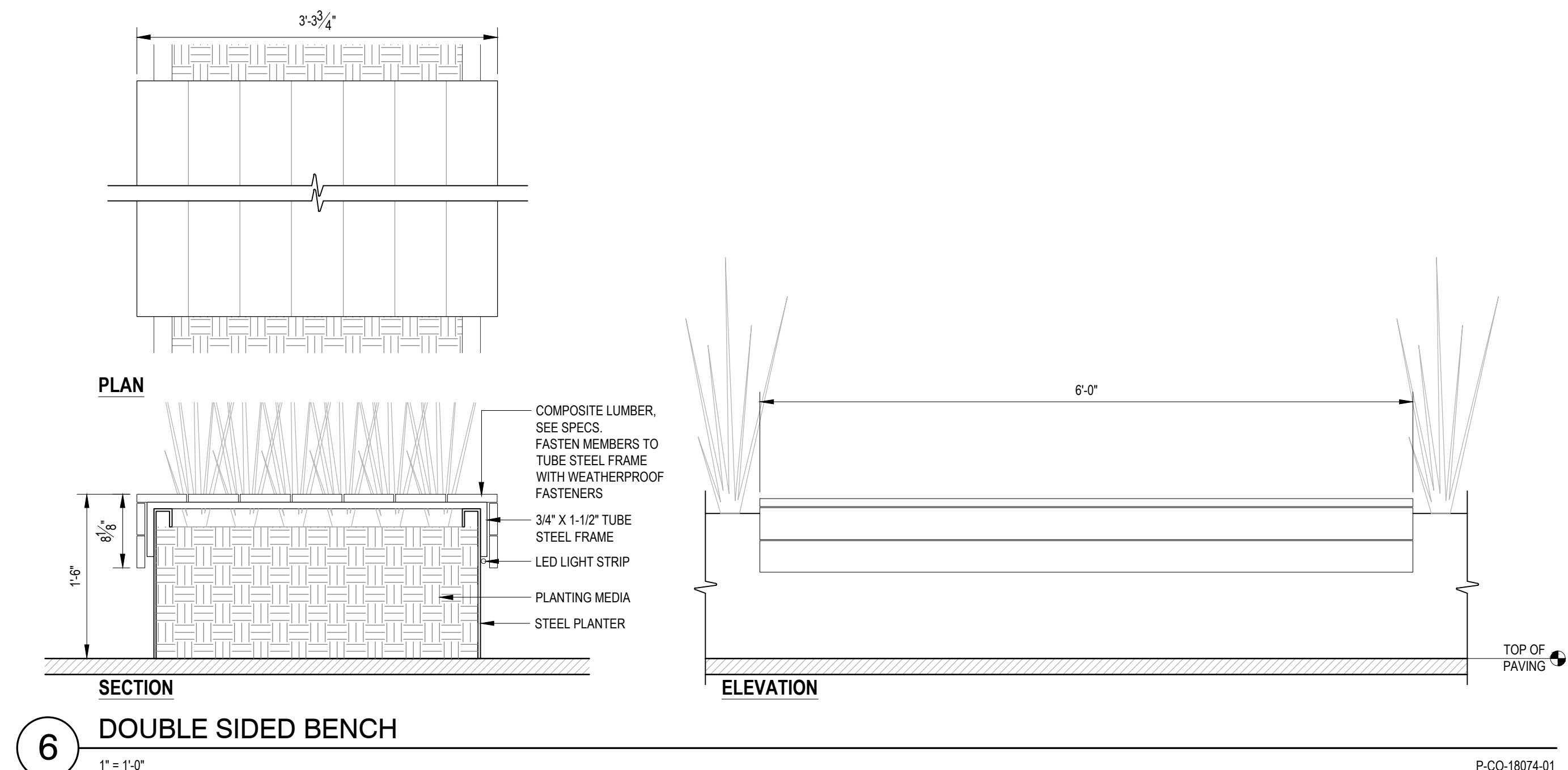
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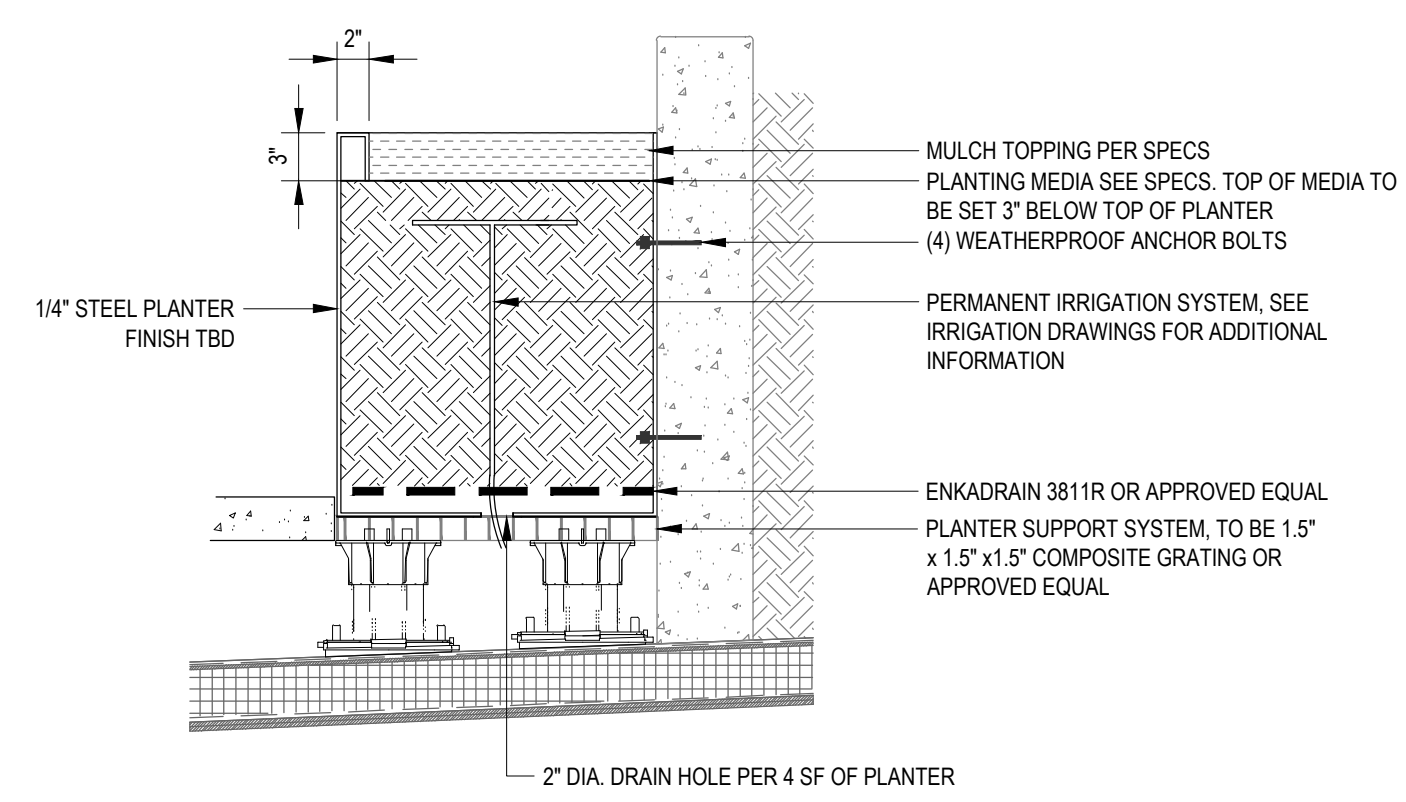
14 STEEL PLANTER ON STRUCTURE
 1 1/2" = 1'-0"



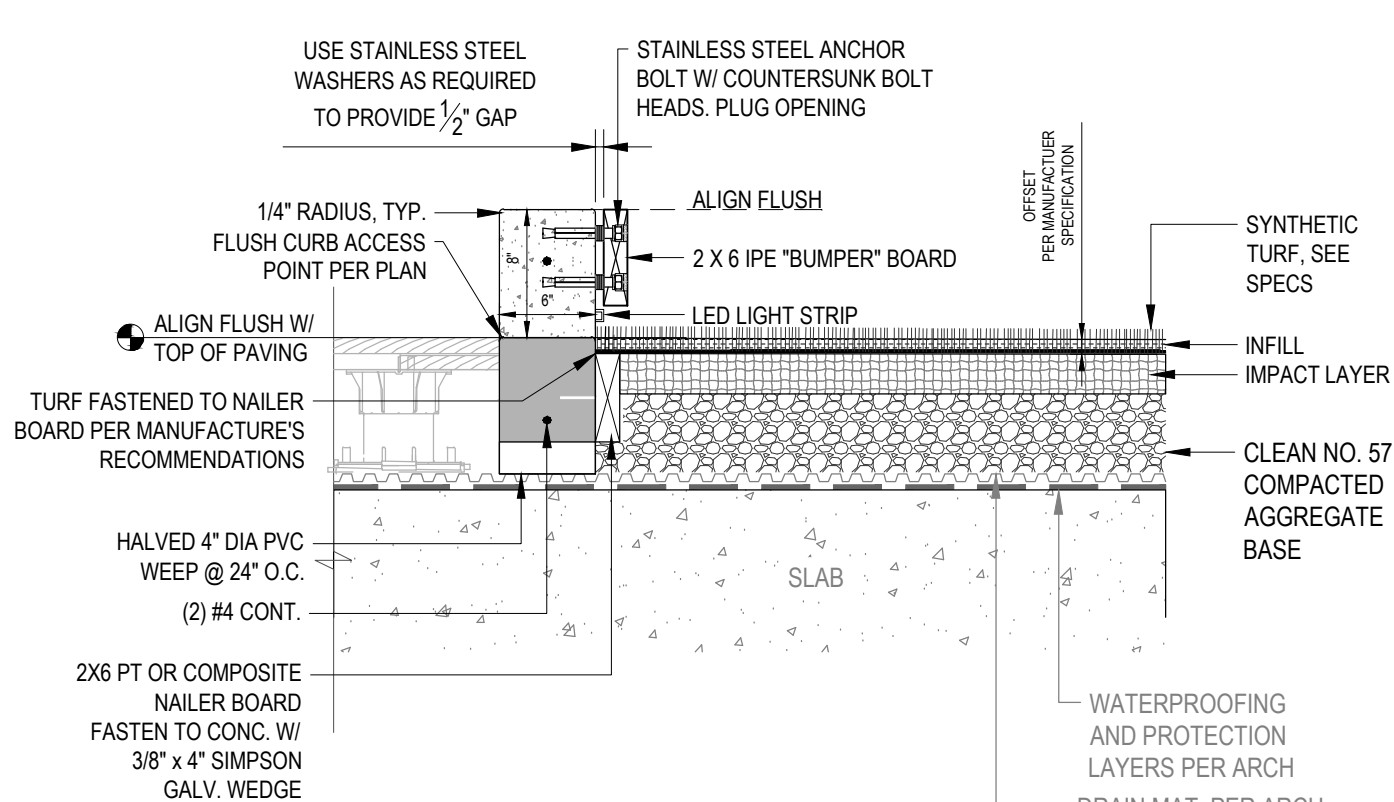
5 CANTILEVER BENCH
 1 1/2" = 1'-0"



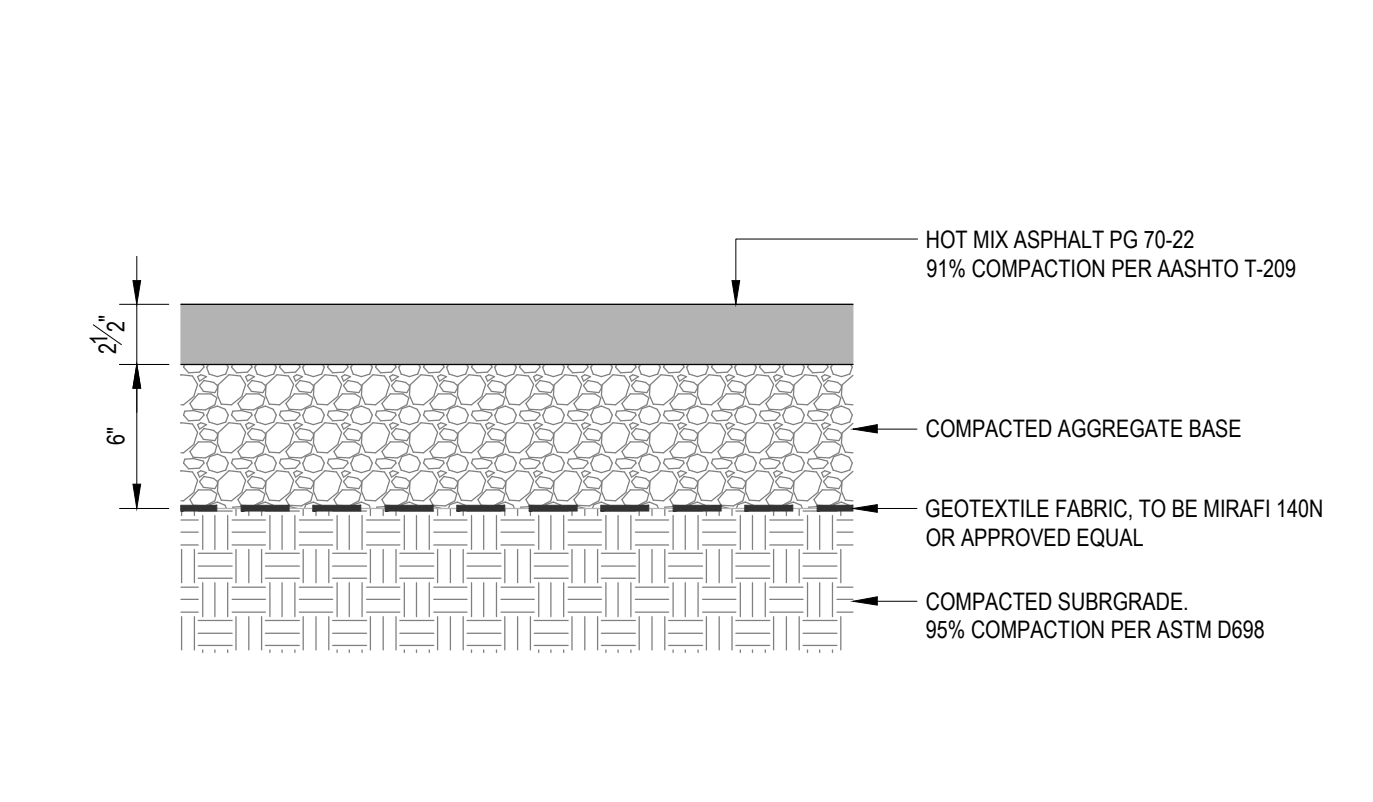
6 DOUBLE SIDED BENCH
 1" = 1'-0"



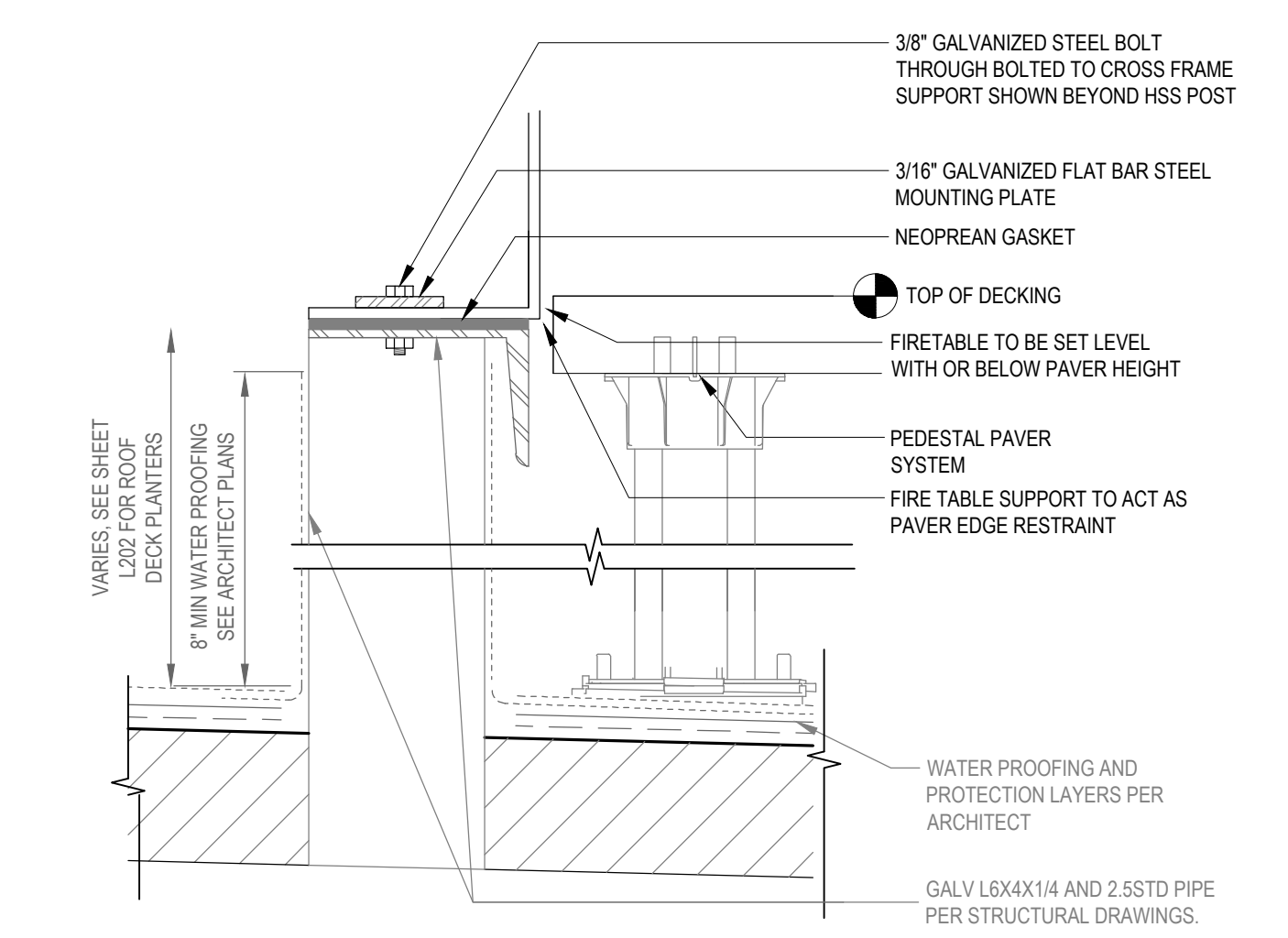
11 STEEL PLANTER W/ BASE SUPPORT
 1" = 1'-0"



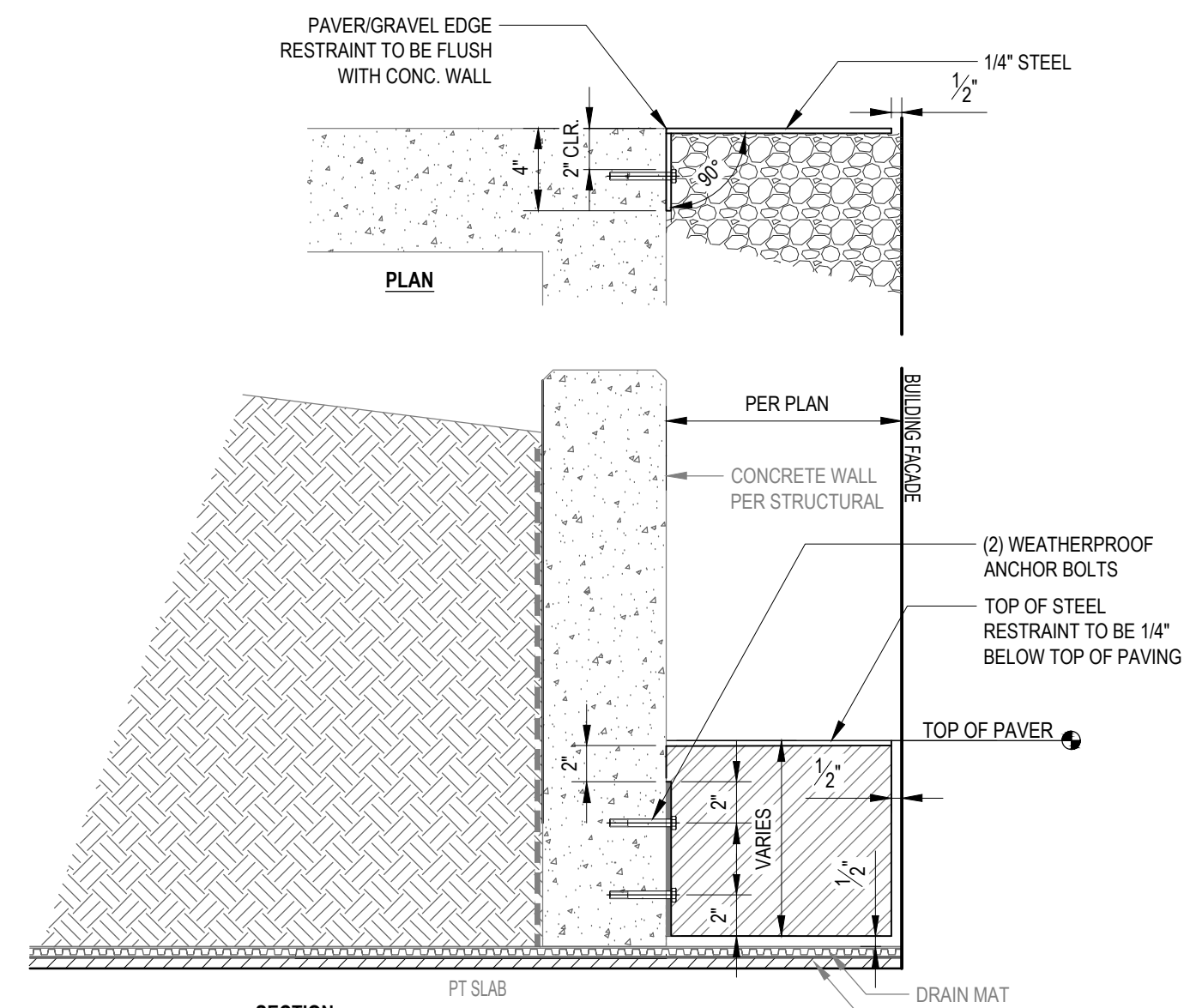
7 SYNTHETIC TURF W/ CURB EDGE RESTRAINT
 1" = 1'-0"



