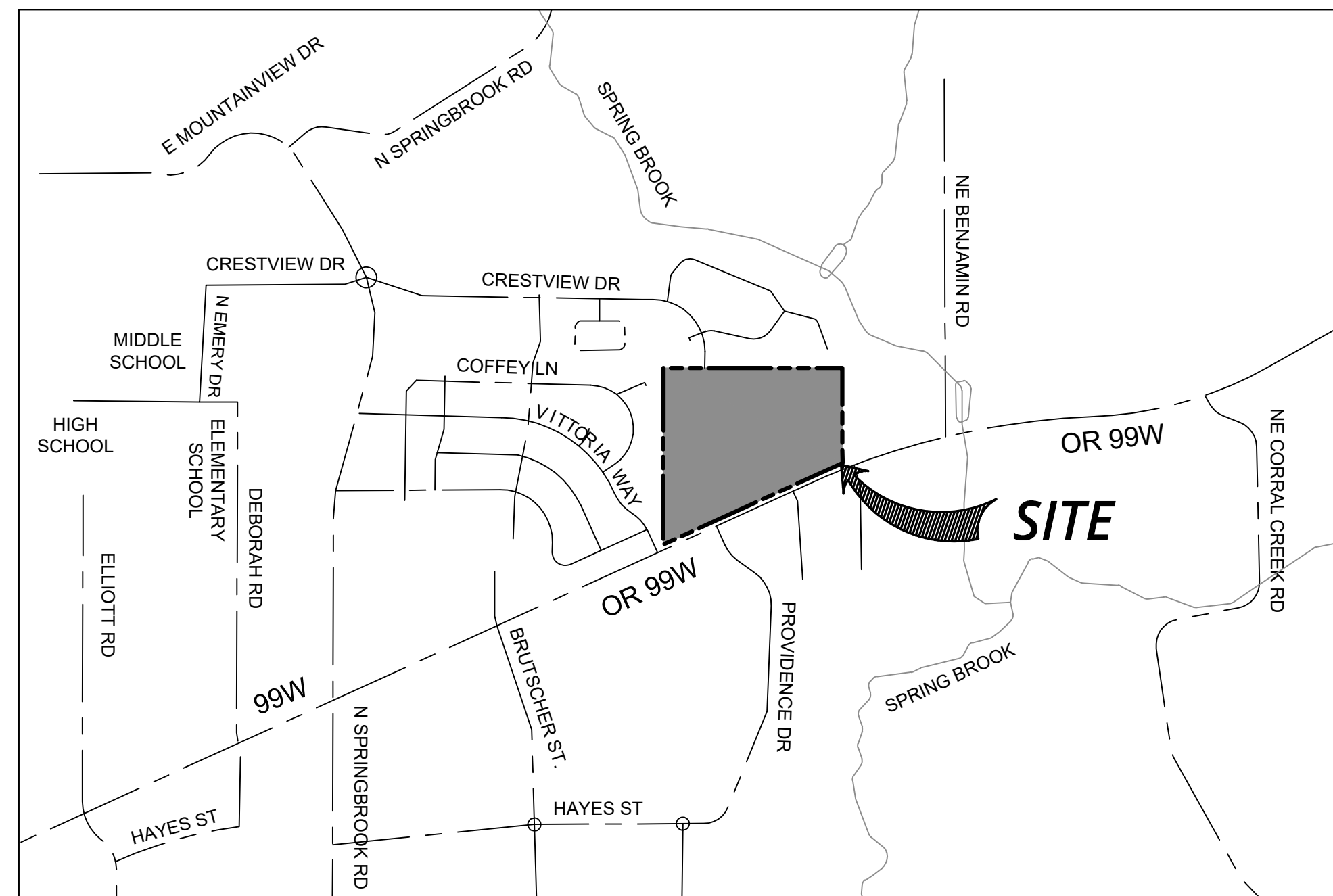


# LAND USE DOCUMENTS

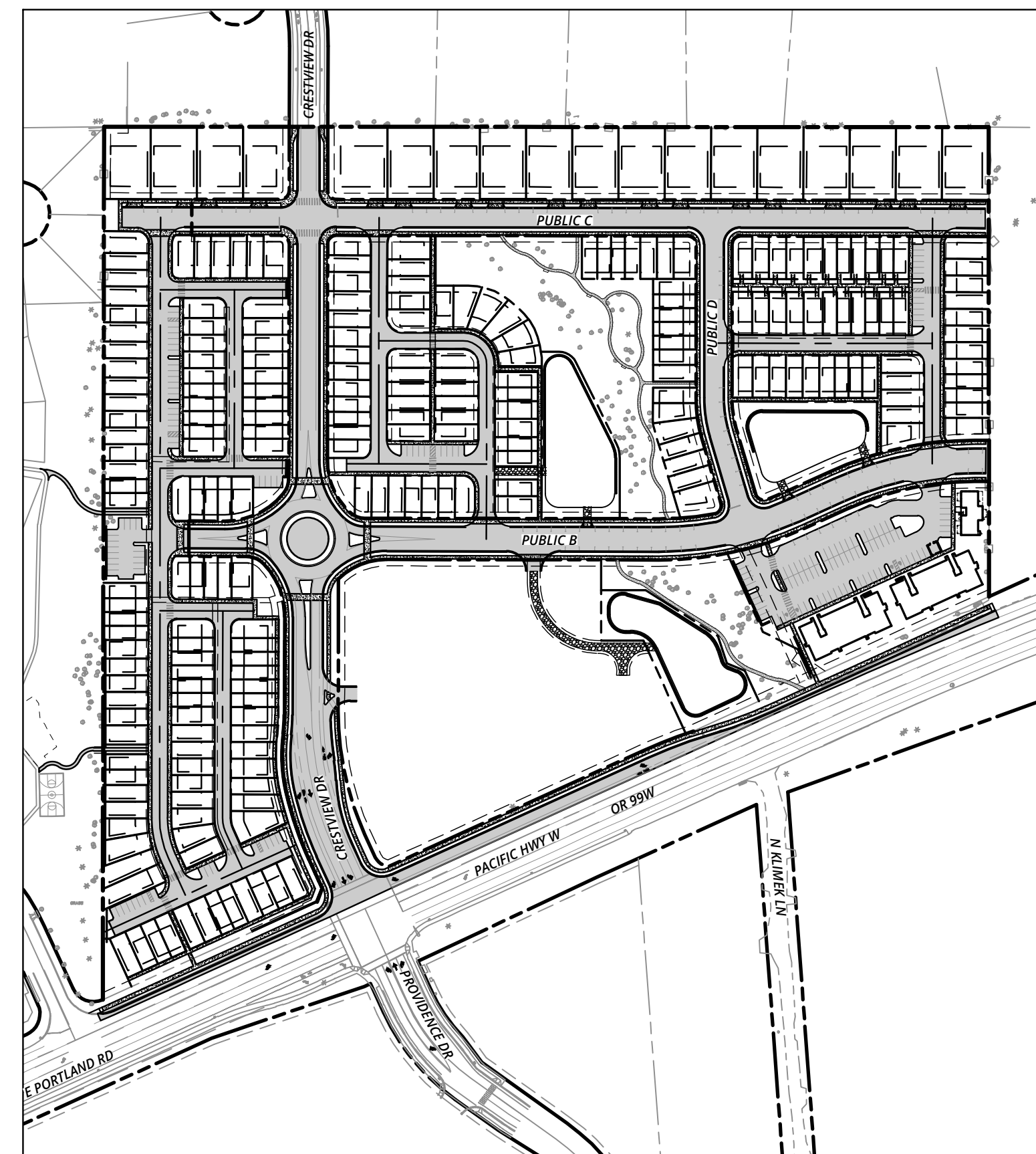
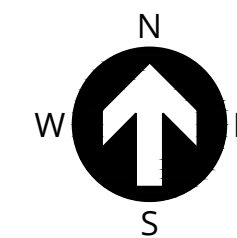
## FOR

# CRESTVIEW CROSSING PLANNED UNIT DEVELOPMENT

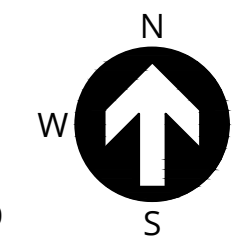
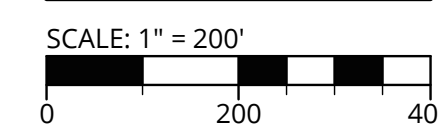
PREPARED FOR  
JT SMITH COMPANIES



VICINITY MAP  
NOT TO SCALE



SITE MAP



### PROJECT TEAM

**OWNER/APPLICANT**  
JT SMITH COMPANIES  
5285 MEADOWS ROAD, SUITE 171  
LAKE OSWEGO, OR 97035  
CONTACT: JESSE NEMEC  
PHONE: (503) 730-8620  
EMAIL: jnemec@jtsmithco.com

**CIVIL ENGINEER**  
3J CONSULTING, INC.  
5075 SW GRIFFITH DRIVE, SUITE 150  
BEAVERTON, OR 97005  
CONTACT: ASHLEY SEAL, PE  
PHONE: (503) 946-9365  
EMAIL: ashley.seal@3j-consulting.com

**PLANNING CONSULTANT**  
3J CONSULTING, INC.  
5075 SW GRIFFITH DRIVE, SUITE 150  
BEAVERTON, OR 97005  
CONTACT: ANDREW TULL  
PHONE: (503) 946-9365  
EMAIL: andrew.tull@3j-consulting.com

**LANDSCAPE ARCHITECT**  
CARDNO, INC.  
6720 SW MACADAM AVE, SUITE 200  
PORTLAND, OR 97219  
CONTACT: ANDREW HILL  
PHONE: (503) 419-2500  
EMAIL: andrew.hill@cardno.com

TAX LOTS 13800 AND 01100 LOCATED IN THE  
NE 1/4 OF SECTION 16, T.3S., R.2W., W.M.  
CITY OF NEWBURG, YAMHILL COUNTY, OREGON