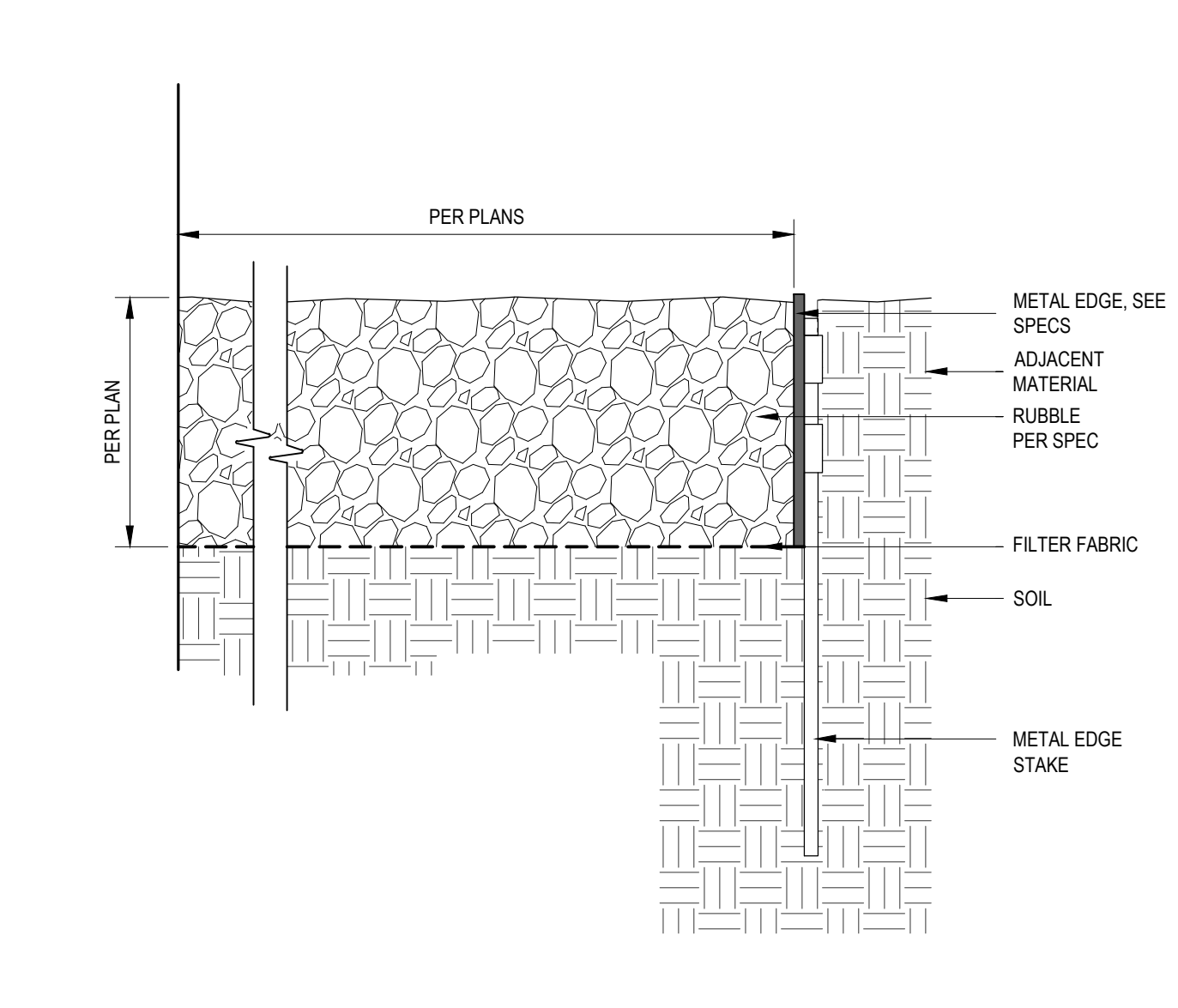
3 HOT MIX ASPHALT PAVEMENT SECTION
 1 1/2" = 1'-0"



12 FIRE TABLE CONNECTION TO STRUC. SUPPORT
 3" = 1'-0"



8 STEEL EDGE RESTRAINT ATTACH TO CONC. WALL
 1 1/2" = 1'-0"



4 RIGID METAL EDGE RESTRAINT
 3" = 1'-0"

TREE PROTECTION NOTES

- OWNER SHALL RETAIN A CERTIFIED ARBORIST. ALL REFERENCES WITHIN THIS DOCUMENT REFER TO THE OWNER'S CERTIFIED ARBORIST.
- ALL TREES WILL NEED TO BE EVALUATED AND TAGGED FOR PRESERVATION OR DEMOLITION BY THE OWNER'S CERTIFIED ARBORIST.
- THE PROJECT ARCHITECT AND OWNER'S CERTIFIED ARBORIST SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND WITH THE TREES IDENTIFIED ON THIS PLAN AND ACTUAL CONDITIONS.

FENCING PROTECTION ZONE

ALL ZONES

- PROTECTIVE FENCING SHALL BE PROVIDED AND MAINTAINED AT THE DRIP LINE OF EACH TREE OR GROUP OF TREES AT THE DRIP LINE. ORANGE OR GREEN PVC WEB FENCING MAY BE USED ONLY AS APPROVED BY THE CITY AND OWNER. ZONE C FENCING BEYOND THE DRIP LINE IS NOT REQUIRED BUT IS RECOMMENDED WHERE POSSIBLE.
- THE APPROVAL OF THE OWNER'S CERTIFIED ARBORIST IS REQUIRED FOR USE/ACCESS WITHIN ZONES.
- SURFACE PROTECTION MEASURES REQUIRED SUCH AS WOOD PLANKING OR STEEL PLATES UNDER BACKHOE STABILIZERS PLACED ANYWHERE WITHIN ZONES.
- BARK MULCH REQUIRED AT 1" DEPTH KEPT 12 INCHES CLEAR OF TRUNK.
- NO MATERIALS, EQUIPMENT, SPILL, OR WASTE OR WASHOUT / WASTEWATER I.E. CEMENT MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE AT ALL TIMES.
- PROVIDING SEASONAL WATERING AS NEEDED TO MAINTAIN HEALTH AND VIGOR OF PLANTS TO REMAIN. THIS INCLUDES PROVIDING WATER SUPPLY, PIPING AND HOSES, AND APPLICATION MATERIALS AND THE LABOR REQUIRED TO PROVIDE PROPER WATER APPLICATION.

TRENCHING / EXCAVATION

ZONE A (CRITICAL ROOT ZONE)

[CRZ] IS DETERMINED BY TRUNK DIAMETER MEASURED AT CHEST HEIGHT (DBH) AND CRZ IS EQUAL TO 1-FOOT RADIUS FOR EVERY 1" DIAMETER OF TREE]

- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
- SEVERANCE OF ROOTS LARGER THAN 2 INCHES IN DIAMETER REQUIRES THE OWNER'S CERTIFIED ARBORIST APPROVAL.
- TUNNELING REQUIRED TO INSTALL LINES 3 FEET BELOW GRADE OR DEEPER
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

ZONE B (DRIPLINE)

[DEFINED AS MAXIMUM WIDTH OF BRANCH EXTENSION ON TREE]

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO THE OWNER'S CERTIFIED ARBORIST APPROVAL.
- MAINTAIN 2/3 OR MORE OF ZONE IN UNDISTURBED CONDITION.
- WHEN TRENCHING FOR UTILITIES WITHIN ZONE B, HAND DIG OR TUNNEL AROUND ROOTS WHENEVER POSSIBLE. CUT ALL ROOTS CLEANLY WITH SHARP PRUNERS OR SAWS. IF ROOTS OVER 2" DIA. ARE ENCOUNTERED, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE. FOR INSPECTION AND APPROVAL PRIOR TO PROCEEDING. ROOT PRUNE AND REMEDY ONLY AS DIRECTED BY THE OWNER'S CERTIFIED ARBORIST.
- AIR OR WATER-SPADING, OR BORING MAY BE REQUIRED BY IN ZONE A OR ZONE B IF CONDITIONS WARRANT.
- FOR INSTALLATION OF SILT FENCING, DO NOT TRENCH IN ZONE A OR ZONE B. INSTEAD SECURE TOE OF FENCING WITH DRAIN ROCK OR SUITABLE SOIL AND MONITOR/MAINTAIN FENCING AS NECESSARY TO PREVENT EROSION.
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

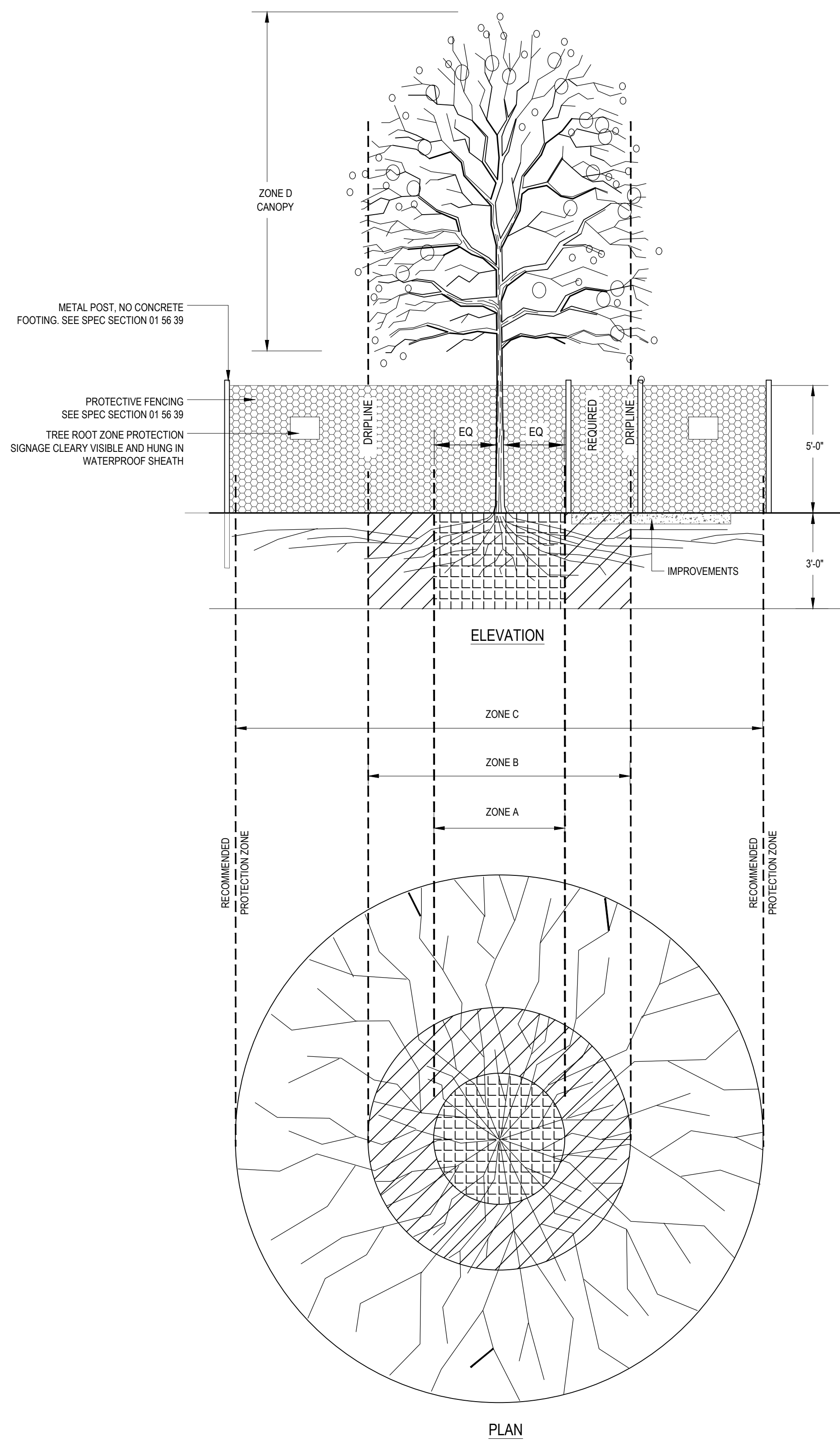
ZONE C (ABSORBING ROOT ZONE)

[ARZ] IS DETERMINED BY TRUNK DIAMETER MEASURED AT CHEST HEIGHT (DBH) AND ARZ IS EQUAL TO 2-FOOT RADIUS FOR EVERY 1" DIAMETER OF TREE.]

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO OWNER'S AUTHORIZED REPRESENTATIVE APPROVAL.
- TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - MINIMIZE TRENCH WIDTH
 - MAINTAIN 2/3 OR MORE OF ZONE IN UNDISTURBED CONDITION
 - OR AS SPECIFIED BY THE OWNER'S CERTIFIED ARBORIST
- ALL NON-PAVED SURFACES IN ZONE SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED WITH THE ABOVE STATED OPTIONS FOR SURFACE PROTECTION MEASURES.

ZONE D (CANOPY)

- OVERHEAD BRANCHING LIKELY TO BE DAMAGED BY EQUIPMENT OPERATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S CERTIFIED ARBORIST. OVERHEAD PREVENTIVE MEASURES (PRUNING OR TIE-BACK OF BRANCHES) AS APPROVED BY THE OWNER'S CERTIFIED ARBORIST SHALL BE PROPERLY EXECUTED BEFORE COMMENCEMENT OF THE CONSTRUCTION ACTIVITIES.
- WASH OFF FOLIAGE WHICH BECOMES SOILED DURING CONSTRUCTION.



19 EXISTING TREE PROTECTION

3/8" = 1'-0"

GENERAL SITE NOTES:

- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY UNDER SEPARATE PERMIT. SHOWN FOR REFERENCE ONLY. REFER TO APPROVED RIGHT OF WAY DRAWINGS PRIOR TO CONSTRUCTION.
- REFERENCE CIVIL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITEWORK INFORMATION.

PLANTING NOTES:

DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN THE DURING DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO LACK OF PROVIDING SUCH NOTIFICATION.

ENSURE THAT FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET AT THE PROPER ELEVATIONS RELATIVE TO PAVING FINISH SURFACE ELEVATIONS, UTILITY COVERS AND CURBS. SHRUBS PLANTING AREAS AT 2" BELOW AND LAWN 1" BELOW ADJACENT GRADE. NOTIFY OWNER OF ANY DISCREPANCIES.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS TO DRAIN AWAY FROM BUILDING, 2% MINIMUM.

PLANT MATERIAL, I.E. TREES, SHRUBS, VINES, ESPALIERS AND GROUNDCOVERS, MUST BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIAL INSTALLED WITHOUT OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH RELATED COSTS BORNE BY CONTRACTOR.

FINAL LOCATIONS OF PLANT MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PERFORM THE FOLLOWING BEFORE BEGINNING PLANTING PIT EXCAVATION:

- SHRUBS - PLACE ACTUAL PLANT CONTAINERS ON-SITE IN "FINAL" LOCATIONS.
- TREES - CHALK OR STAKE CENTER OF TREE.

PLANTING SHALL NOT BE PERFORMED UNTIL PRE-PLANTING SOIL AMENDMENTS ARE COMPLETE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS ON-SITE AND THOSE AREAS INDICATED ON DRAWINGS, CONTACT OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO OWNER'S AUTHORIZED REPRESENTATIVE IN A TIMELY FASHION MAY RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE PLANT MATERIALS OR AT WORST CASE, BECOME UNABLE TO CHARGE OWNER FOR PLANT MATERIAL ALREADY PLANTED.

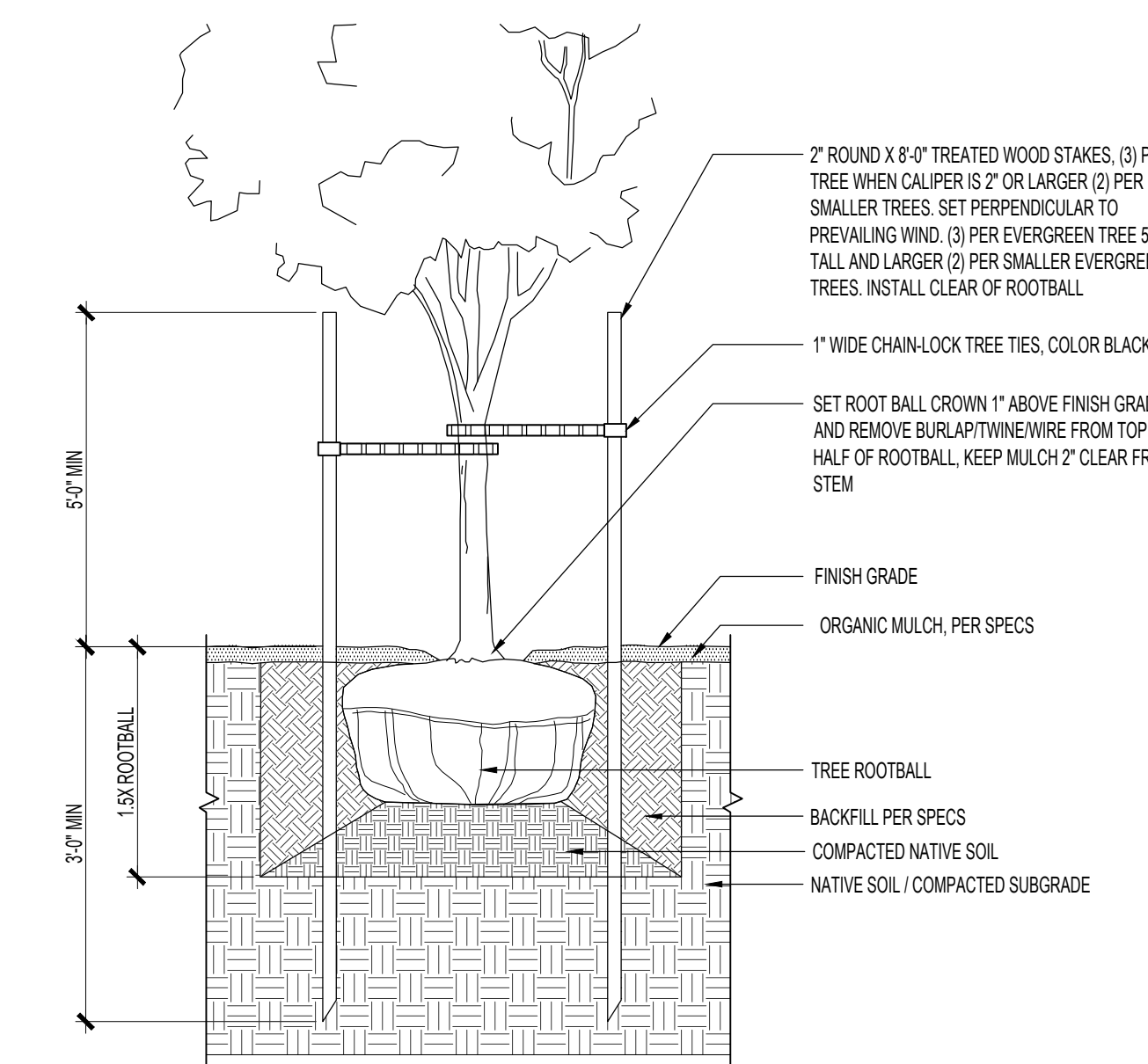
SHRUB AND GROUNDCOVER AREAS TO RECEIVE A 2-INCH DEEP LAYER MULCH TO BE SUBMITTED FOR APPROVAL FROM LANDSCAPE ARCHITECT.

AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED WITHIN ALL PLANTING AREAS PROVIDING HEAD TO HEAD COVERAGE.

PROVIDE ROOT CONTROL BARRIERS FOR ALL TREES PLANTED WITHIN 5' OF A HARDSCAPE EDGE SUCH AS PAVING, WALLS, STEPS, ETC. REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION.

INSTALL PLANT MATERIAL WITH ITS BEST SIDE FACING PREDOMINATE VIEW OF PUBLIC.

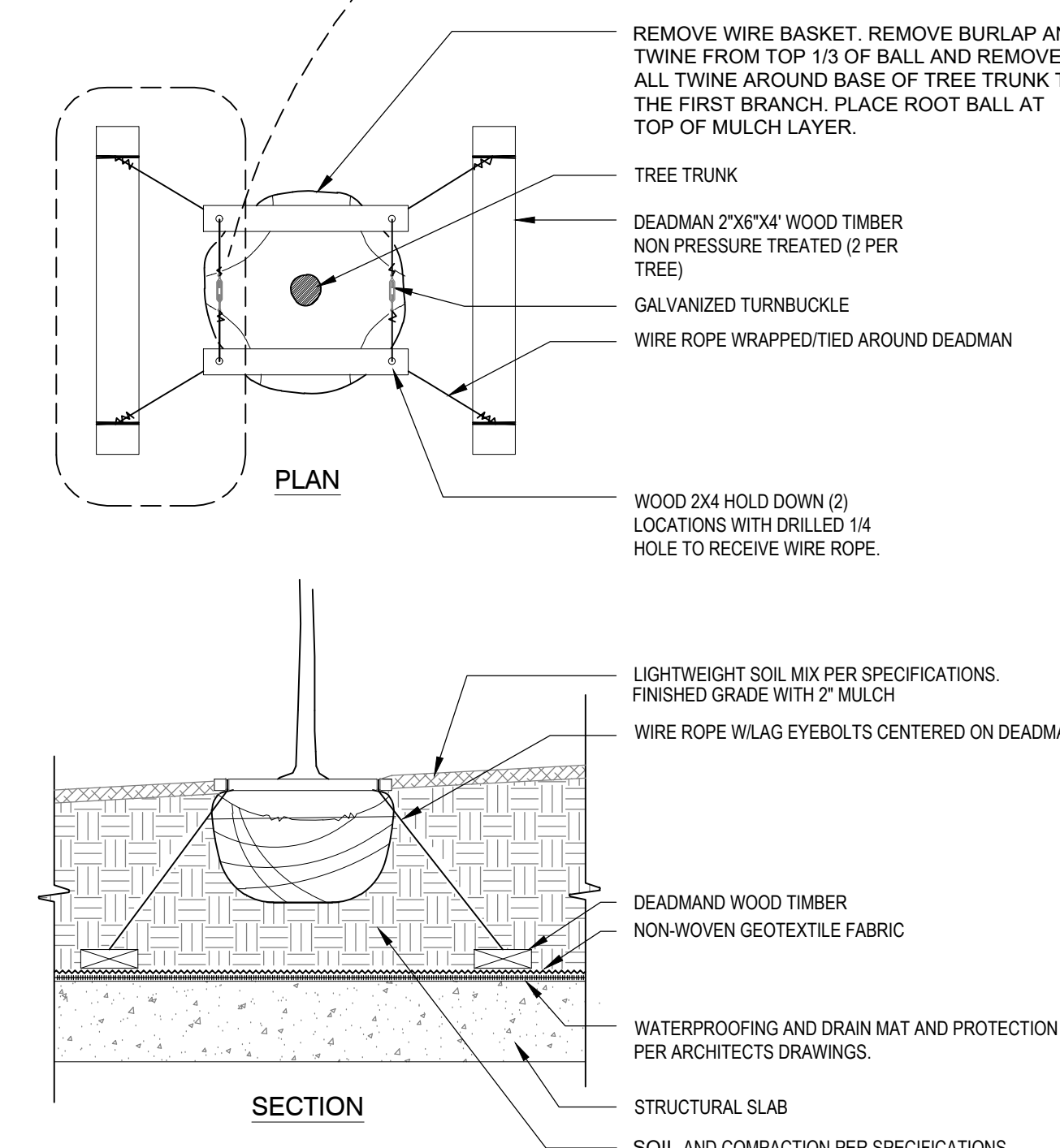
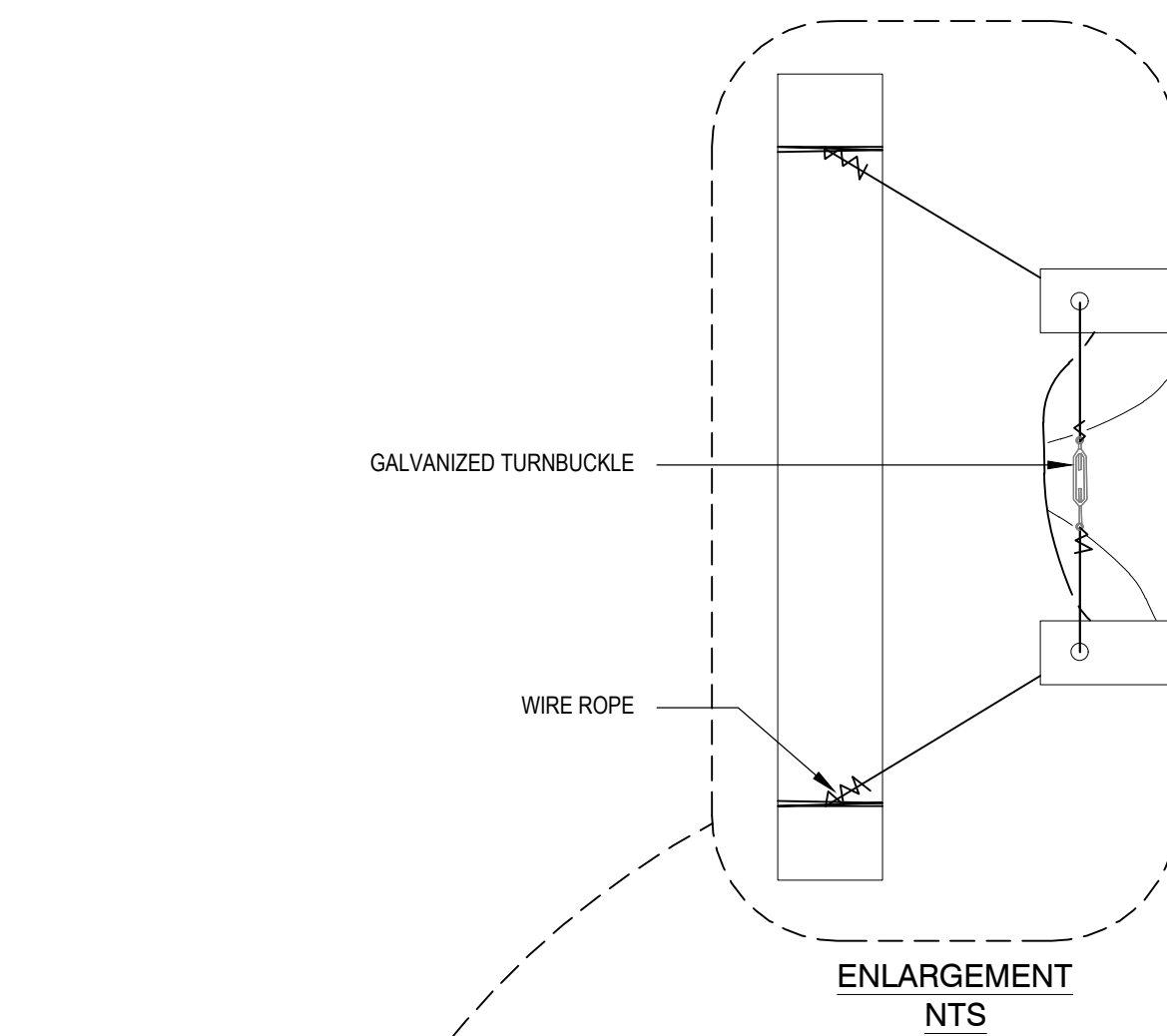
PROVIDE THE PROPER SETBACK BETWEEN UTILITIES AND TREES - CONTACT CITY INSPECTOR FOR REQUIRED SETBACKS IN THE CASE THAT THE DRAWINGS ARE NOT CLEAR.



5 TREE PLANTING ON GRADE

NTS

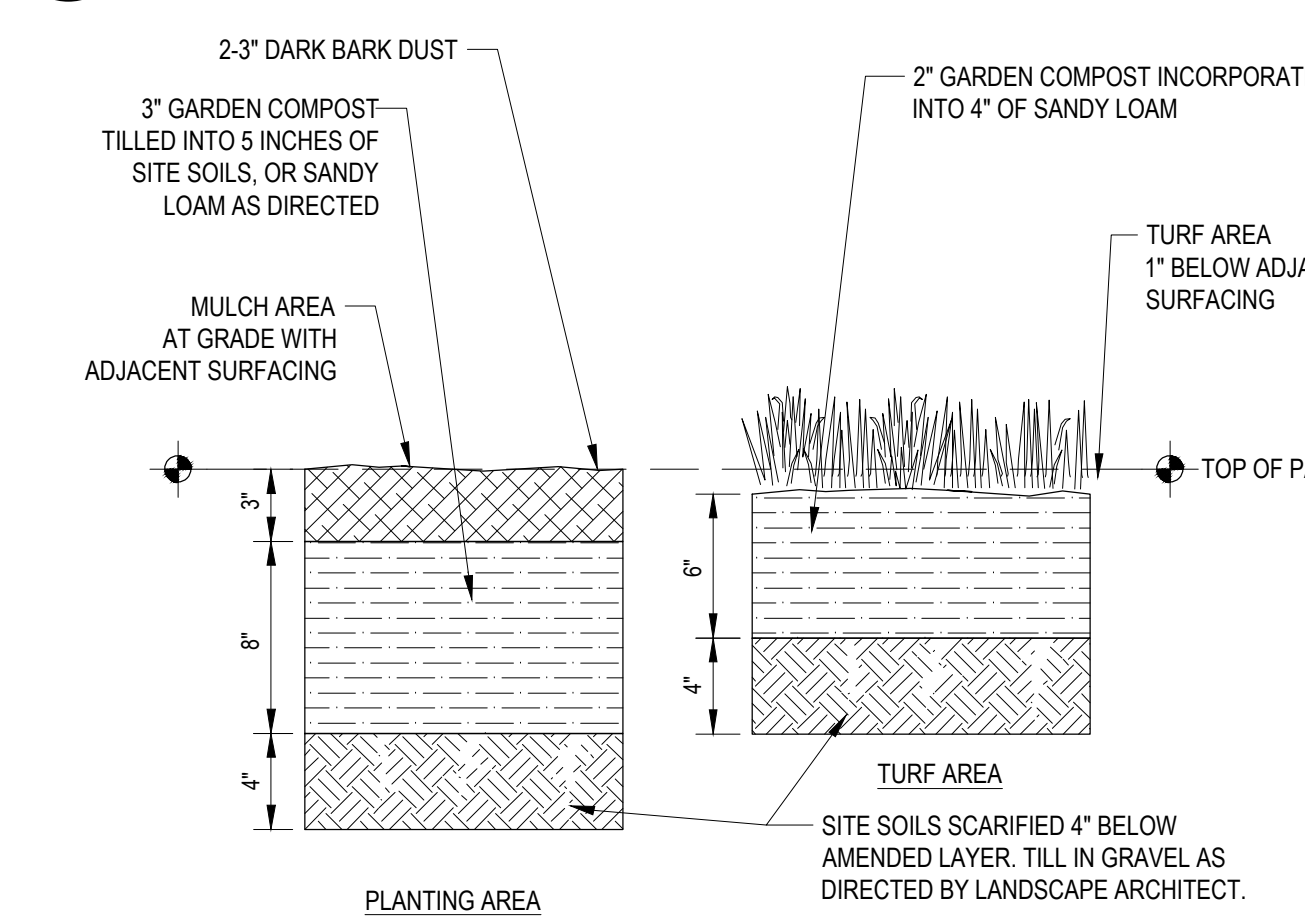
DETAIL-FILE



7 TREE PLANTING ON STRUCTURE

1" = 1'-0"

DETAIL-FILE



- NOTES:
- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS SHALL BE AMENDED AS DESCRIBED.
 - SUBSOIL SHALL BE SCARIFIED (TILLED) 4" BELOW AMENDMENT LAYER, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY LANDSCAPE ARCHITECT OR ARBORIST.
 - PLANTING AREAS SHALL HAVE COMPOST TILLED TO A DEPTH OF 8" INTO EXISTING OR SPECIFIED SOILS.
 - TURF AREAS SHALL HAVE COMPOST AND SANDY LOAM TILLED TO A DEPTH OF 6".
 - PLANTING BEDS SHALL RECEIVE 3" OF DARK BARK DUST.

8 SOIL AMENDMENT AND DEPTH

1 1/2" = 1'-0"

DETAIL-FILE

TREE BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

CALPER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
1.0"	5.00
1.5"	7.50
2.0"	10.00
2.5"	20.00
3.0"	30.00
3.5"	50.00

SHRUB, GRASSES AND GROUNDCOVER BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

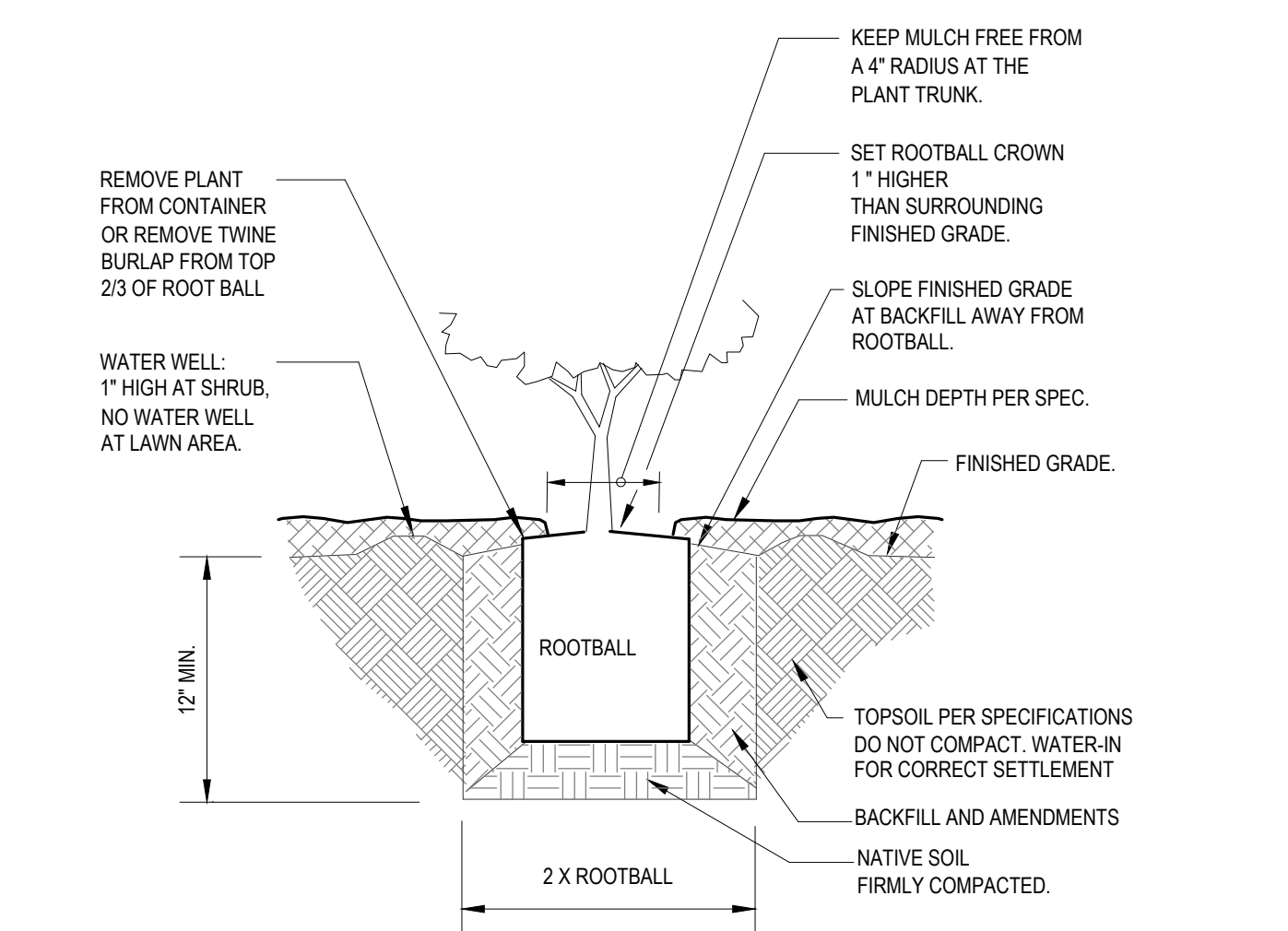
CONTAINER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
PLUG	.05
4-INCH	.20
1 GAL.	.50
2 GAL.	.75
3 GAL.	1.25
6 GAL.	1.50
15 GAL.	5.00

PERMAMATRIX AVAILABLE LOCALLY FROM SUNMARK ENVIRONMENTAL 503.241.7333

1 PLANTING BACKFILL SOIL AMENDMENT

1" = 1'-0"

329110-01

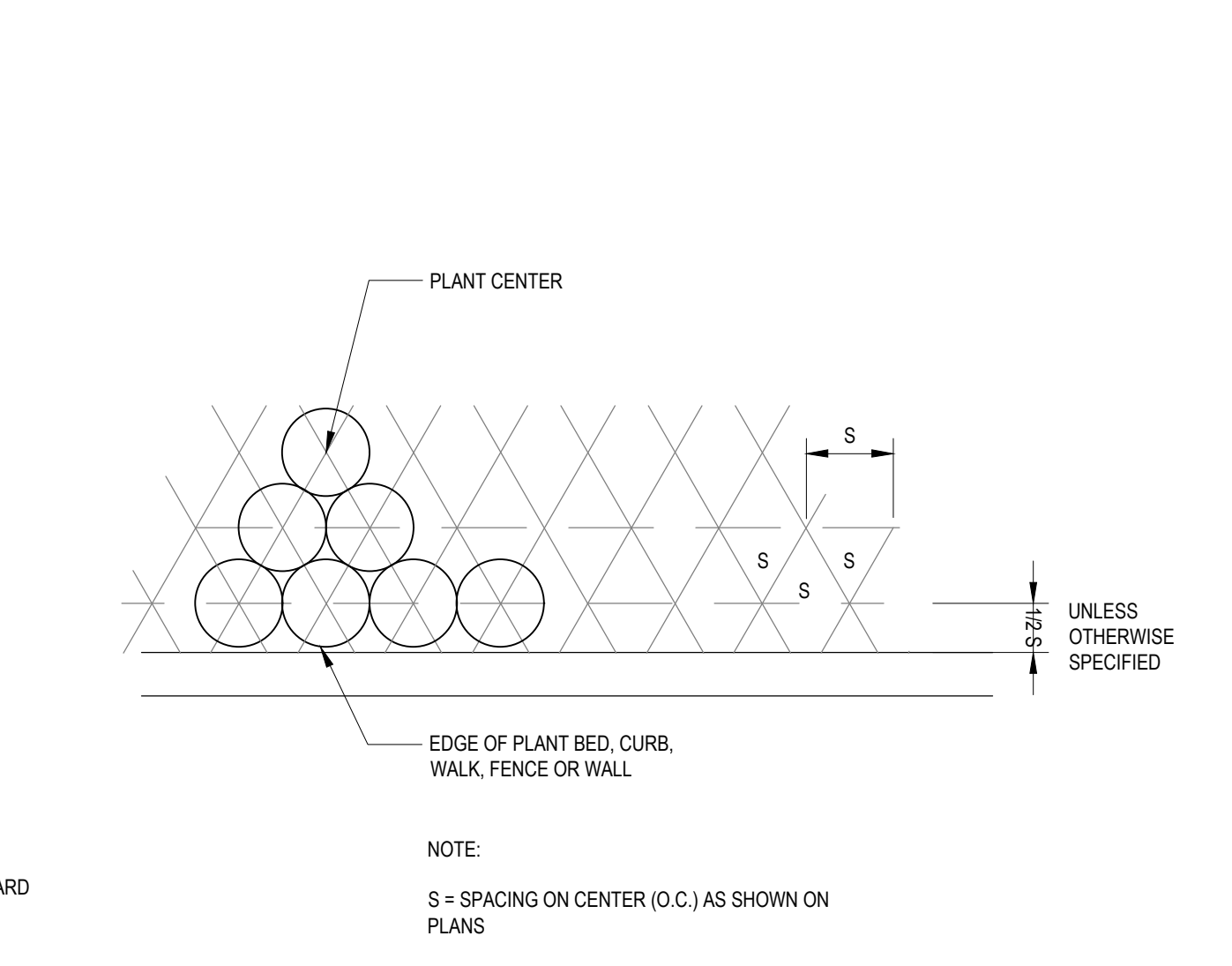


NOTE: CHECK ROOTBALL FOR PRESENCE OF ROOT FLARE AT BASE OF TRUNK. REMOVE EXCESS SOIL OVER ROOT FLARE AND ADJUST DEPTH OF PLANTING HOLE TO ACCOMMODATE REDUCED ROOTBALL DEPTH IF NEEDED. ROOT FLARE MUST BE VISIBLE ABOVE MULCH/SOIL/ROOTBALL.