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C100	EXISTING CONDITIONS PLAN
C110	TREE REMOVAL AND PRESERVATION PLAN
C120	1200C COVER SHEET
C121	1200C CLEARING AND DEMOLITION ESCP I
C122	1200C GRADING AND STREET CONSTRUCTION ESCP I
C123	1200C DETAILS I
C124	1200C DETAILS II
C150	OVERALL TENTATIVE PLAT
C151	TENTATIVE PLAT I
C152	TENTATIVE PLAT II
C153	TENTATIVE PLAT III
C154	TENTATIVE PLAT IV
C200	TYPICAL SECTIONS I
C201	TYPICAL SECTIONS II
C210	OVERALL SITE PLAN
C215	MULTI-FAMILY SITE PLAN
C218	MULTI-FAMILY GRADING PLAN
C220	ACCESS, PARKING, AND CIRCULATION PLAN
C230	FIRE ACCESS PLAN
C290	PHOTOMETRICS PLAN
C291	MULTI-FAMILY PHOTOMETRICS PLAN
C300	COMPOSITE UTILITY PLAN
C301	OFFSITE SEWER CONNECTION
C302	PRELIMINARY STREET LIGHT CONDUIT ROUTING PLAN
C303	MULTI-FAMILY COMPOSITE UTILITY PLAN
LS 2.0	LS 2.0 STREET TREE PLAN
LS 2.1	LS 2.1 PLANTING PLAN
LS 2.2	LS 2.2 PLANTING PLAN
LS 2.3	LS 2.3 PLANTING PLAN
LS 2.4	LS 2.4 PLANTING PLAN

### SITE INFORMATION

**SITE ADDRESS**  
4505 E PORTLAND RD  
NEWBURG, OR 97132

**TAX LOT(S)**  
352W16 13800, 1100

**FLOOD HAZARD**  
MAP NUMBER: 41071C0241D AND  
41071C0235D ZONE X (UNSHADED)

**JURISDICTION**  
CITY OF NEWBURG

**ZONING**  
R-1, R-2, AND C-2

**GROSS SITE AREA**  
33.13 ACRES

### UTILITIES & SERVICES

**STORM, SEWER**  
CITY OF NEWBURG

**WATER**  
CITY OF NEWBURG

**POWER**  
PGE

**GAS**  
NORTHWEST NATURAL GAS

**CABLE**  
COMCAST, VERIZON

**FIRE**  
TUALATIN VALLEY FIRE & RESCUE

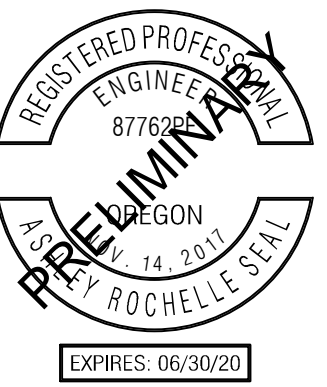
**SCHOOLS**  
NEWBURG OREGON SCHOOL DISTRICT

**POLICE**  
NEWBURG POLICE DEPARTMENT

**PARKS**  
CHEHALEM

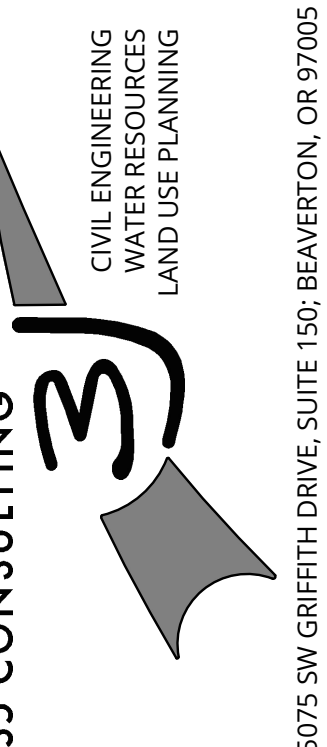
**ROADS**  
CITY OF NEWBURG, ODOT

ALL WORK PERFORMED SHALL  
CONFORM TO ALL STANDARD  
SPECIFICATIONS FOUND  
WITHIN THE LATEST VERSION  
OF THE CITY OF NEWBURG'S  
PUBLIC WORKS DESIGN AND  
CONSTRUCTION STANDARDS.



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

COVER SHEET  
**CRESTVIEW CROSSING  
PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBURG, OR



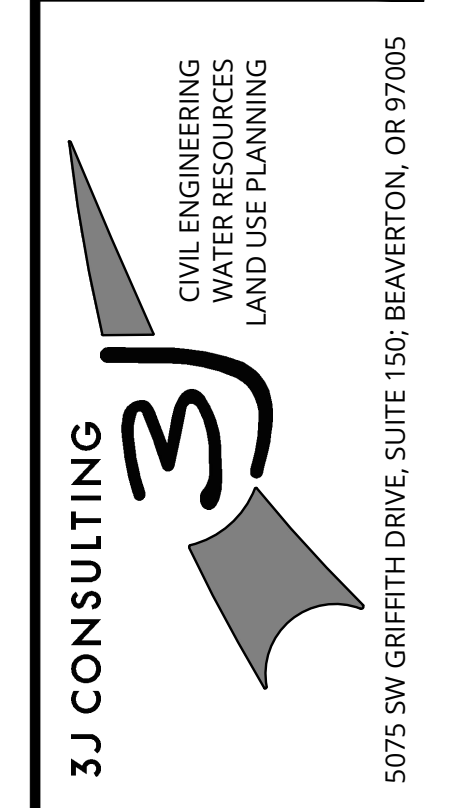
PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C000**



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

EXISTING CONDITIONS PLAN  
**CRESTVIEW CROSSING**  
PLANNED UNIT DEVELOPMENT  
JT SMITH COMPANIES  
NEWBERG, OR



PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C100**

**EXISTING LEGEND**

	EXISTING BUILDING		EXISTING MAJOR CONTOUR
	PROJECT BOUNDARY		EXISTING MINOR CONTOUR
	RIGHT-OF-WAY LINE		EXISTING INTERSECTION SIGNAL
	RIGHT-OF-WAY CENTERLINE		EXISTING MAILBOX
	EASEMENT LINE		EXISTING LIGHTPOLE
	EXISTING LOT LINE		EXISTING UTILITY POLE
	EXISTING ADJACENT PROPERTY LINE		EXISTING CONIFEROUS TREE
	EXISTING CONCRETE		EXISTING DECIDUOUS TREE
	EXISTING WETLAND		EXISTING SIGN
	EXISTING CURB		EXISTING SANITARY MANHOLE
	EXISTING FENCE LINE		EXISTING STORM MANHOLE
	EXISTING STRIPING: WHITE		EXISTING STORM INLET
	EXISTING STRIPING: YELLOW		EXISTING POWER METER
	EXISTING TELECOM LINE		EXISTING GAS METER
	EXISTING GAS LINE		EXISTING TELEPHONE PEDESTAL
	EXISTING OVERHEAD POWER		
	EXISTING SANITARY SEWER		
	EXISTING STORM SEWER		
	EXISTING WATER MAIN		

**SURVEYOR'S NOTES:**

1. WETLAND BOUNDARIES SHOWN WERE DELINEATED BY MARTIN SCHOTT AND ASSOCIATES AND WERE SURVEYED BY AKS ENGINEERING AND FORESTRY, LLC. THE WEEK OF 03/11/13 TO 03/14/13. FIELD WORK WAS CONDUCTED 03/07/13 TO 03/14/13.
2. UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS PER UTILITY LOCATE TICKET NUMBERS 13163881 AND 14165137. THERE IS NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
3. FIELD WORK WAS CONDUCTED 08/06/13 TO 08/12/13 AND 07/07/14 TO 07/18/14.
4. DATUM: CITY OF NEWBERG (ESTABLISHED OCTOBER OF 1984 AND REVISED IN 2001)  
BM NO. 111 ELEVATION = 230.11 (NGVD 29)  
BENCHMARK LOCATION: BRASS DISK IN THE TOP OF CURB, CENTER OF THE NORTHEAST CURB RETURN AT THE CORNER OF AQUARIUS BLVD. AND MADRONNA DRIVE.
5. CONTOUR INTERVAL IS 2 FEET.

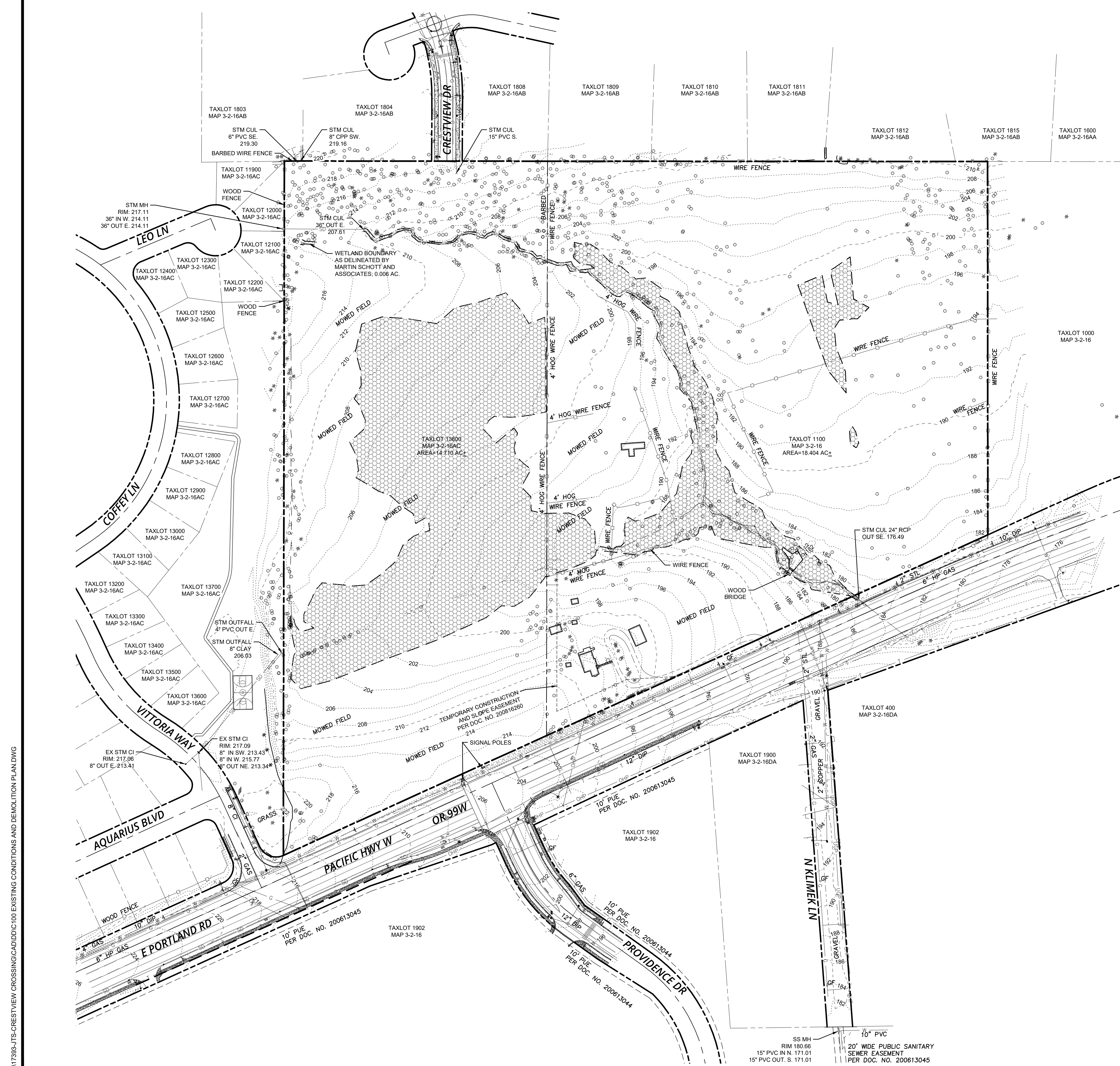
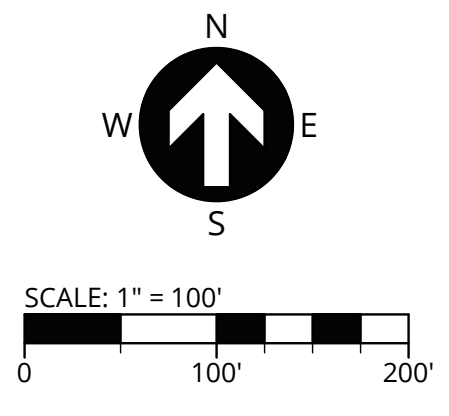
**EXISTING CONDITIONS PLAN**