2 SHRUB PLANTING

1" = 1'-0"

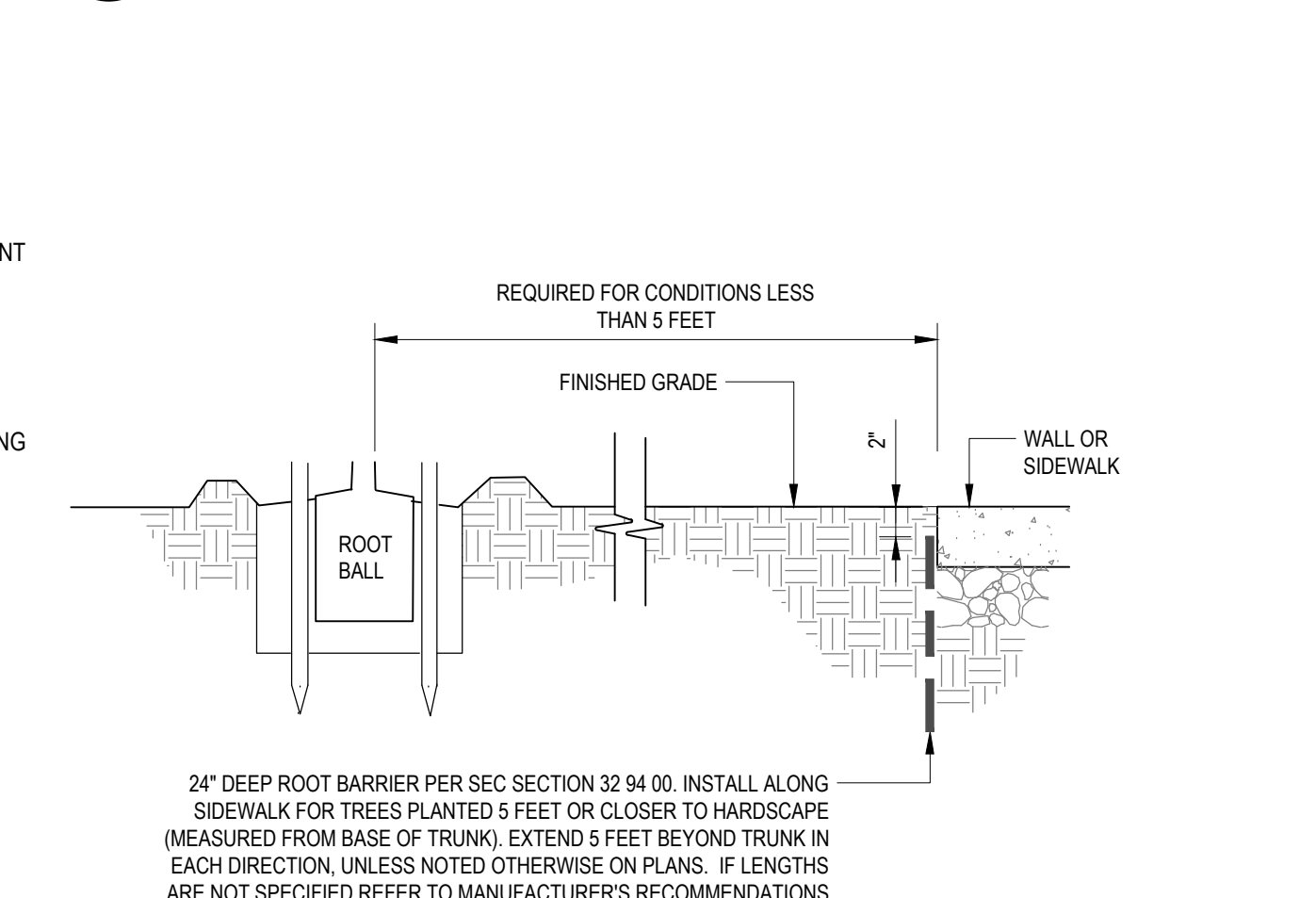
329333 13-01



3 GROUNDCOVER SPACING

1/2" = 1'-0"

329333 83-01



24" DEEP ROOT BARRIER PER SEC SECTION 32 94 00. INSTALL ALONG SIDEWALK FOR TREES PLANTED 5 FEET OR CLOSER TO HARDSCAPE (MEASURED FROM BASE OF TRUNK). EXTEND 5 FEET BEYOND TRUNK IN EACH DIRECTION UNLESS NOTED OTHERWISE ON PLANS. IF LENGTHS ARE NOT SPECIFIED REFER TO MANUFACTURER'S RECOMMENDATIONS

4 TREE ROOT BARRIER

1" = 1'-0"

P-CO-18074-02

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

SHAPIRO / DIDWAY
1204 SE Water Ave
Portland, Oregon 97214
T: 503.232.0520
www.shapirodidway.com

PROJECT NUMBER: 217304

**University
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1001 Fulton Street,
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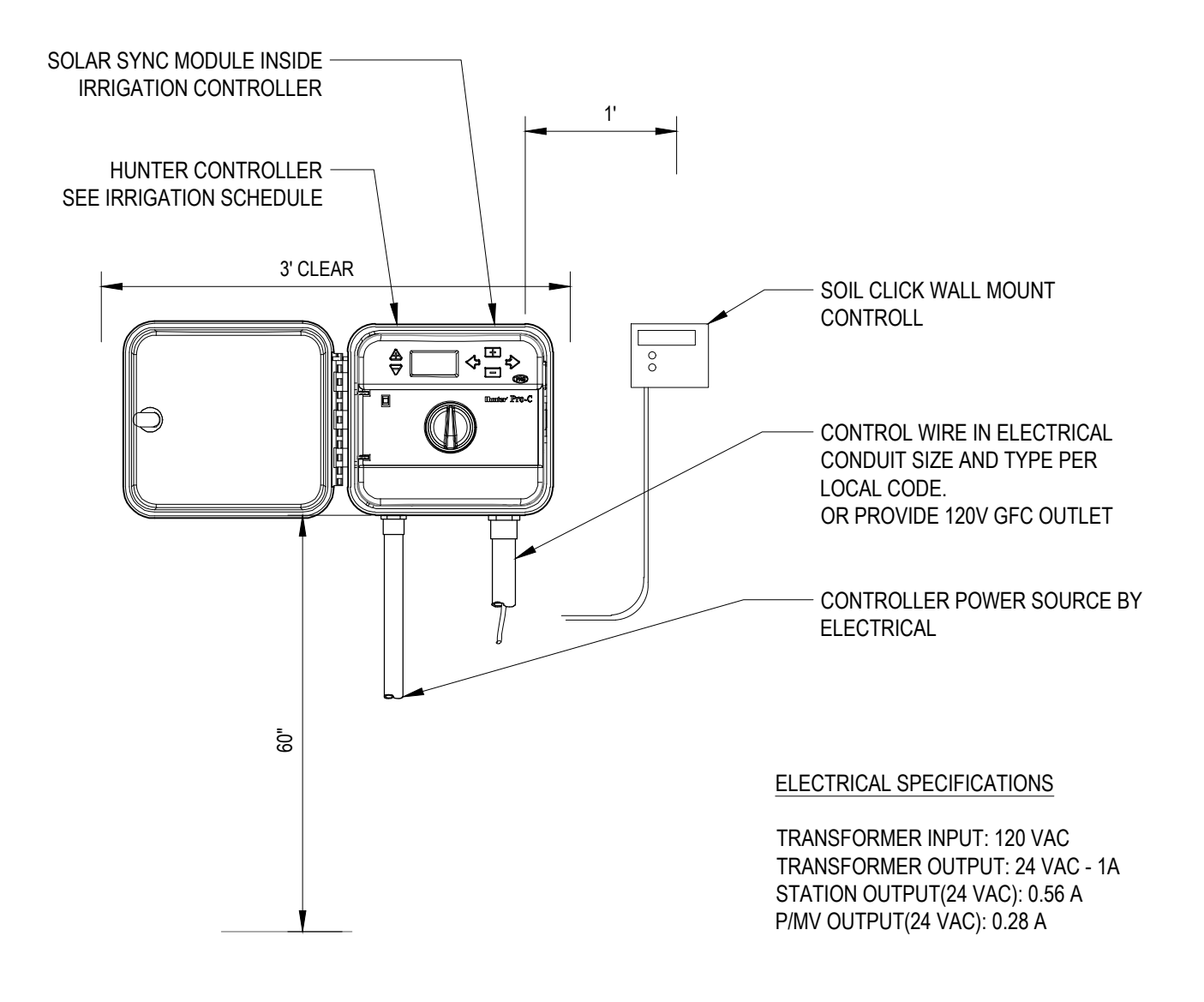
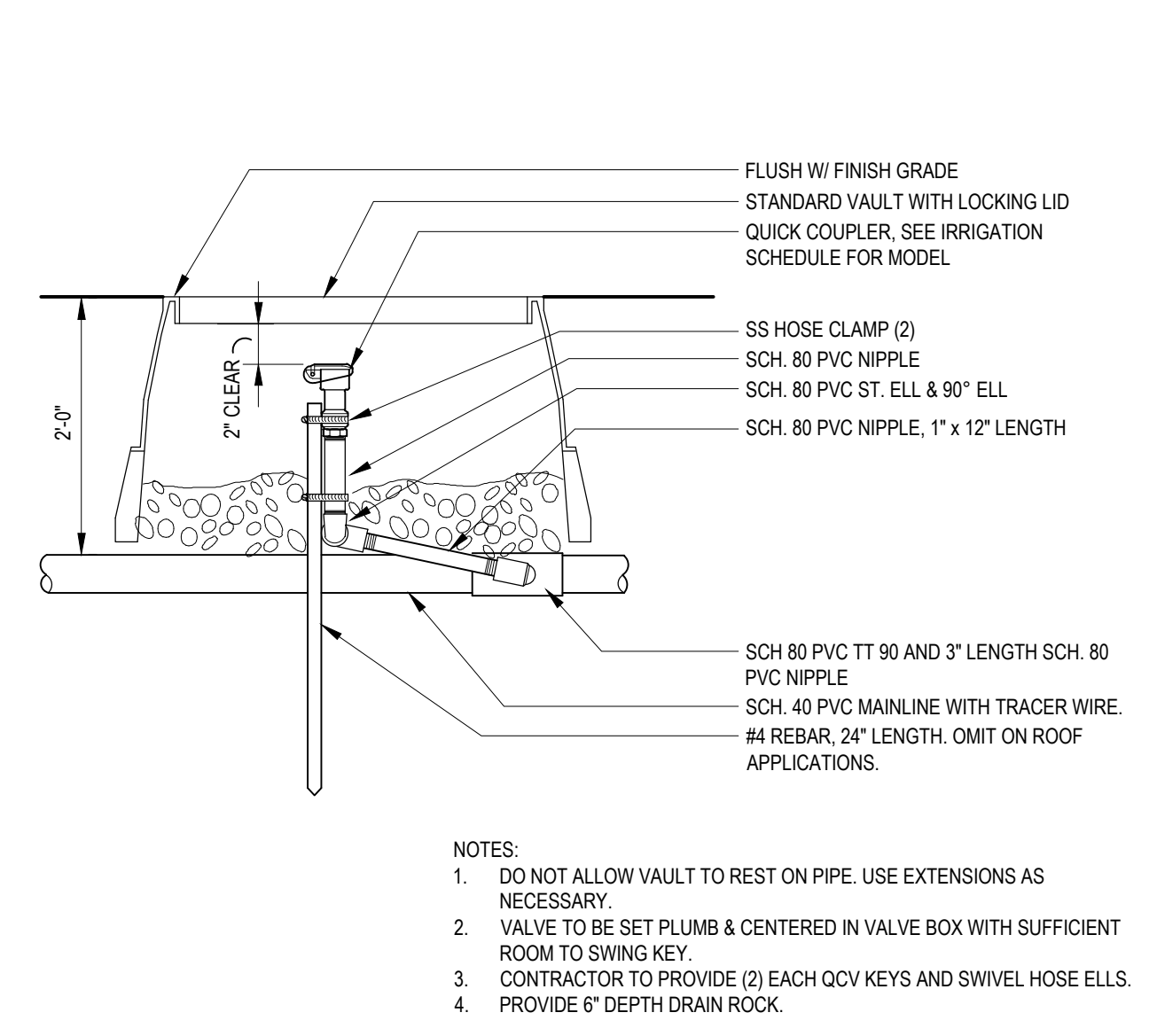
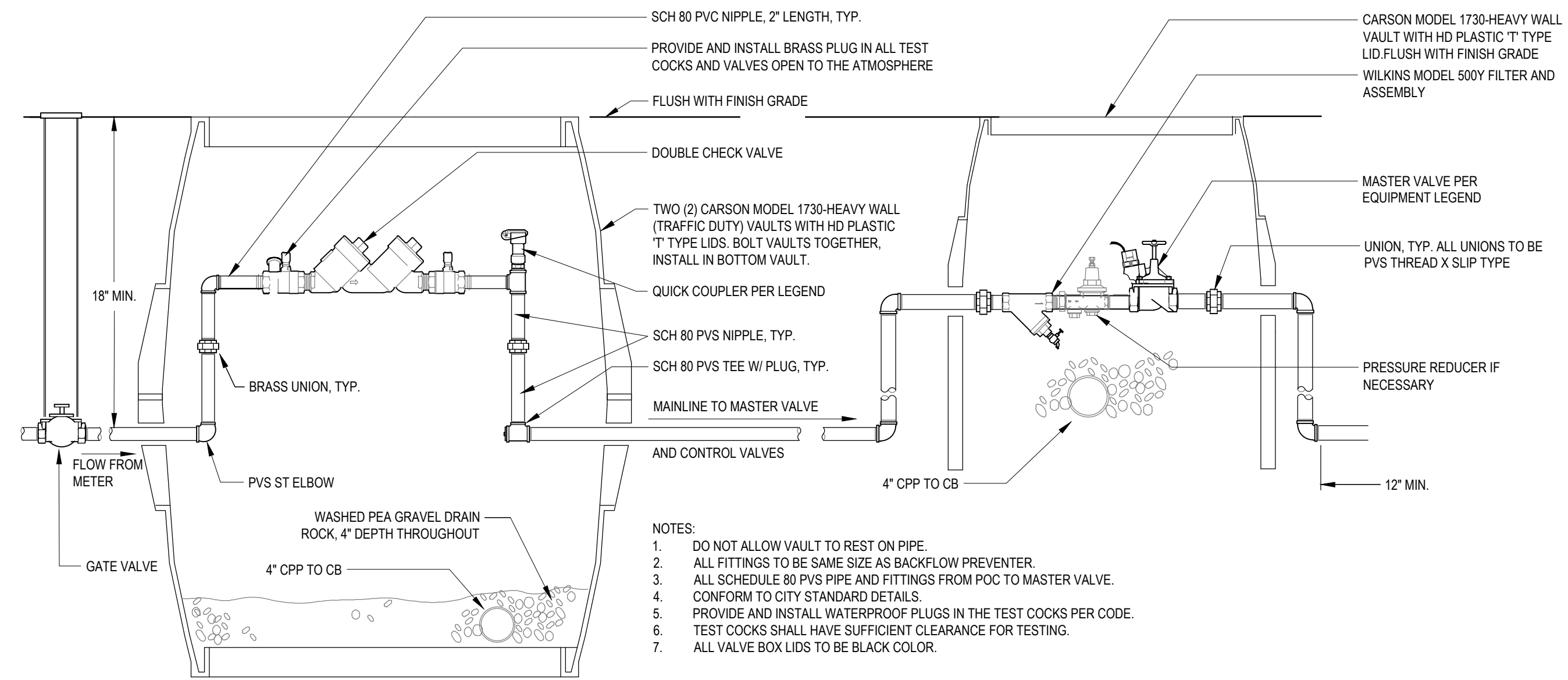
Friendsview
RETIREMENT COMMUNITY

SHEET TITLE:
**IRRIGATION
DETAILS**

DRAWN BY:
DATE CREATED:

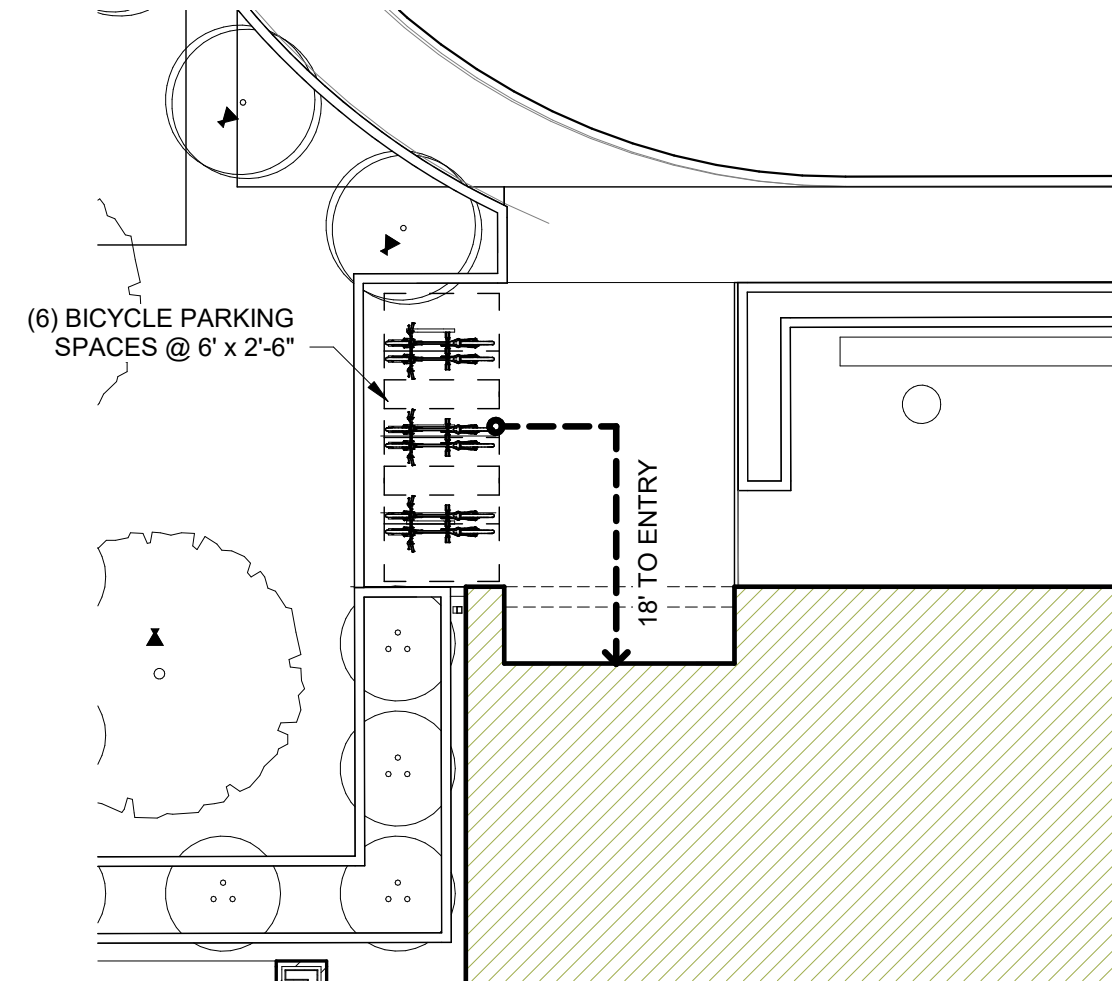
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LRS Architects, Inc. ©2020

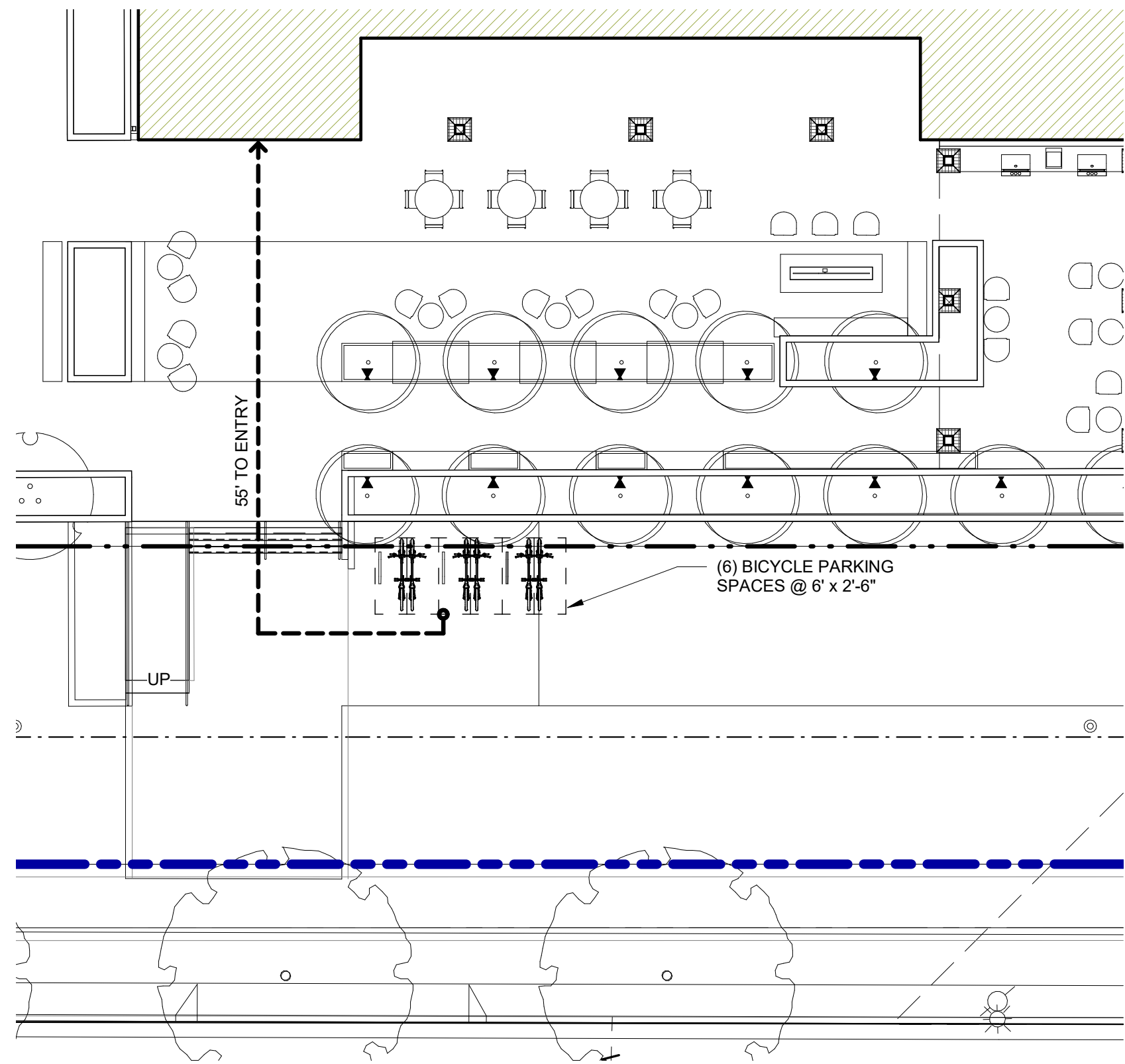


DESIGN REVIEW SUBMITTAL

ENLARGED SITE PLANS



1. ENLARGED SITE PLAN AT NORTH ENTRY



2. ENLARGED SITE PLAN AT SOUTH ENTRY

HUNTCO Bike racks, lockers, benches and architectural site furnishings since 1980. Tradition & Innovation

PHONE 503.224.8700 FAX 503.274.2055

EMAIL Sales@Huntco.com WEB Huntco.com

MAIL P.O. Box 10385 Portland, Or. 97296-0385

TWITTER @Huntcosupply

🚲 x 2

THE STAPLE

The ever-classic "Staple" style bike rack is Portland City Code approved. Lock it up!

CONSTRUCTION/MATERIAL OPTIONS

- 2" Sch. 40 Round Steel Pipe (shown)
- 1.5" Sch. 40 Round Steel Pipe
- 2" x 2" Square Steel Tubing (Pipecutter Proof)
- 5/8" x 2 1/2" Steel Flat Bar (Pipecutter Proof)
- Steel Flanges (Varies)

DIMENSIONS

- 30" Length
- 5.5" Width
- 36" Height
- Custom Size Height/Length

MOUNTING OPTIONS

- Flange Mount (Shown)
- (6) .63" Mounting Holes
- In-Ground
- 11" Leg Extensions

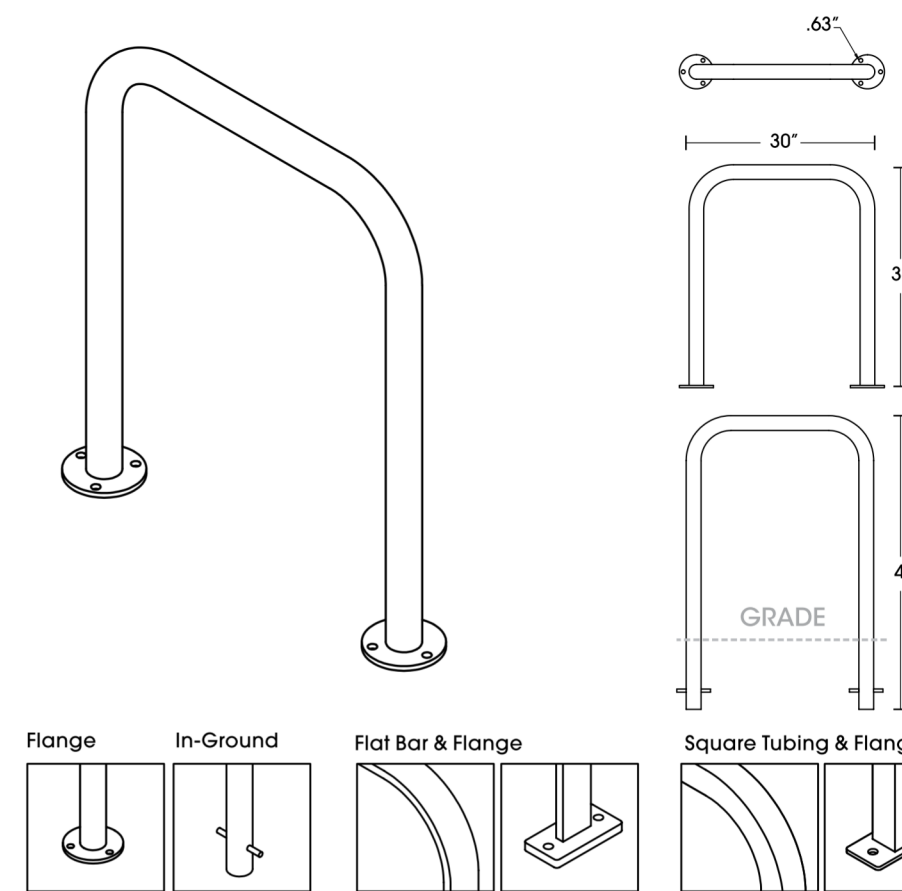
FINISH OPTIONS

- T304 Stainless Steel
- #4 Satin Finish
- Hot Dipped Galvanized
- Powder Coating
- #
- Thermoplastic Coating
- #

ADDITIONAL OPTIONS

- Flange Cover (available at additional cost on round pipe only)

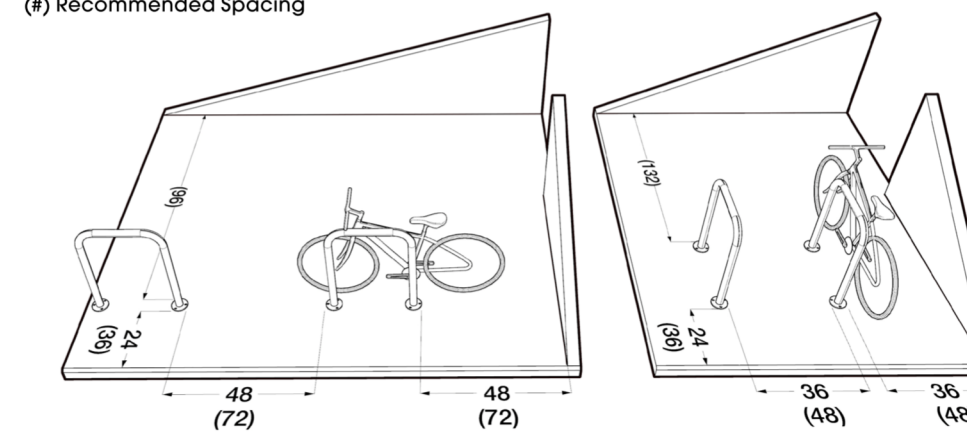
Manufactured in the Pacific Northwest



RECOMMENDED LAYOUT

NOTES:

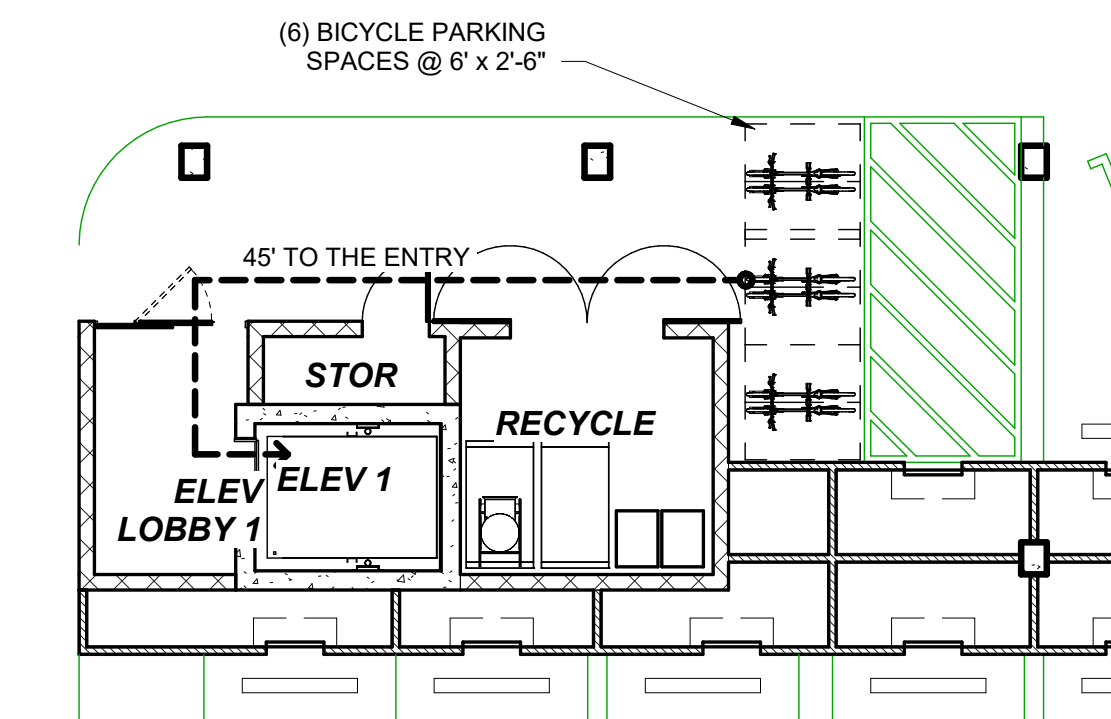
- *Bike* is 70"
- # Minimum Spacing
- (#) Recommended Spacing



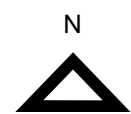
CONTRACTOR:

JOB:

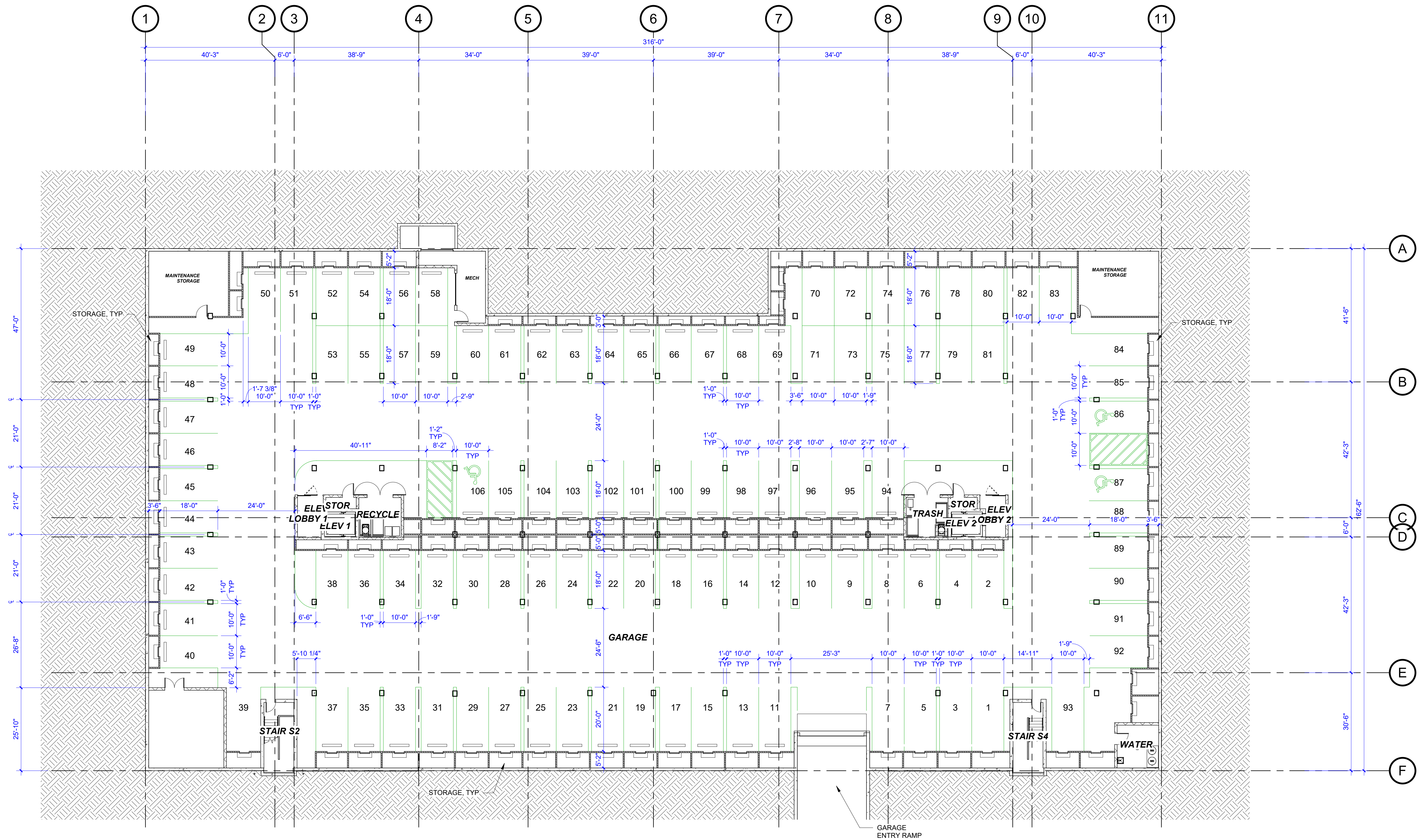
NOTES:



3. ENLARGED BASEMENT FLOOR PLAN



SCALE: 1" = 10'-0"

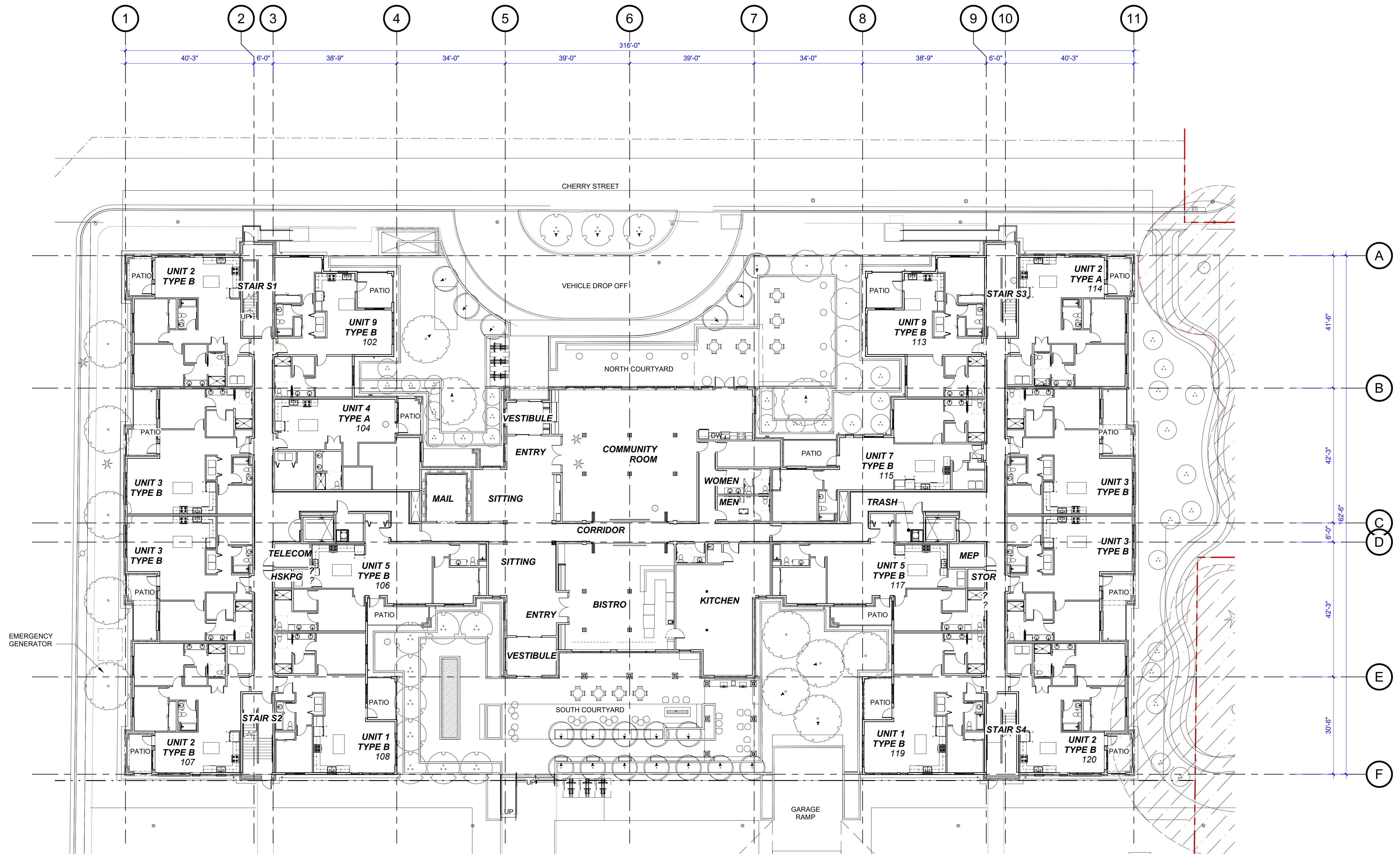


BASEMENT OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"