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF SITE SURVEY FROM AKS ENGINEERING (SENT 07-07-2017), PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, TAX ASSESSOR MAPS AND PHYSICAL SITE OBSERVATIONS. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

**ZONE X (UN-SHADED)** THE SITE IS LOCATED WITHIN ZONE X (UN-SHADED) PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 41071C0241D AND 41071C0235D. FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

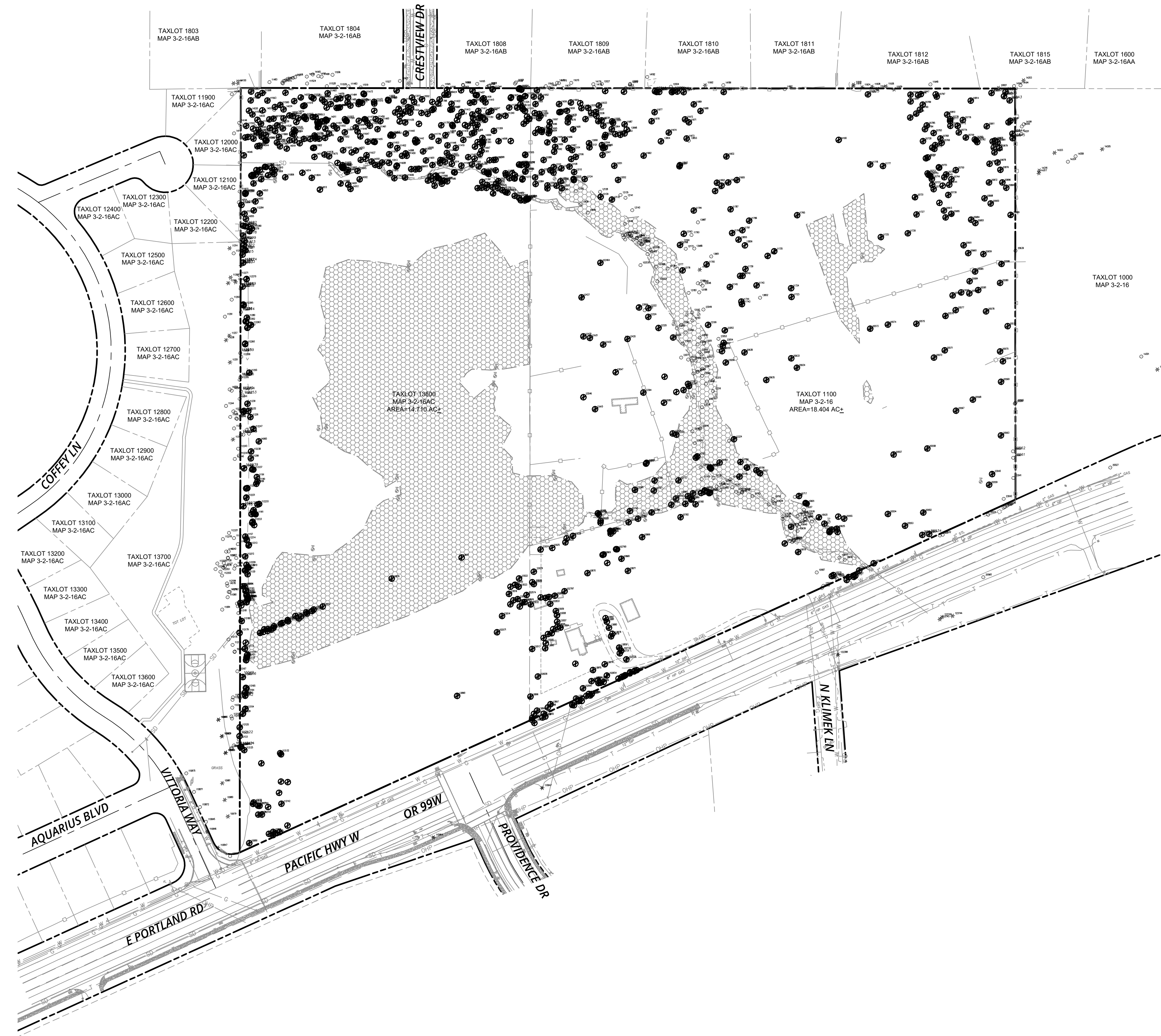
**GENERAL NOTES:**

WETLAND BOUNDARY DELINEATED BY MARTIN SCHOTT AND ASSOCIATES; SURVEYED BY AKS WEEK OF 3/11/13 - 3/14/13






P:\17393-JTS-CRESTVIEW CROSSING\CADD\C100-EXISTING CONDITIONS AND DEMOLITION PLAN.DWG

P:\17283-JTS-CRESTVIEW CROSSING\CADD\DC110 TREE REMOVAL AND PRESERVATION PLAN.DWG

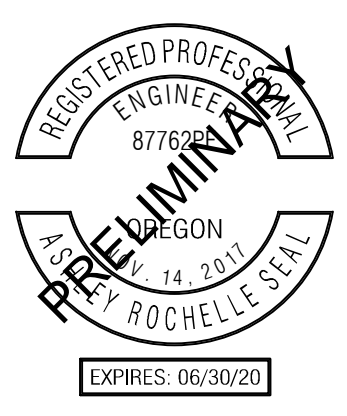


**LEGEND**

	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE
	TREE TO BE REMOVED (848 TOTAL)

**GENERAL TREE INVENTORY STATISTICS**

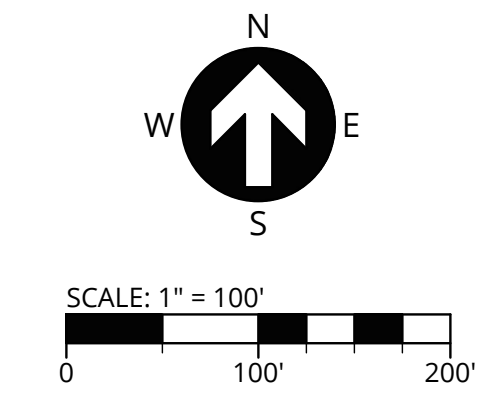
TOTAL TREE INVENTORY (IN PROJECT LIMITS):	1,042 EA
TOTAL TREES RETAINED:	119 EA
TOTAL TREES REMOVED:	923 EA