DESIGN REVIEW SUBMITTAL

LEVEL 1 FLOOR PLAN



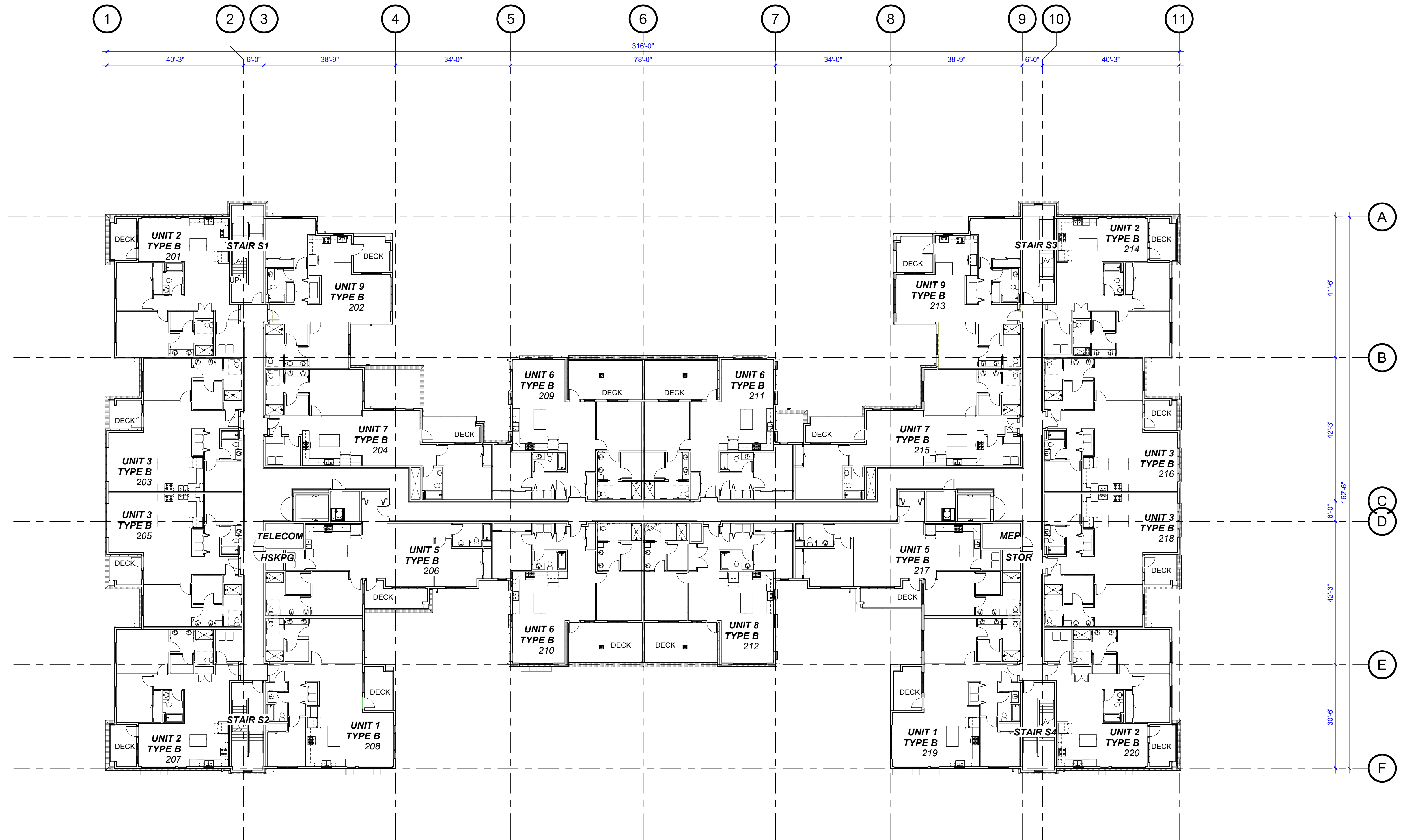
LEVEL 1 FLOOR PLAN



SCALE: 1/16" = 1'-0"

DESIGN REVIEW SUBMITTAL

LEVELS 2-4 FLOOR PLANS



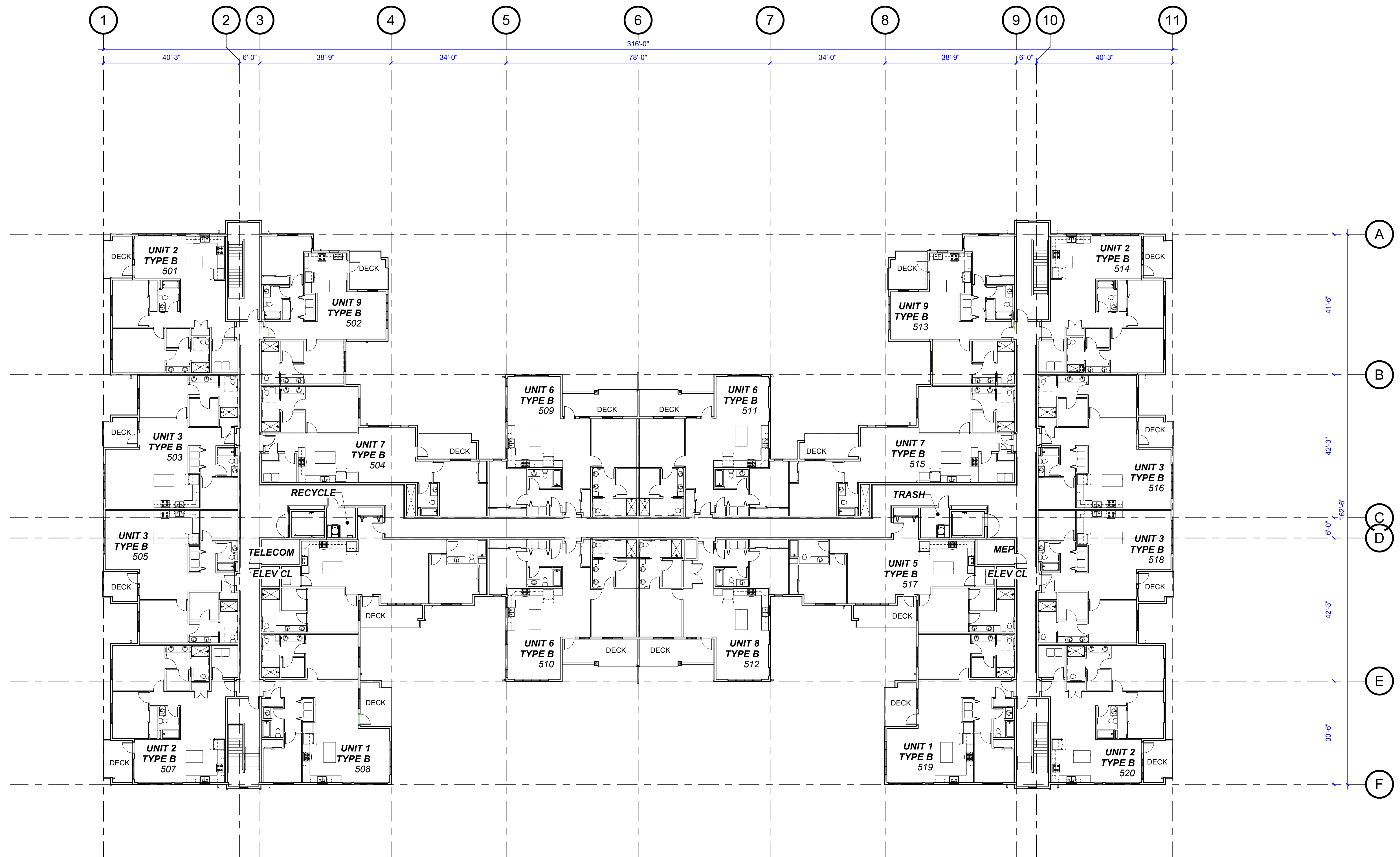
LEVELS 2-4 OVERALL FLOOR PLANS



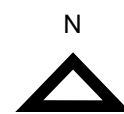
SCALE: 1/16" = 1'-0"

DESIGN REVIEW SUBMITTAL

LEVEL 5 FLOOR PLAN



LEVEL 5 OVERALL FLOOR PLAN



SCALE: 1/16" = 1'-0"



1. PARTIAL SOUTH ELEVATION 1

SCALE: 3/32" = 1'-0"



2. PARTIAL SOUTH ELEVATION 2

SCALE: 3/32" = 1'-0"



3. OVERALL WEST ELEVATION

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

KEYNOTES

- 505 BRICK FINISH PER WALL TYPE SCHEDULE
- 506 VINYL WINDOW, SEE WINDOW TYPES, TYP
- 509 DOWNSPOUT



1. PARTIAL NORTH ELEVATION 1

SCALE: 3/32" = 1'-0"



2. PARTIAL NORTH ELEVATION 2

SCALE: 3/32" = 1'-0"



3. OVERALL EAST ELEVATION

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

KEYNOTES

- 506 VINYL WINDOW, SEE WINDOW TYPES, TYP
- 507 CEMENTITIOUS TRIM, RUSTIC
- 509 DOWNSPOUT



1. SECTOR A - EAST ELEVATION

SCALE: 3/32" = 1'-0"



2. SECTOR B - WEST ELEVATION

SCALE: 3/32" = 1'-0"



3. SECTOR B - EAST ELEVATION

SCALE: 3/32" = 1'-0"



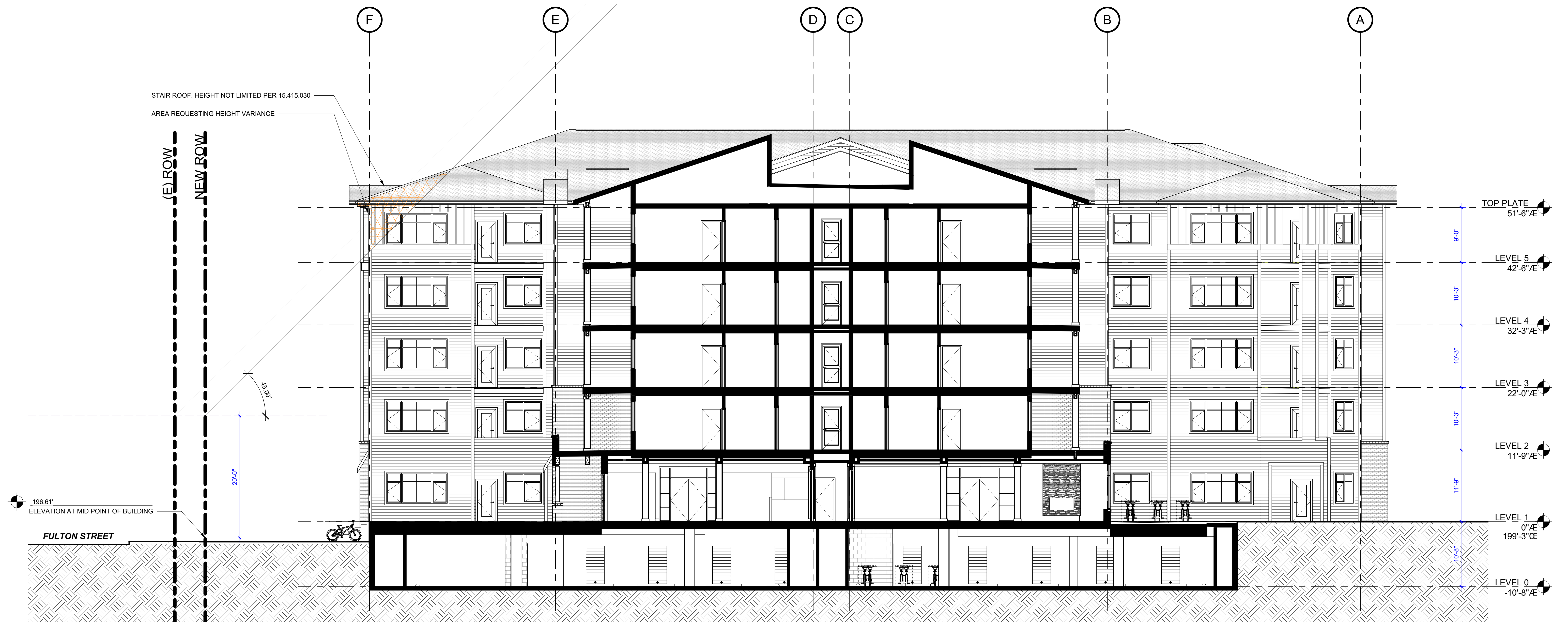
4. SECTOR C - WEST ELEVATION

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

DESIGN REVIEW SUBMITTAL

HEIGHT ANALYSIS

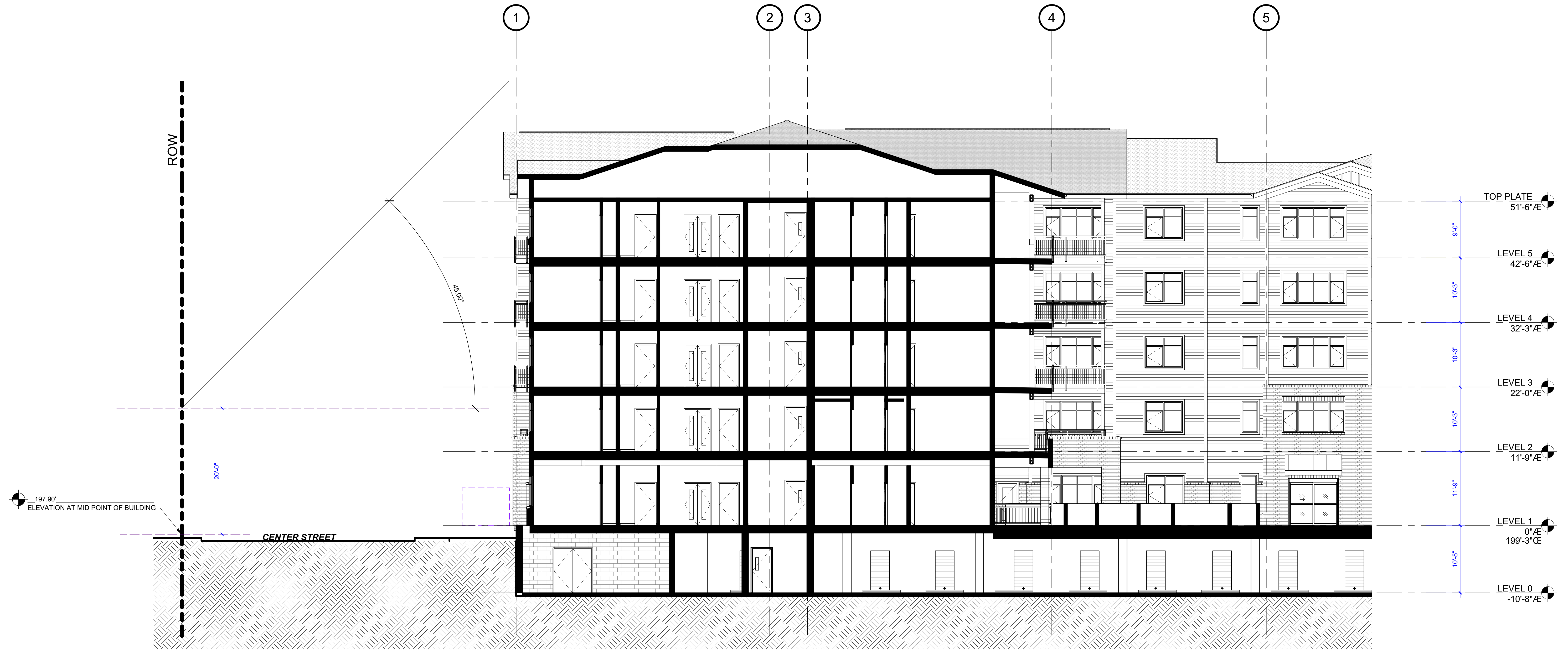


15.415.020 Building height limitation

E. Alternative Building Height Standard. As an alternative to the building height standards above, any project may elect to use the following standard (see Figure 24 in Appendix A). To meet this standard:

1. Each point on the building must be no more than 20 feet higher than the ground level at all points on the property lines, plus one vertical foot for each horizontal foot of distance from that property line; and
2. Each point on the building must be no more than 20 feet higher than the ground level at a point directly north on a property line, plus one vertical foot for each two horizontal feet of distance between those points. This second limit does not apply if the property directly to the north is a right-of-way, parking lot, protected natural resource, or similar unbuildable property.

F. Buildings within the airport overlay subdistrict are subject to the height limits of that subdistrict. [Ord. 2730 § 1 (Exh. A (4)), 10-18-10; Ord. 2720 § 1(10), 11-2-09; Ord. 2647, 6-5-06; Ord. 2564, 4-15-02; Ord. 2550, 5-21-01; Ord. 2451, 12-2-96. Code 2001 § 151.536.]



1. ALTERNATE BUILDING HEIGHT SECTION AT CENTER

SCALE: 1/8" = 1'-0"

15.415.020 Building height limitation

E. Alternative Building Height Standard. As an alternative to the building height standards above, any project may elect to use the following standard (see Figure 24 in Appendix A). To meet this standard:

1. Each point on the building must be no more than 20 feet higher than the ground level at all points on the property lines, plus one vertical foot for each horizontal foot of distance from that property line; and
2. Each point on the building must be no more than 20 feet higher than the ground level at a point directly north on a property line, plus one vertical foot for each two horizontal feet of distance between those points. This second limit does not apply if the property directly to the north is a right-of-way, parking lot, protected natural resource, or similar unbuildable property.

F. Buildings within the airport overlay subdistrict are subject to the height limits of that subdistrict. [Ord. 2730 § 1 (Exh. A (4)), 10-18-10; Ord. 2720 § 1(10), 11-2-09; Ord. 2647, 6-5-06; Ord. 2564, 4-15-02; Ord. 2550, 5-21-01; Ord. 2451, 12-2-96. Code 2001 § 151.536.]