PUBLISH DATE  
**06.06.2018**

ISSUED FOR  
**LAND USE DOCUMENTS**

**TREE REMOVAL AND PRESERVATION PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR



**3J CONSULTING**

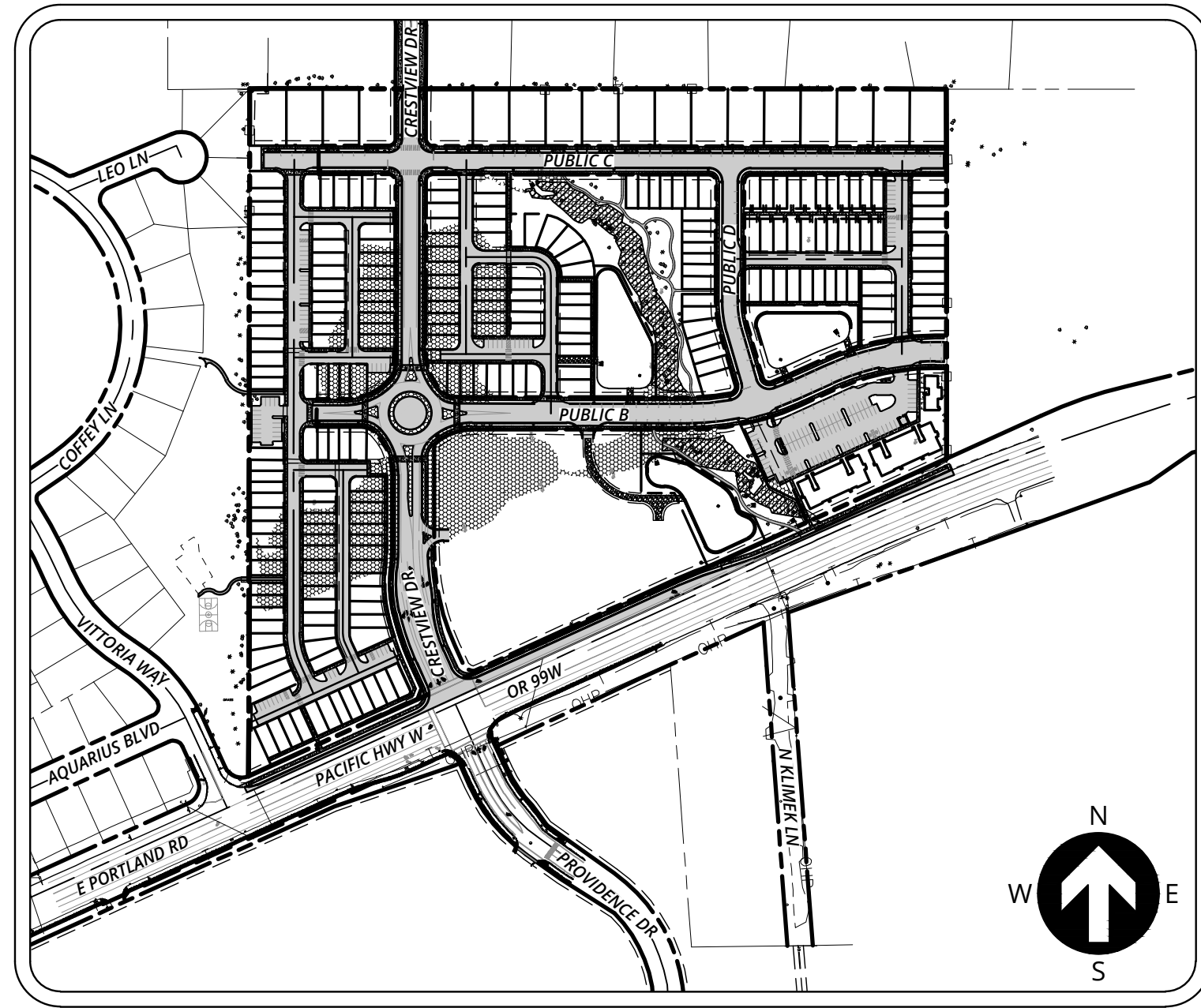
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING

5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

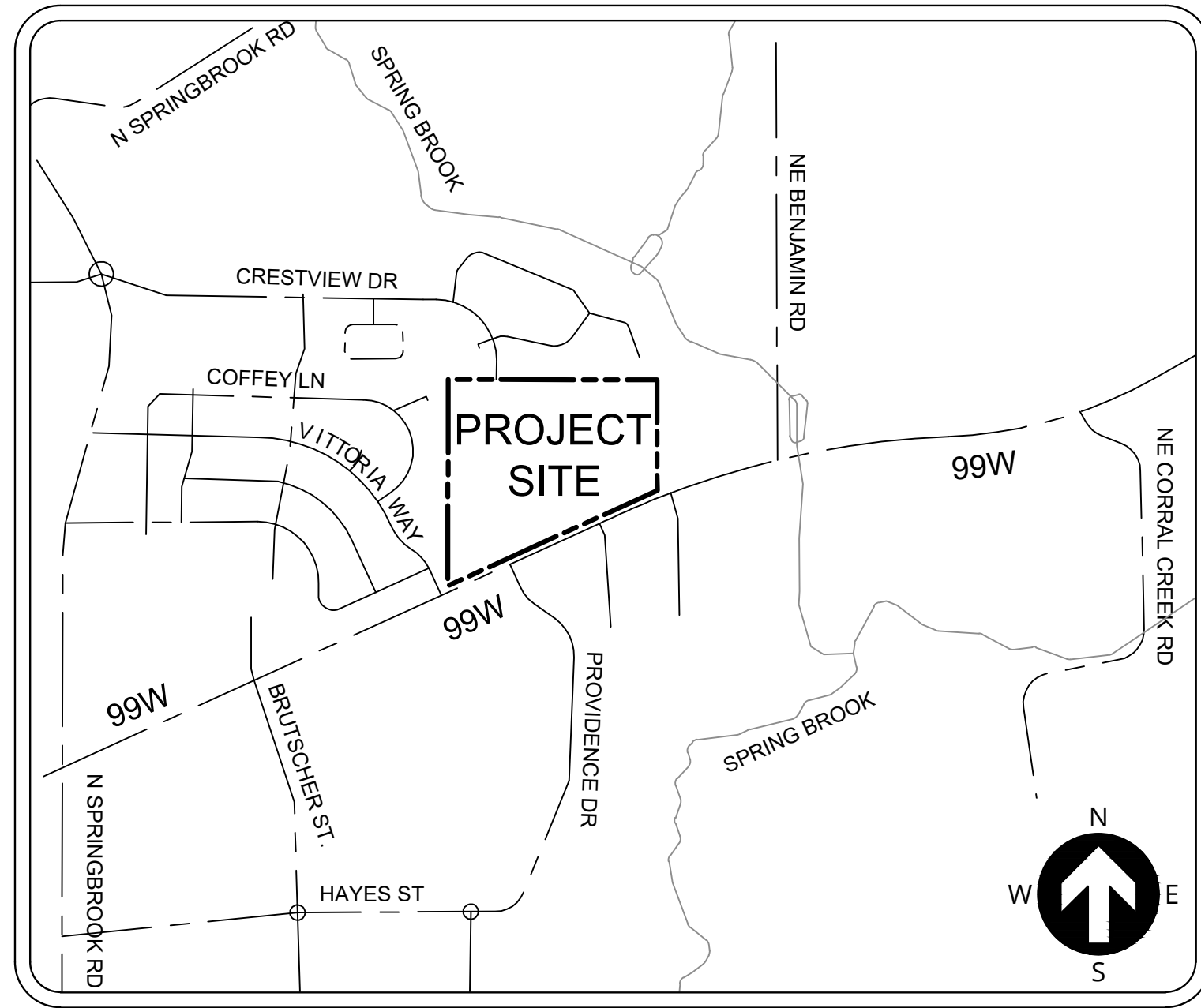
**PROJECT INFORMATION**

3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C110**



**SITE MAP**  
SCALE: 1" = 300'



**VICINITY MAP**  
SCALE: N.T.S.

**INSPECTION FREQUENCY:**

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOW MELT, IS OCCURRING. AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.
5. PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.

**ATTENTION EXCAVATORS:**

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.



# CRESTVIEW CROSSING SUBDIVISION

## EROSION AND SEDIMENT CONTROL PLAN (ESCP) COVER SHEET

**PROPERTY DESCRIPTION:**

TAX LOTS 13800 AND 01100 LOCATED IN THE NE 1/4 OF SECTION 16, T.3S., R.2W., W.M. CITY OF NEWBURG, YAMHILL COUNTY, OREGON

**PROJECT LOCATION:**

NEAR THE WASHINGTON COUNTY BENCHMARK #59, EL. 145.876, WASHINGTON COUNTY, OREGON  
LATITUDE = 45°29'29.53" N, LONGITUDE = 122°55'58.33" W

**OWNER/APPLICANT**

JT SMITH COMPANIES  
5285 MEADOWS ROAD, SUITE 171  
LAKE OSWEGO, OR 97035  
CONTACT: JESSE NEMEC  
PHONE: (503) 730-8620  
EMAIL: jnec@jtsmithco.com

**PLANNING CONSULTANT**

3J CONSULTING, INC  
5075 SW GRIFFITH DRIVE, SUITE 150  
BEAVERTON, OR 97005  
CONTACT: ANDREW TULL  
PHONE: (503) 946-9365  
EMAIL: andrew.tull@3j-consulting.com

**CIVIL ENGINEER**

3J CONSULTING, INC.  
5075 SW GRIFFITH DRIVE, SUITE 150  
BEAVERTON, OR 97005  
CONTACT: ASHLEY SEAL, PE  
PHONE: (503) 946-9365  
EMAIL: ashley.seal@3j-consulting.com

**LANDSCAPE ARCHITECT**

CARDNO, INC.  
6720 SW MACADAM AVE, SUITE 200  
PORTLAND, OR 97219  
CONTACT: ANDREW HILL  
PHONE: (503) 419-2500  
EMAIL: andrew.hill@cardno.com

**NARRATIVE DESCRIPTIONS**

**EXISTING SITE CONDITIONS**

ONE HOUSE WITH ACCESSORY STRUCTURES. REMAINDER OF SITE CONSISTS OF WETLANDS AND GRASSY FIELD, WITH SCATTERED TREES.

**DEVELOPED CONDITIONS**

SUBDIVIDE INTO 4.20 ACRE COMMERCIAL SPACE, 2 APARTMENT BUILDINGS WITH 48 TOTAL UNITS, 230 HIGH DENSITY LOTS AND 18 SINGLE FAMILY HOME LOTS.

**NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE**

- \* CLEARING (JUNE 2019)
- \* MASS GRADING (JUNE-JULY 2019)
- \* UTILITY INSTALLATION (AUGUST-SEPTEMBER 2019)
- \* STREET CONSTRUCTION (MAY 2020)
- \* FINAL STABILIZATION (JUNE 2020)

TOTAL ON-SITE AREA = 1,442,521 SF = 33.13 ACRES

TOTAL OFF-SITE AREA = 50,990 SF = 1.17 ACRES

TOTAL AREA = 1,493,511 SF = 34.30 ACRES

**SITE SOIL CLASSIFICATION:**

- \* AMITY SILT LOAM, 0-3% SLOPE - 51.1%
- \* WOODBURN SILT LOAM, 0-3% SLOPE - 21.7%
- \* WOODBURN SILT LOAM, 3-12% SLOPE - 26.5%
- \* WOODBURN SILT LOAM, 12-20% SLOPE - 0.8%

ON-SITE SOILS HAVE A MODERATE TO HIGH EROSION POTENTIAL. ALL FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING EXCAVATION AND UTILITY TRENCH SPOILS.

**RECEIVING WATER BODIES:**

NEAREST WATER BODY: SPRING BROOK, A PART OF THE WILLAMETTE RIVER BASIN.

SITE IS ZONE X (UNSHADED) PER FEMA FIRM MAP NUMBER: 41071C0241D AND 41071C0235D. NO ELEVATED FLOOD RISK.

**STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:**

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (SCHEDULE A.8.C.(3))
- ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS. (SCHEDULE A.12.B AND SCHEDULE B.1)
- INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SCHEDULE B.1.C AND B.2)
- RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, THE ABOVE RECORDS MUST BE RETAINED BY THE PERMIT REGISTRANT BUT DO NOT NEED TO BE AT THE CONSTRUCTION SITE. (SCHEDULE B.2.C)
- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A.8.A)
- THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SCHEDULE A.12.C.I)
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SCHEDULE A.12.C.IV. AND V)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.7.A.III)
- IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.I.(1) AND (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.A.V)
- MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FOOT OF WATERS OF THE STATE. (SCHEDULE A.7.B.I AND (2)(A)(B))
- INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SCHEDULE A.8.C.I.(5))
- CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SCHEDULE A.7.C)
- CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. (SCHEDULE A.7.D.I)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.I.(6))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATION MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR UTILITY POLE PADS. (SCHEDULE A.8.C.II.(3))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.I.(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPs SUCH AS: CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPs MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A.7.D.II AND A.8.C.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.III.(5))
- CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT, WASTEWATER FROM CLEANOUT OF STUCCO, PAINT AND CURING COMPOUNDS. (SCHEDULE A.6)
- USE BMPs TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBICIDES, PAINTS, SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.I.(2))
- IMPLEMENT THE FOLLOWING BMPs WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (SCHEDULE A.7.E.III.)
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A.7.A.IV)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A.7.B)
- AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A.7.E.II.(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND BARE GROUND ACTIVITIES DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.I)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III.(4))
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER. TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. (SCHEDULE A.8.C.III.(1) AND D.3.C.II AND III)

**LOCAL AGENCY (CITY OF NEWBURG) SPECIFIC EROSION CONTROL NOTES:**

- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED. APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC PLAN, ANY REVISIONS, AND INSPECTION LOGS SHALL BE KEPT ONSITE AT ALL TIMES.
- THE ESC MEASURES SHOWN ON THE PLAN ARE THE MINIMUM REQUIREMENTS FOR THE PROJECT SITE AND SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
- SEDIMENT MUST BE REMOVED FROM SUMPED STRUCTURES WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 1/3RD AND WITHIN 30 DAYS OF PROJECT COMPLETION.
- TOXIC AND HAZARDOUS MATERIALS MUST ALSO HAVE SECONDARY CONTAINMENT.
- PAVING ACTIVITIES SHALL BE MINIMIZED BETWEEN OCTOBER 1ST AND MAY 31ST OF THE FOLLOWING YEAR TO AVOID POTENTIAL DISCHARGE OF PAVING CHEMICALS INTO THE STORM DRAINS, STREETS, WATERCOURSES, OR SENSITIVE AREAS.
- ALL ESC MEASURES SHALL BE REMOVED FROM THE SITE 30 DAYS AFTER CONSTRUCTION IS COMPLETED AND APPROVED BY THE CITY.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

**BMP MATRIX FOR CONSTRUCTION PHASES**

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
<b>EROSION PREVENTION</b>						
PRESERVE NATURAL VEGETATION	**X	X	X	X	X	X
GROUND COVER					X	X
HYDRAULIC APPLICATIONS					X	X
PLASTIC SHEETING					X	X
MATTING					X	X
DUST CONTROL	X	X	X	X	X	X
TEMPORARY PERMANENT SEEDING					X	X
BUFFER ZONE					X	X
OTHER:						
<b>SEDIMENT CONTROL</b>						
SEDIMENT FENCE PERIMETER	**X	X	X	X	X	X
SEDIMENT FENCE INTERIOR			X	X	X	X
STRAW MATS					X	X
FILTER BERM					X	X
INLET PROTECTION	**X	X	X	X	X	X
DEWATERING					X	X
SEDIMENT TRAP					X	X
NATURAL BUFFER ENCROACHMENT	*X	*X	*X	*X	*X	*X
OTHER:						
<b>RUN OFF CONTROL</b>						
CONSTRUCTION ENTRANCE	**X	X	X	X	X	X
WHEEL WASH	**X	X	X	X	X	X
PIPE SLOPE DRAIN					X	X
OUTLET PROTECTION			X	X	X	X
SURFACE ROUGHENING					X	X
CHECK DAMS	**X	X	X	X	X	X
OTHER:						
<b>POLLUTION PREVENTION</b>						
PROPER STORAGE	X	X	X	X	X	X
HAZ WASTE MGMT	X	X	X	X	X	X
SPILL KIT ONSITE	X	X	X	X	X	X
CONCRETE WASHOUT AREA	X	X	X	X	X	X
OTHER:						

- \* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.
- \*\* SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

**RATIONALE STATEMENT**

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

PERMITTEE'S SITE INSPECTOR: \_\_\_\_\_ INITIAL \_\_\_\_\_

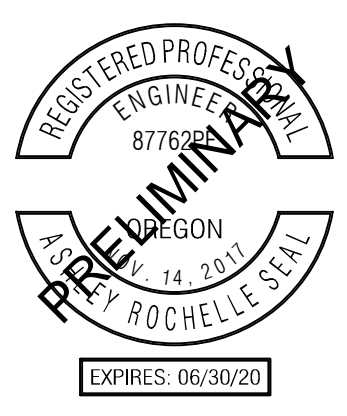
COMPANY/AGENCY: Sevin Simpson, 3J Consulting  
PHONE: (503) 946-9365 x229 - WORK  
(541) 508-9159 - CELL  
E-MAIL: sevin.simpson@3j-consulting.com

DESCRIPTION OF EXPERIENCE: ATTENDED A TWO-DAY TRAINING COURSE ON THE PRINCIPLES AND PRACTICES OF EROSION CONTROL  
CESCL #ECO-3-4131801

**SHEET INDEX**

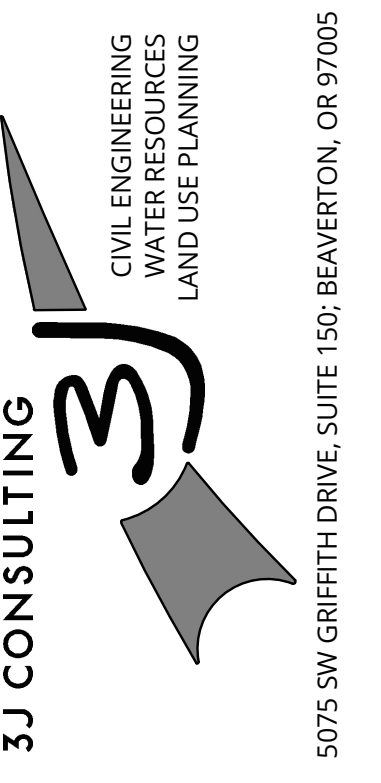
**EROSION AND SEDIMENT CONTROL PLANS**

- C120 EROSION AND SEDIMENT CONTROL COVER SHEET
- C121 CLEARING AND DEMOLITION EROSION AND SEDIMENT CONTROL PLAN
- C122 GRADING AND STREET CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN
- C123 EROSION AND SEDIMENT CONTROL DETAILS I
- C124 EROSION AND SEDIMENT CONTROL DETAILS II



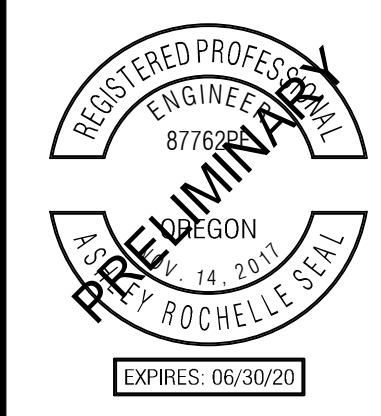
PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

1200C COVER SHEET  
CRESTVIEW CROSSING  
PLANNED UNIT DEVELOPMENT  
JT SMITH COMPANIES  
NEWBURG, OR



PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOTS | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C120**



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**1200C CLEARING AND DEMOLITION ESCP /**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBERG, OR

**3J CONSULTING**  
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING  
5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C121**

**EROSION CONTROL KEY NOTES**

1. CONSTRUCT CONSTRUCTION ENTRANCE PER NEWBERG STANDARD DRAWING 601 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
2. INSTALL TREE PROTECTION FENCING PER DETAIL T-1 ON SHEET C124. MAINTAIN THROUGHOUT CONSTRUCTION. ALL RELOCATION OF TREE PROTECTION FENCING AND WORK WITHIN THE STANDARD TREE PROTECTION ZONE SHALL BE PERFORMED UNDER THE SUPERVISION OF AN ARBORIST OR THE CITY'S URBAN FORESTER. FENCING SHALL BE REPLACED TO 5' BEYOND THE TREE DRIPLINE ONCE WORK WITHIN THE TREE PROTECTION ZONE IS COMPLETED.
3. INSTALL SILT FENCING PER NEWBERG STANDARD DRAWING 602 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
4. INSTALL BIO-FILTER BAG CHECK DAMS AT 50' O.C. SPACING PER NEWBERG STANDARD DRAWING 605 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
5. CONSTRUCT CONCRETE WASHOUT BASIN PER NEWBERG STANDARD DRAWING 607 ON SHEET C124. MAINTAIN THROUGHOUT CONSTRUCTION.
6. PROVIDE CONSTRUCTION STAGING AND PARKING AREA FOR SITE ACCESS MANAGEMENT AND JOBSITE ADMINISTRATION.
7. INSTALL INLET PROTECTION PER NEWBERG STANDARD DRAWING 605 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.

**DEMOLITION KEY NOTES**

1. SHUT OFF, DISCONNECT, AND REMOVE UTILITY LINES AND DISPOSE OFF-SITE.
2. REMOVE EXISTING STRUCTURE AND FOUNDATION AND DISPOSE OFF-SITE AFTER ALL UTILITY LINES ARE PROPERLY SHUT OFF AND DISCONNECTED.
3. REMOVE EXISTING FENCING AND ASSOCIATED APPURTENANCES AND DISPOSE OFF-SITE.
4. SAWCUT AND REMOVE LAST 2' OF AC AT TIME OF ROAD CONSTRUCTION, AND DISPOSE OFF-SITE.
5. REMOVE EXISTING CULVERT AND ENTRANCE. CLEAR DITCH OF DEBRIS, AND DISPOSE OFF-SITE.

**GENERAL DEMOLITION NOTES**

1. SEE TREE REMOVAL AND PRESERVATION PLAN (SHEET C110) FOR ALL TREE REMOVAL INFORMATION.
2. SEE GEOTECHNICAL REPORT FOR SURFACE GRUBBING AND STRIPPING INFORMATION.
3. NO UNAUTHORIZED GROUND DISTURBANCE MAY OCCUR WITHIN VEGETATED CORRIDOR AND SENSITIVE AREA.

**PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES**

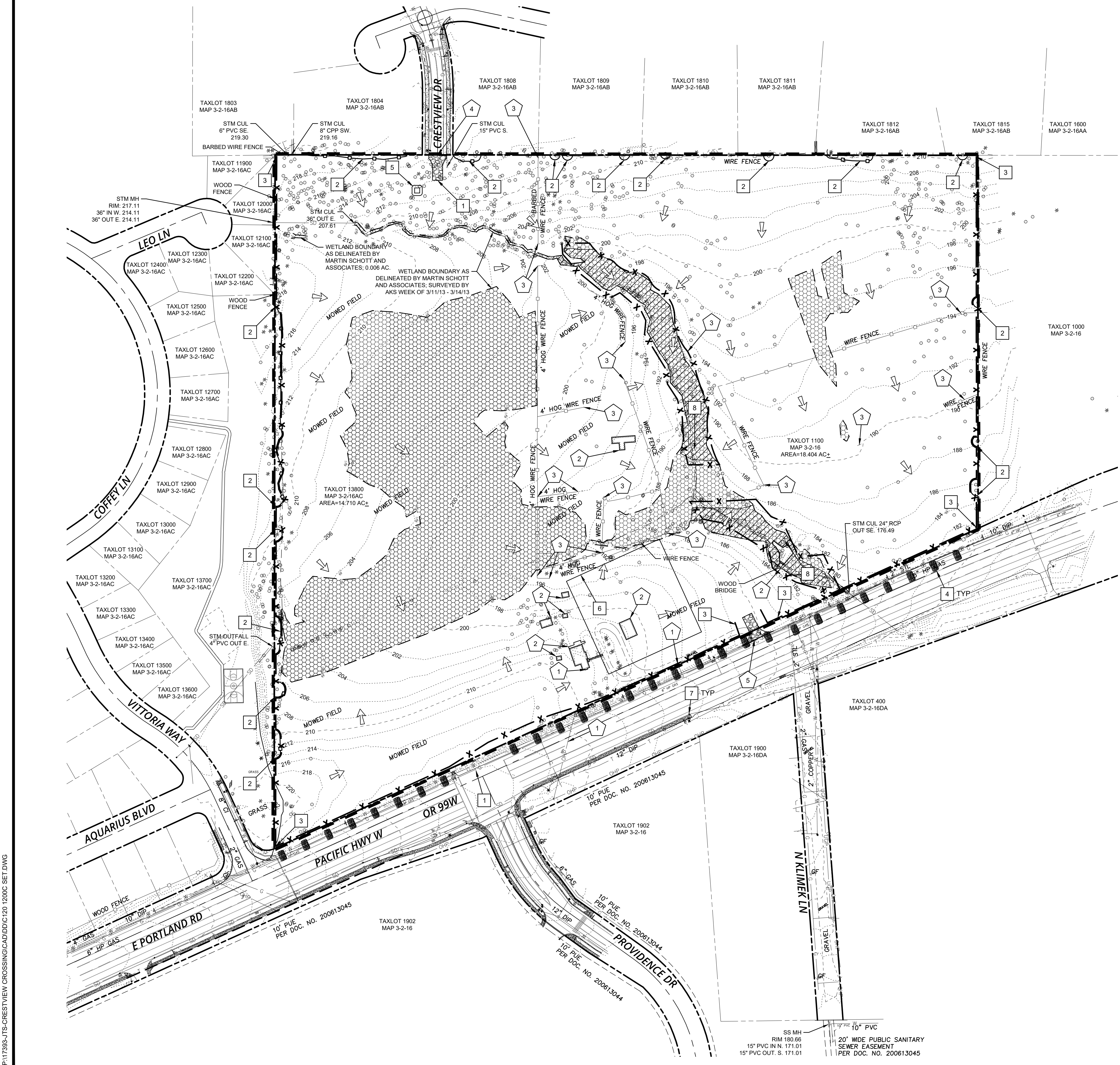
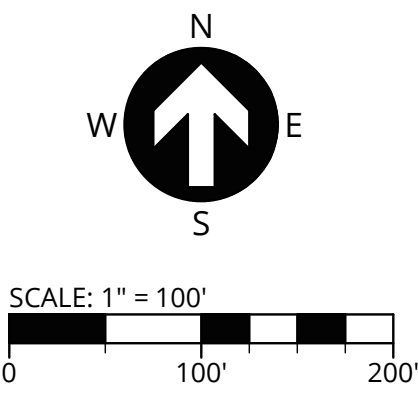
1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
3. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

**GENERAL EROSION CONTROL NOTES**

1. THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES SHALL BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

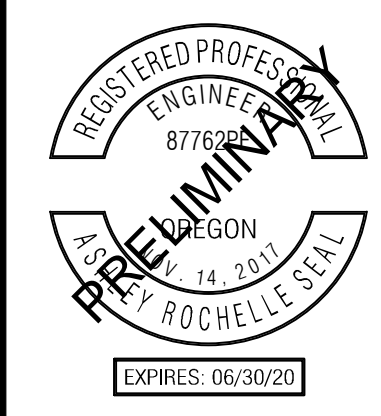
**LEGEND**

- 100- - - - - EXISTING MAJOR CONTOUR
- 92- - - - - EXISTING MINOR CONTOUR
- X - - - - - PROPOSED SILT FENCING
- - - - - - PROPOSED TREE PROTECTING FENCING
- ▨ - - - - - PROPOSED CONSTRUCTION ENTRANCE
- - - - - - PROPOSED INLET PROTECTION
- - - - - - PROPOSED BIO BAG CHECK DAM
- - - - - - EXISTING SURFACE RUN-OFF FLOW ARROW
- - - - - PROPOSED LIMITS OF DISTURBANCE
- ▨ - - - - - WETLAND TO REMAIN



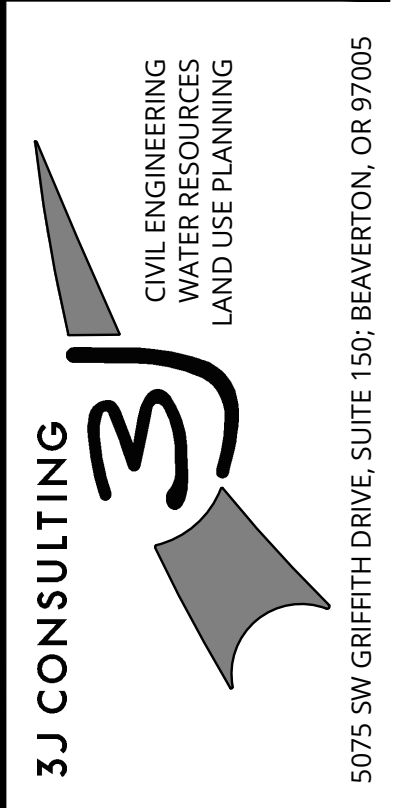
P:\17393-UTS-CRESTVIEW CROSSING\CADD\C120\_1200C SET.DWG

SS MH  
RIM 190.66  
15" PVC IN N. 171.01  
15" PVC OUT. S. 171.01  
20' WIDE PUBLIC SANITARY  
SEWER EASEMENT  
PER DOC. NO. 200613045



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**1200C GRADING AND STREET CROSSING ESCP I**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBERG, OR



PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C122**

**EROSION CONTROL KEY NOTES**

1. INSTALL CONSTRUCTION ENTRANCE PER NEWBERG STANDARD DRAWING 601 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
2. INSTALL TREE PROTECTION FENCING PER DETAIL T-1 ON SHEET C124. MAINTAIN THROUGHOUT CONSTRUCTION. ALL RELOCATION OF TREE PROTECTION FENCING AND WORK WITHIN THE STANDARD TREE PROTECTION ZONE SHALL BE PERFORMED UNDER THE SUPERVISION OF AN ARBORIST OR THE CITY'S URBAN FORESTER. FENCING SHALL BE REPLACED TO 5' BEYOND THE TREE DRIPLINE ONCE WORK WITHIN THE TREE PROTECTION ZONE IS COMPLETED.
3. INSTALL SILT FENCING PER NEWBERG STANDARD DRAWING 602 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
4. INSTALL BIO-FILTER BAG CHECK DAMS AT 50' O.C. SPACING PER NEWBERG STANDARD DRAWING 605 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
5. CONSTRUCT CONCRETE WASHOUT BASIN PER NEWBERG STANDARD DRAWING 607 ON SHEET C124. MAINTAIN THROUGHOUT CONSTRUCTION.
6. PROVIDE CONSTRUCTION STAGING AND PARKING AREA FOR SITE ACCESS MANAGEMENT AND JOBSITE ADMINISTRATION.
7. INSTALL INLET PROTECTION PER NEWBERG STANDARD DRAWING 605 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.
8. INSTALL OUTLET PROTECTION PER NEWBERG STANDARD DRAWING 606 ON SHEET C123. MAINTAIN THROUGHOUT CONSTRUCTION.

**GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:**

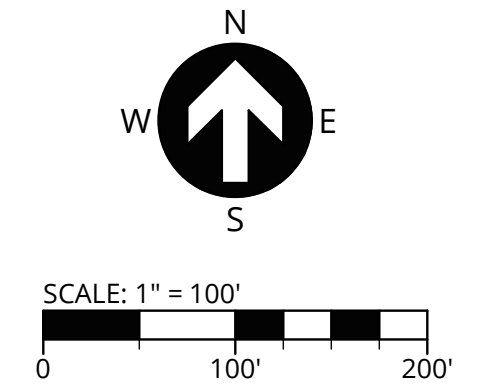
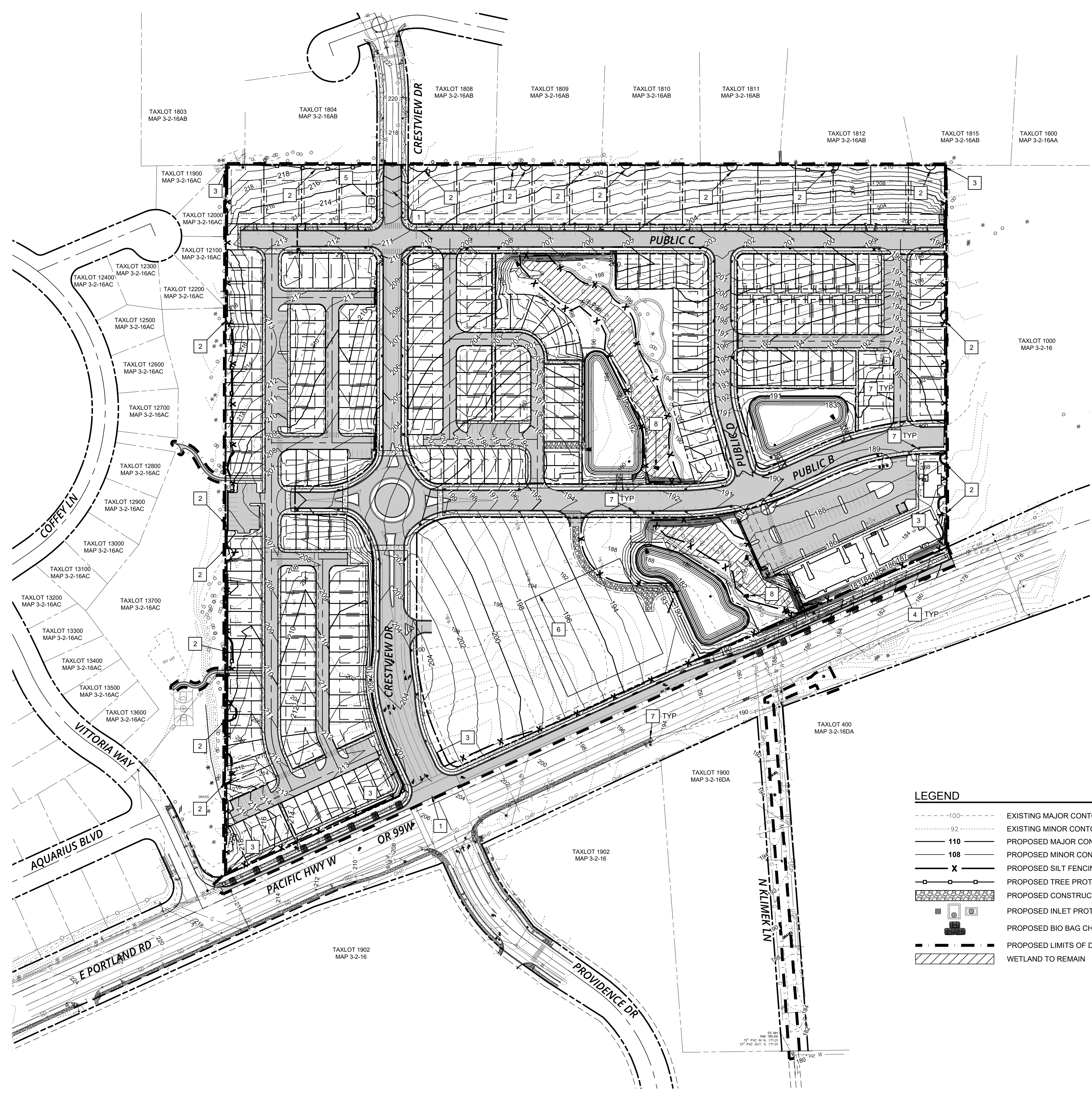
1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
    - 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    - 2. CREEPING RED FESCUE (20% BY WEIGHT)
  - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    - 1. ANNUAL RYEGRASS (40% BY WEIGHT)
    - 2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING; EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTling PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.
16. SEEDING SHALL BE PERFORMED NO LATER THAN SEPTEMBER 1ST FOR EACH PHASE OF CONSTRUCTION.

**EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION**

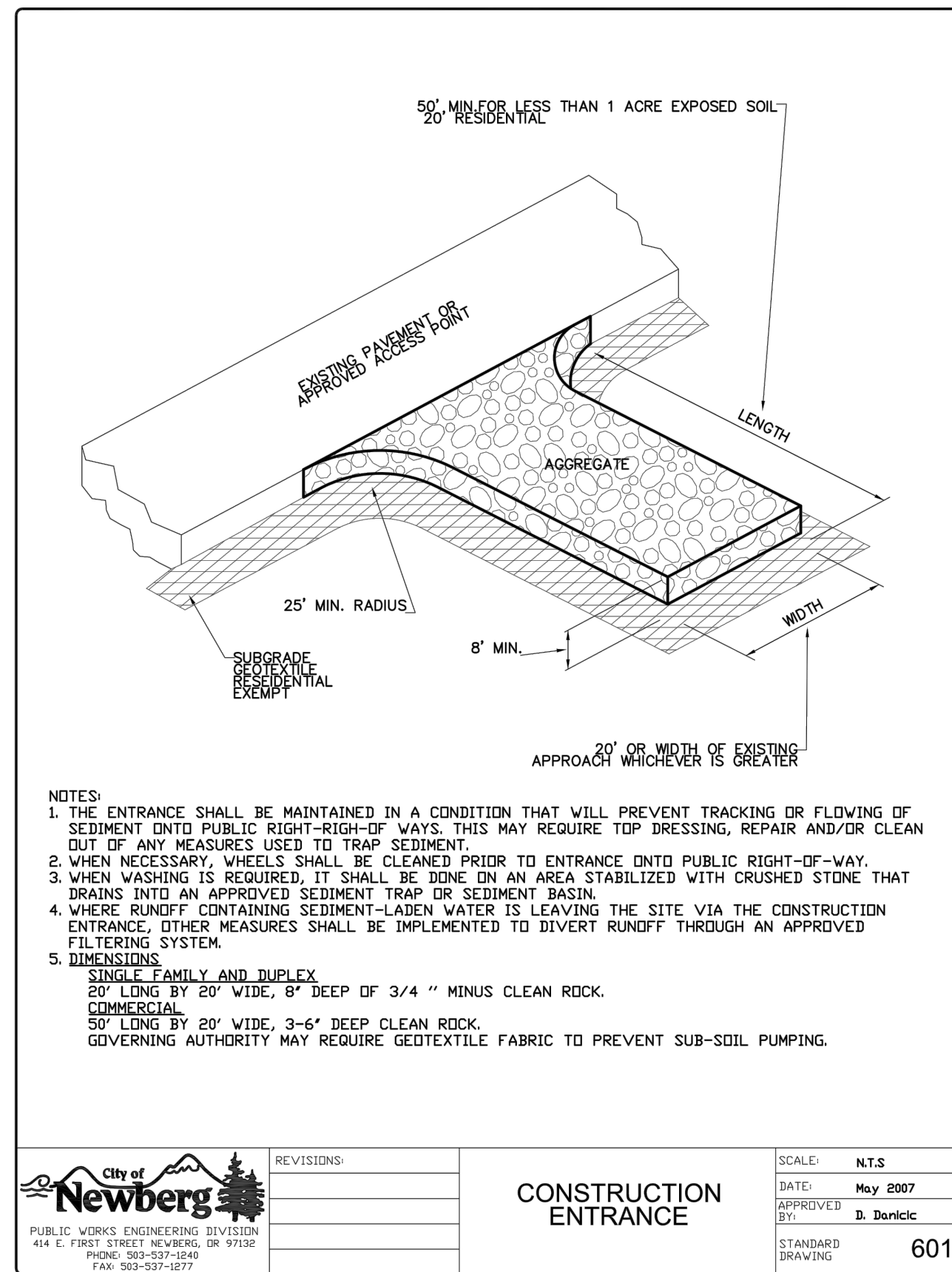
1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. UTILIZATION OF STOCK PILE AREAS SHOULD TRANSITION FROM PRIMARY STOCK PILE AREA TO SECONDARY STOCK PILE AREAS ACCORDING TO CUT AND FILL ACTIVITY.
3. ALL SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING) SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
4. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
5. THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
6. INLET PROTECTION SHALL BE IN PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

**LEGEND**

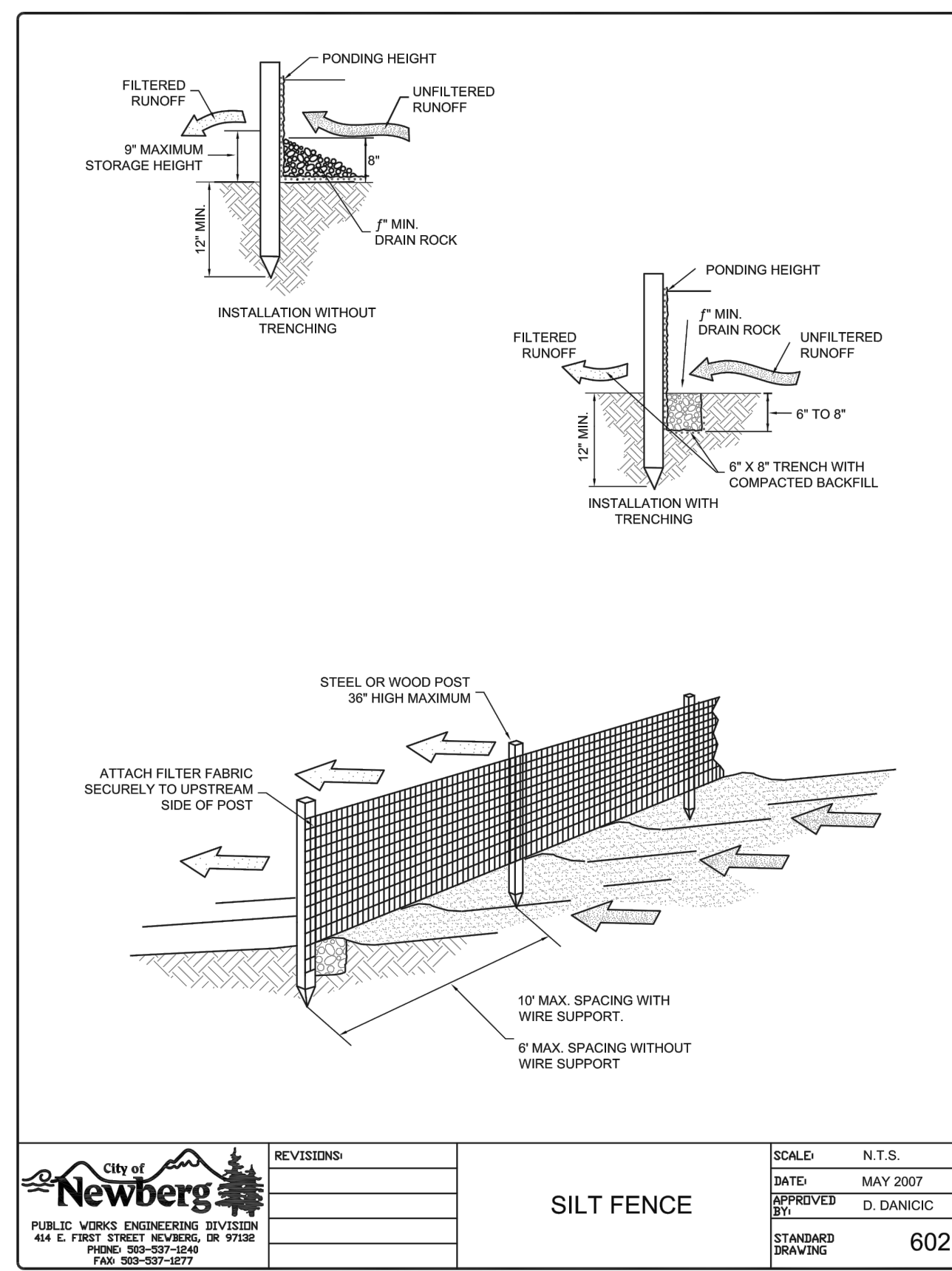
- 100- - - - - EXISTING MAJOR CONTOUR
- 92- - - - - EXISTING MINOR CONTOUR
- 110 - - - - - PROPOSED MAJOR CONTOUR
- 108 - - - - - PROPOSED MINOR CONTOUR
- X - - - - - PROPOSED SILT FENCING
- [Symbol] - - - - - PROPOSED TREE PROTECTING FENCING
- [Symbol] - - - - - PROPOSED CONSTRUCTION ENTRANCE
- [Symbol] - - - - - PROPOSED INLET PROTECTION
- [Symbol] - - - - - PROPOSED BIO BAG CHECK DAM
- [Symbol] - - - - - PROPOSED LIMITS OF DISTURBANCE
- [Symbol] - - - - - WETLAND TO REMAIN