DESIGN REVIEW SUBMITTAL

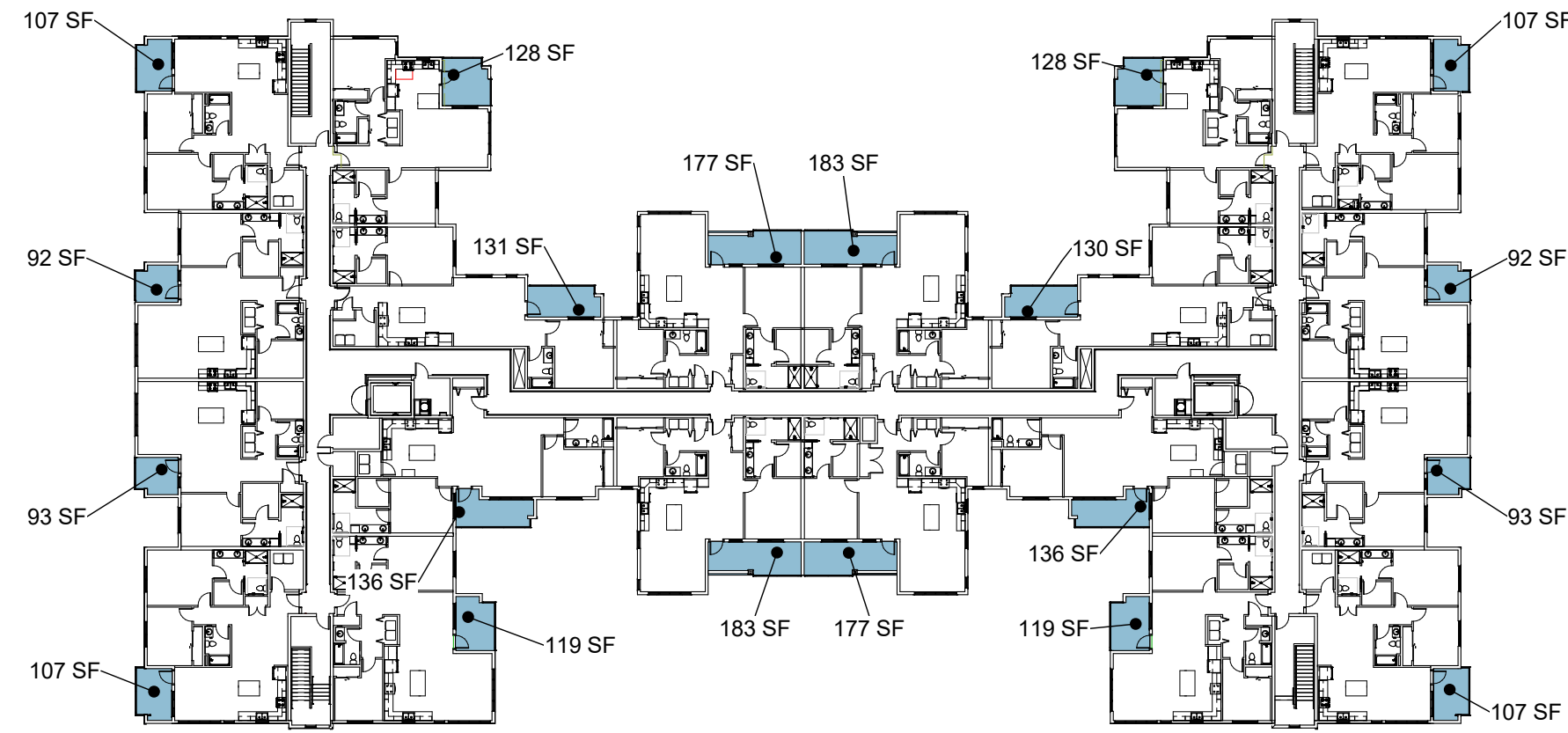
USABLE OUTDOOR AREA

Area Schedule (Usable Private Outdoor Area)

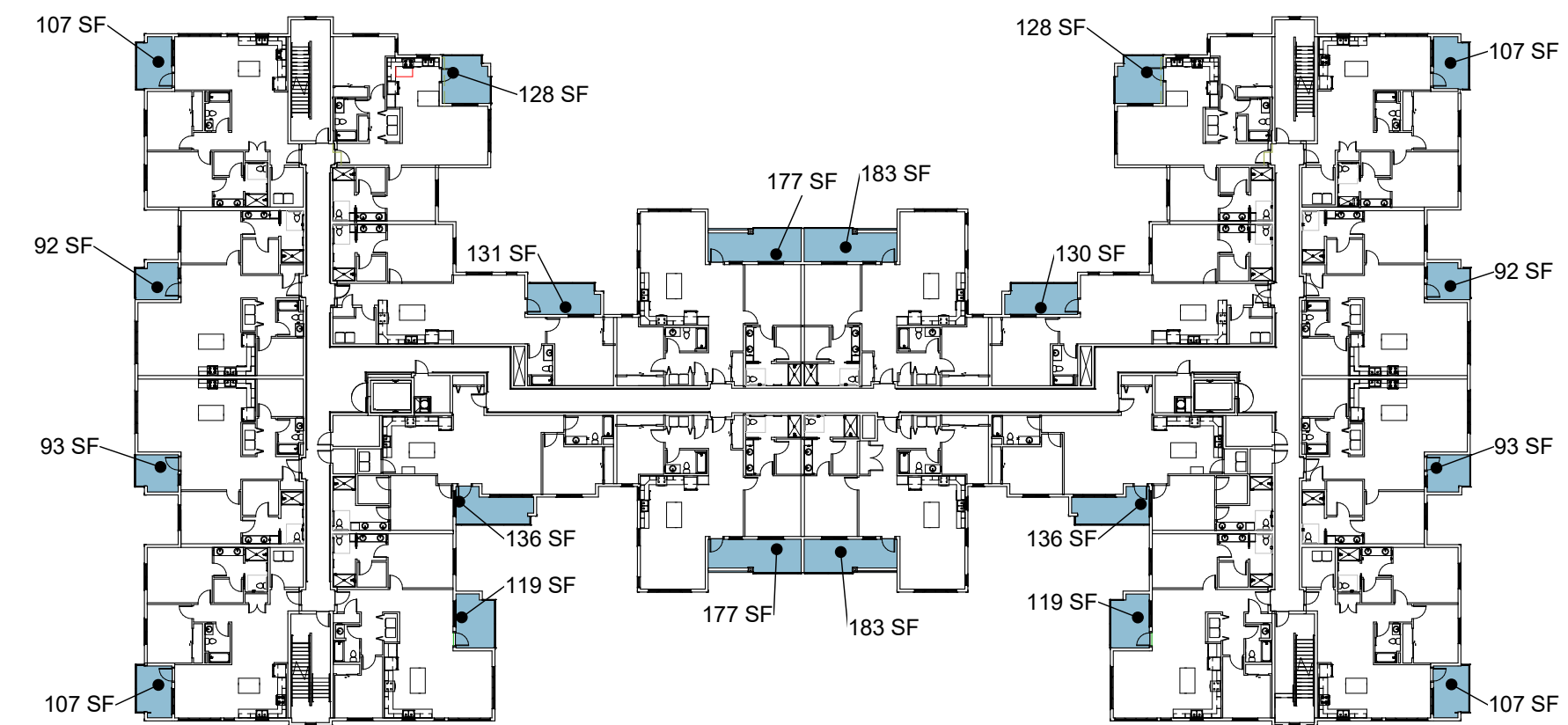
15,420,010.A USABLE PRIVATE OUTDOOR AREAS
48 SF / UNIT x 16 UNITS = 788 SF REQUIRED.
2,236 SF PRIVATE OUTDOOR AREA PROVIDED
(AREA INCLUDES GROUND FLOOR PATIOS ONLY)

Area Schedule (Usable Public Outdoor area)

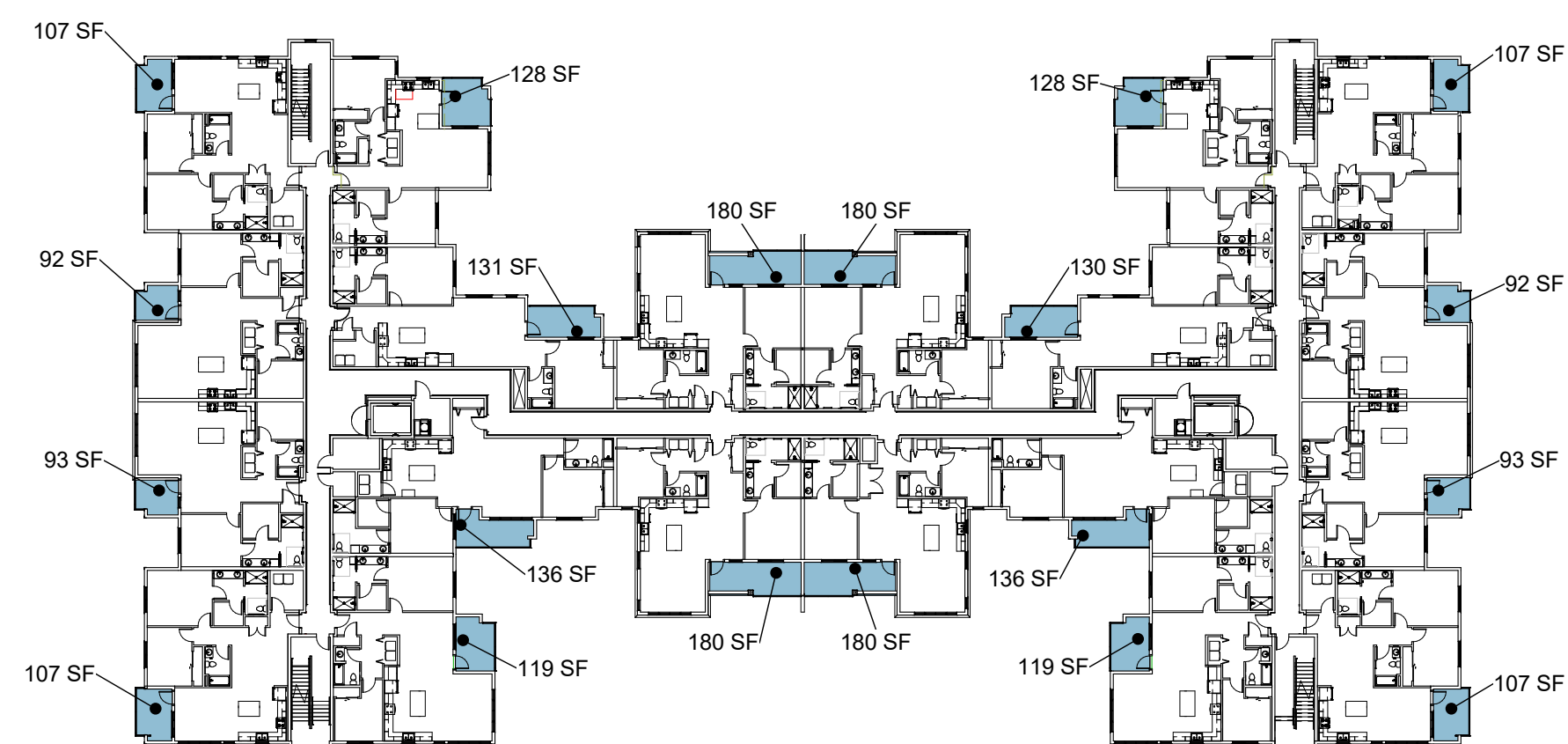
15,420,010.B USABLE PUBLIC OUTDOOR AREAS
1 BED AND 2 BED - 200 SF/ UNIT
3 BED AND UP - 300 SF/ UNIT
96 1-BED AND 2-BED UNITS X 200 SF =
19,200 SF USABLE OUTDOOR AREA REQUIRED
21,509 SF PUBLIC OUTDOOR AREA PROVIDED



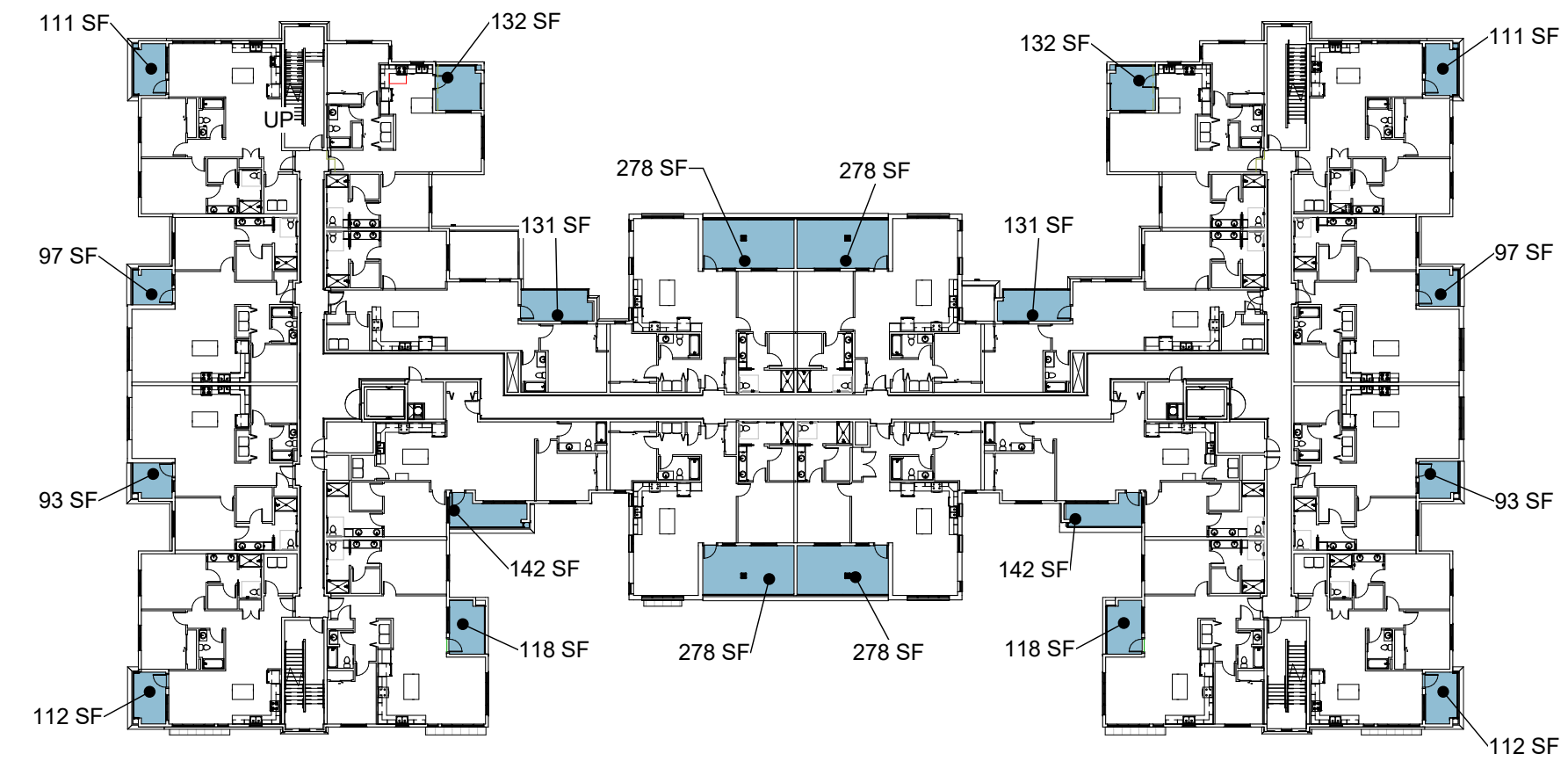
5. LEVEL 5 USABLE OUTDOOR AREA



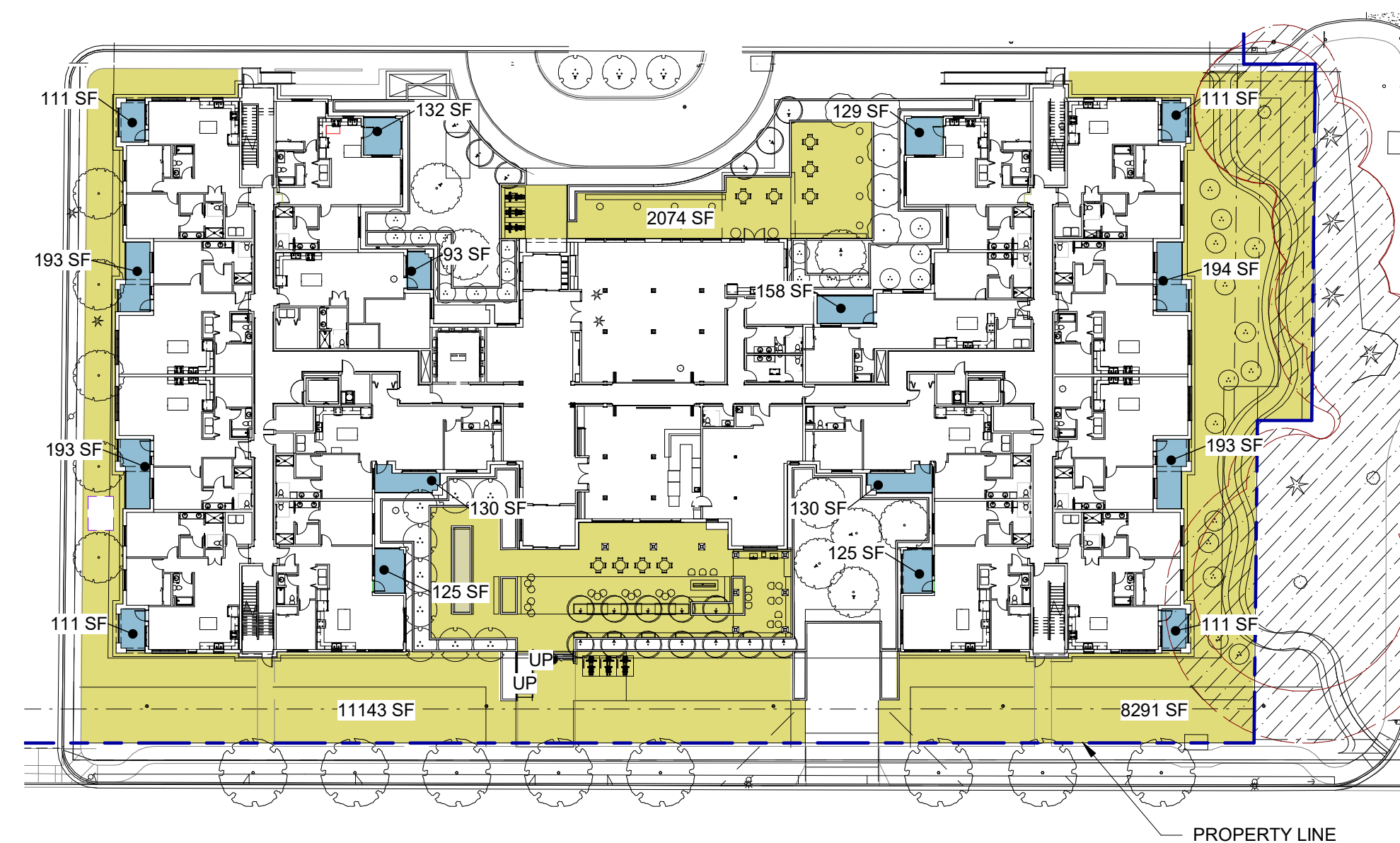
4. LEVEL 4 USABLE OUTDOOR AREA



3. LEVEL 3 USABLE OUTDOOR AREA



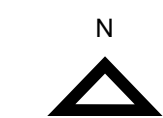
2. LEVEL 2 USABLE OUTDOOR AREA



1. LEVEL 1 USABLE OUTDOOR AREA

OUTDOOR AREA

- PRIVATE OUTDOOR AREA
- PUBLIC OUTDOOR AREA



SCALE: 1" = 40'-0"



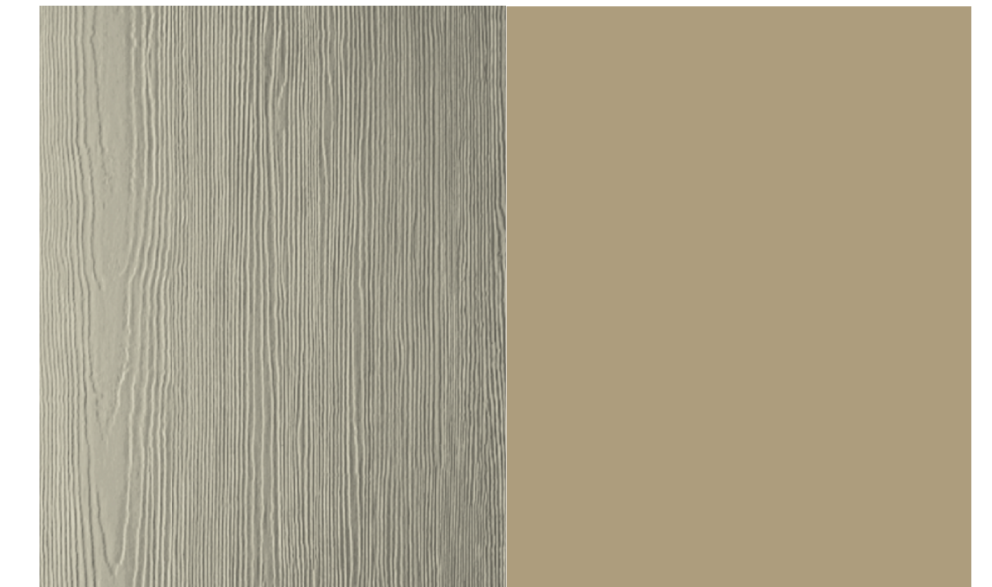
1. COMPOSITION SHINGLE ROOFING SYSTEM
MANUFACTURER: CERTAINTEED
COLOR: BLACK WALNUT



2. ALUMINUM RAILING SYSTEM
FINISH: PRE-FINISHED, BLACK ANODIZED



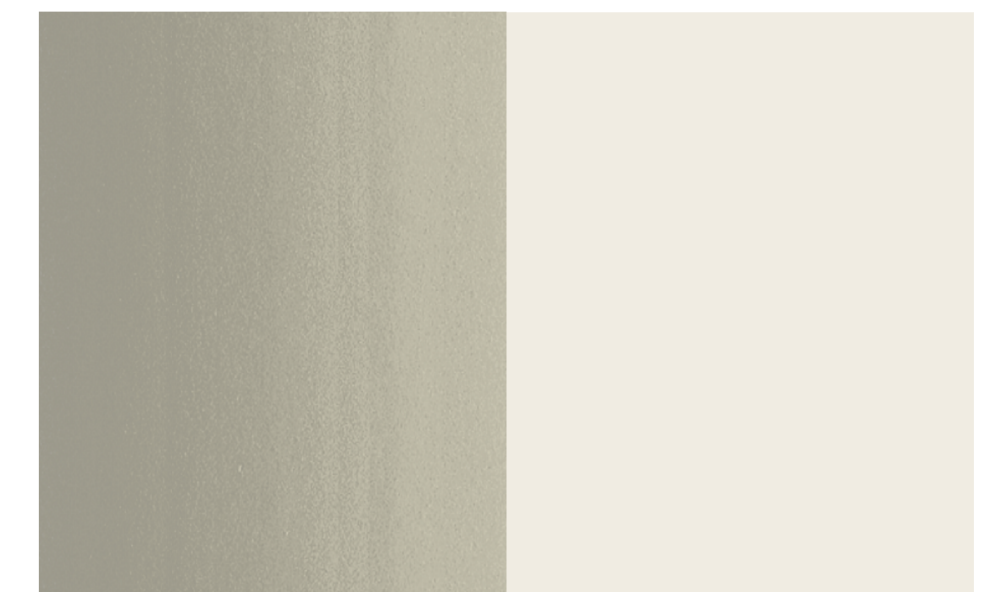
3. FIBER CEMENT SIDING SYSTEM
STYLE: 7-1/4" LAP SIDING
TEXTURE: RUSTIC / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE PAINT: HC-83, GRANT BEIGE



4. FIBER CEMENT SIDING SYSTEM
STYLE: 2" BOARD AND BATTEN
TEXTURE: SMOOTH TEXTURE / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE PAINT: HC-89, NORTHAMPTON PUTTY



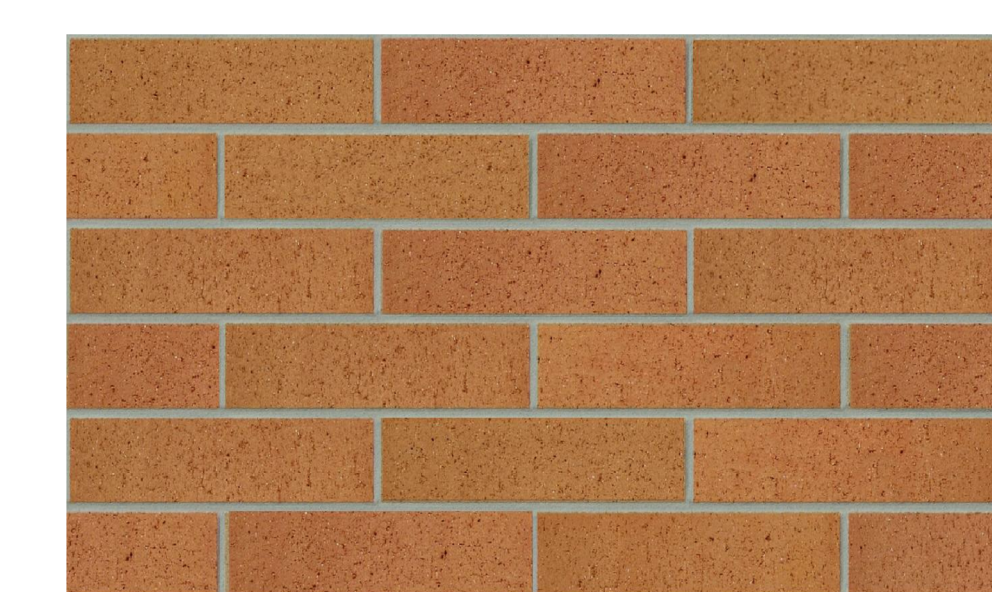
5. FIBER CEMENT SIDING SYSTEM
STYLE: 7-1/4" LAP SIDING
TEXTURE: RUSTIC / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE PAINT: HC-89, NORTHAMPTON PUTTY



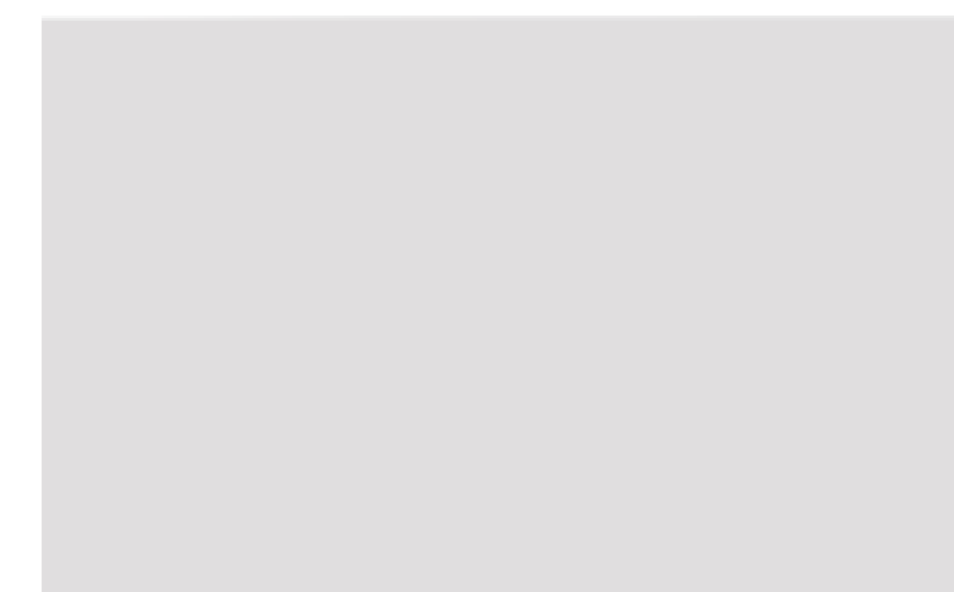
6. FIBER CEMENT TRIM
TEXTURE: SMOOTH TEXTURE
COLOR: SHERWIN WILLIAMS PAINT: 7511, GREEK VILLA



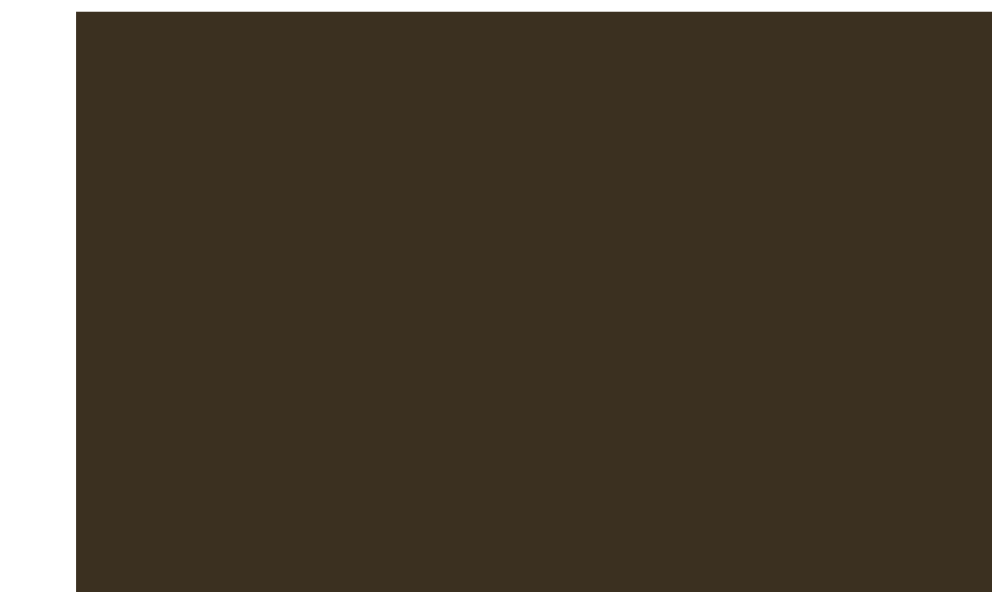
7. FIBER CEMENT SIDING SYSTEM
STYLE: 7-1/4" LAP SIDING
TEXTURE: RUSTIC / SELECT CEDAR MILL
COLOR: BENJAMIN MOORE PAINT: HC-100, GLOUCESTER SAGE



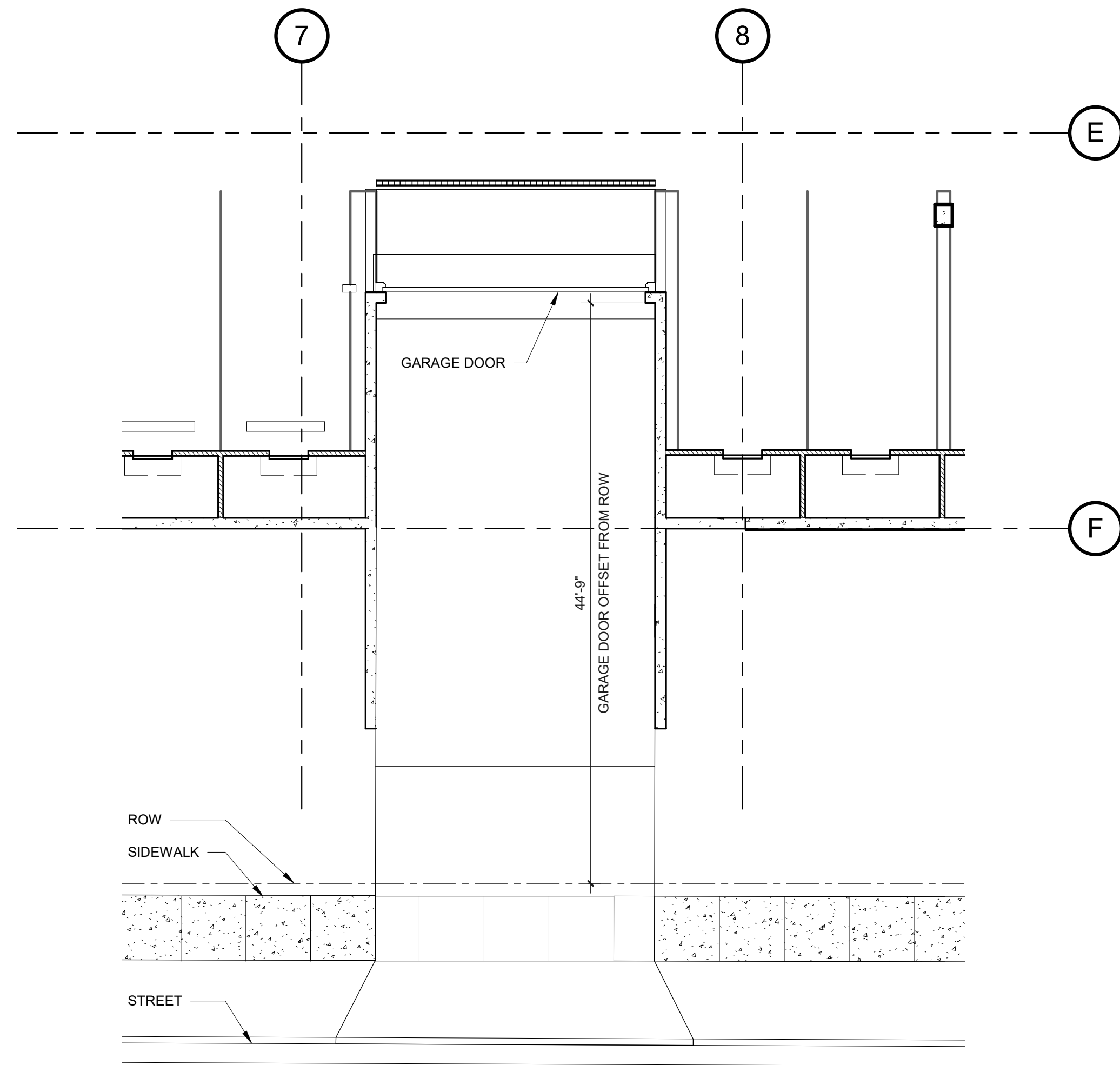
8. BRICK
STYLE: NORMAN, 3-1/2"x2-1/2"x11-1/2"
TEXTURE: PACIFIC CLAY PRODUCTS, INC., "VELOUR."
COLOR: PACIFIC CLAY PRODUCTS, INC., "ROYAL SALTILLO."



9. ALUMINUM STOREFRONT SYSTEM
FINISH: CLEAR ANODIZED

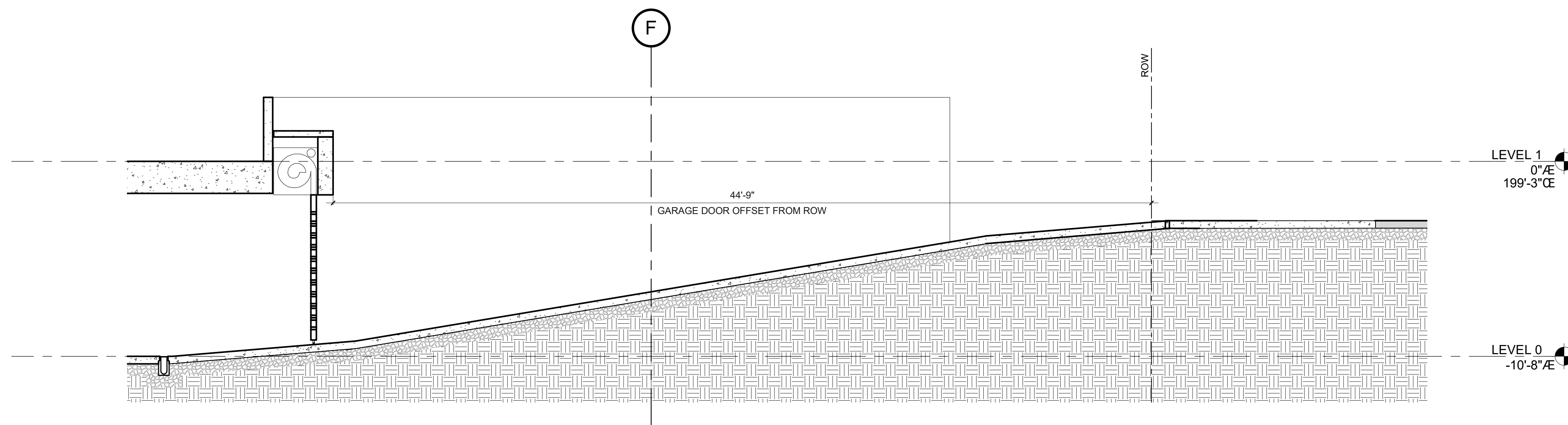


10. STANDING METAL SEAM ROOFING SYSTEM
FINISH: DURATECH 5000, WEATHERED COPPER



1. LUR - GARAGE ENTRY PLAN

SCALE: 1/8" = 1'-0"



2. LUR - GARAGE ENTRY SECTION

SCALE: 1/4" = 1'-0"

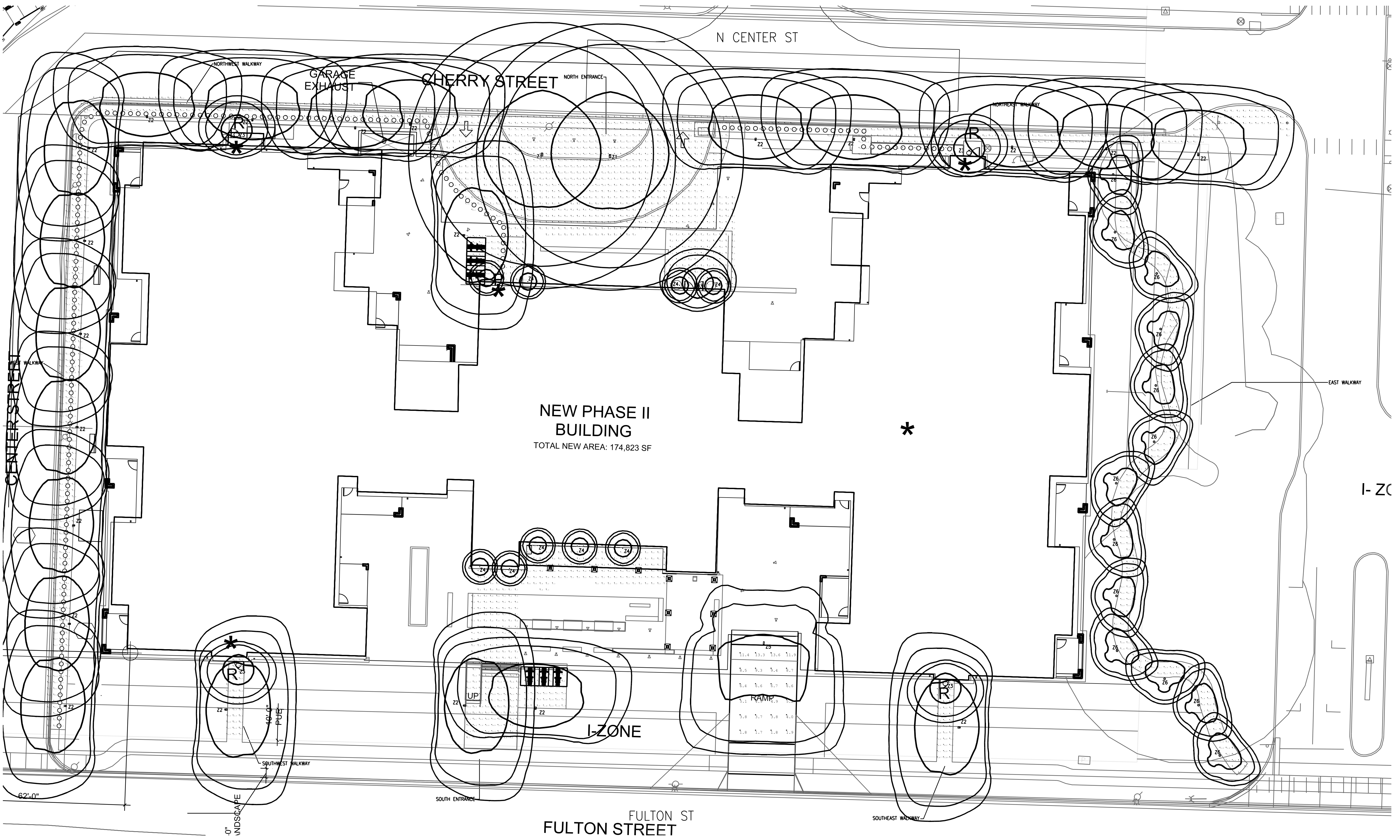
PRELIMINARY
 NOT FOR
 CONSTRUCTION

CONSULTANT:

MAZZETTI
 121 SW Solmon St., Suite 1000
 Portland, OR 97204-2918
 Tel: 503.620.3232
 www.mazzetti.com
 Project Number: 185-072

PROJECT NUMBER: 217304

**University Village
 Phase II**
 1001 Fulton Street,
 Newberg OR 97132



**NEW PHASE II
 BUILDING**
 TOTAL NEW AREA: 174,823 SF

I-ZONE

**FULTON ST
 FULTON STREET**

A ELECTRICAL SITE LIGHTING
 E1.00LU SCALE: 1/16" = 1'-0"

STATISTICS - FOOT CANDLE CALCS					
Description	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE NORTH	7.48	17.80	0.00	29.53	12.45
EAST WALKWAY	7.44	15.30	1.30	5.72	11.77
NORTHEAST WALKWAY	9.22	17.60	0.70	13.17	25.14
NORTHWEST WALKWAY	13.64	25.80	7.40	1.84	3.49
SOUTHEAST WALKWAY	16.00	21.10	9.90	1.62	2.13
SOUTH ENTRANCE	8.78	16.30	1.60	5.49	10.19
SOUTHWEST WALKWAY	14.65	19.90	9.00	1.63	2.21
WEST WALKWAY	13.19	18.70	8.80	1.50	2.13

LUMINAIRE SCHEDULE									
FIXTURE DESIGNATION	DESCRIPTION	LUMINAIRE WATTS	CCT	LUMEN OUTPUT	VOLTS	MOUNTING	MANUFACTURER	CATALOG NUMBER	COMMENTS
21	LED AREA LIGHT	171	4000K	18413	UNV	POLE	CREE	AREA-EDG	TYPE V, S25MA DISTRIBUTION, 12' TALL
22	LED AREA LIGHT	101	4000K	8750	UNV	POLE	CREE	AREA-EDG	TYPE 3MP, S25MA DISTRIBUTION, 8' TALL
23	LED WALLPACK	19	3000K	1345	UNV	WALL MOUNTED	WAC	HAWK WP-LED2	
24	LED WALL SCOFF	6	4000K	500	120	WALL MOUNTED	HINKLEY	MIST	PROVIDE GU10 LED BULB
25	LED WALLPACK	72	4000K	8475	UNV	WALL MOUNTED	CREE	XSPW	TYPE 4ME DISTRIBUTION
26	LED BOLLARD	22	4000K	1389	UNV	42" BOLLARD	CREE	PWY-EDG	TYPE 3M DISTRIBUTION

SHEET TITLE:

DRAWN BY: Author
 DATE ISSUED: 05/01/20

E1.00LU
 100% SCHEMATIC DESIGN SET
 4/23/20

j:\file_025am_14 August_018\BSC-072 - Fultonsville University Village\04 Design\03 CAD Link\E1.00LU ELECTRICAL LIGHTING.LAND USE.dwg