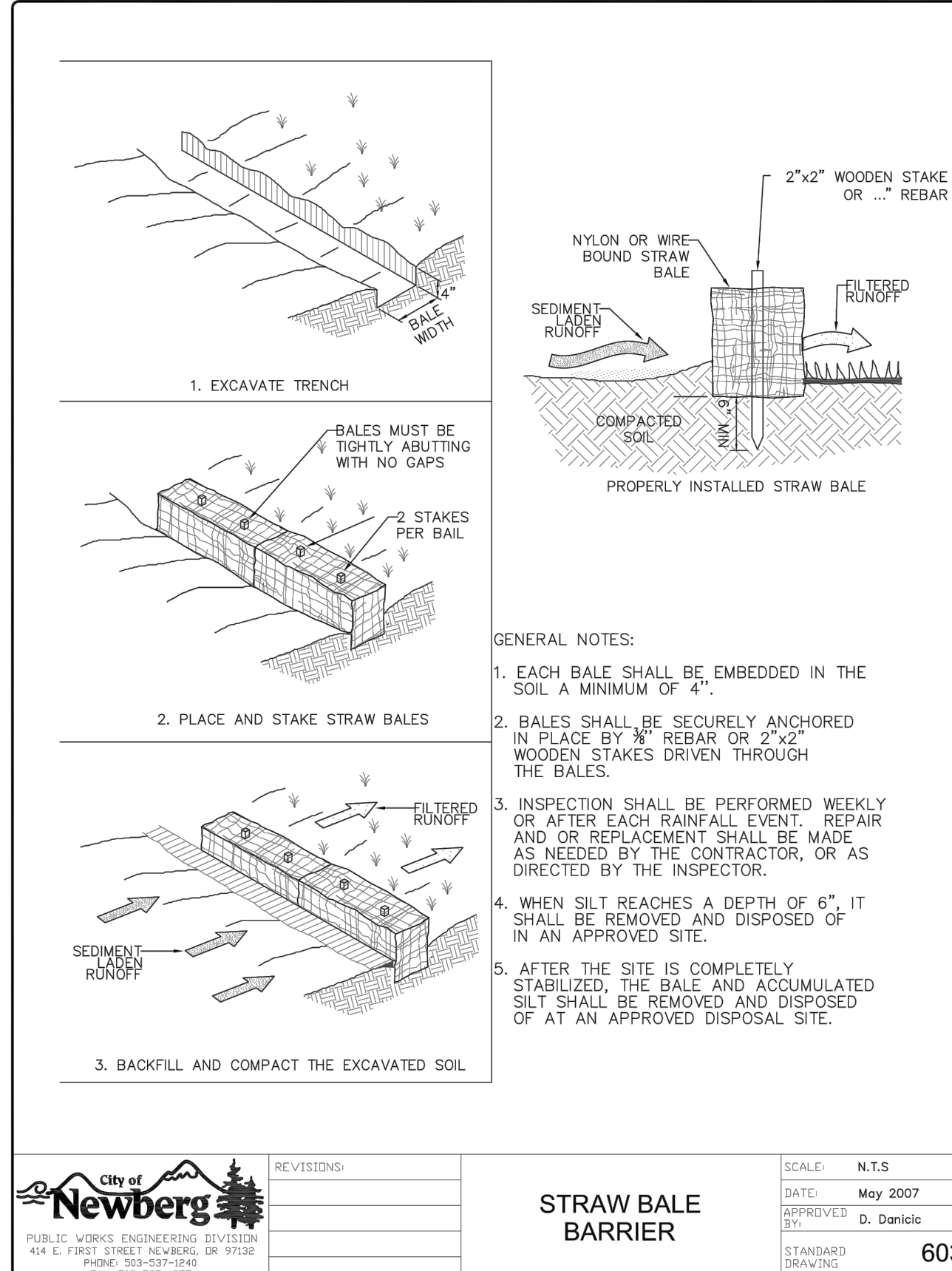
P:\17393-JTS-CRESTVIEW CROSSING\CADD\DDIC\20\_1200C SET.DWG



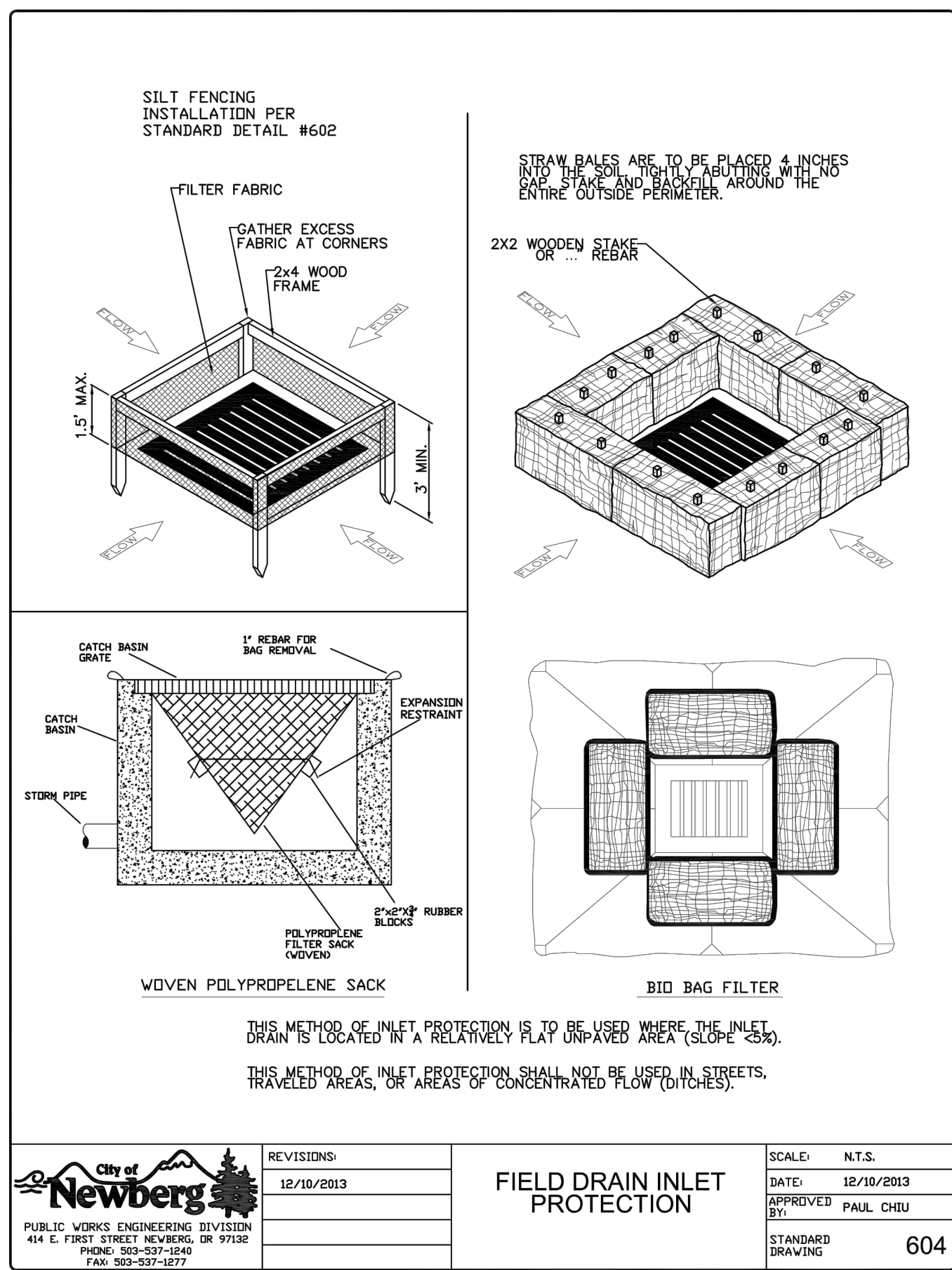
REVISIONS:	SCALE: N.T.S.
	DATE: May 2007
	APPROVED BY: D. Danicic
	STANDARD DRAWING: 601



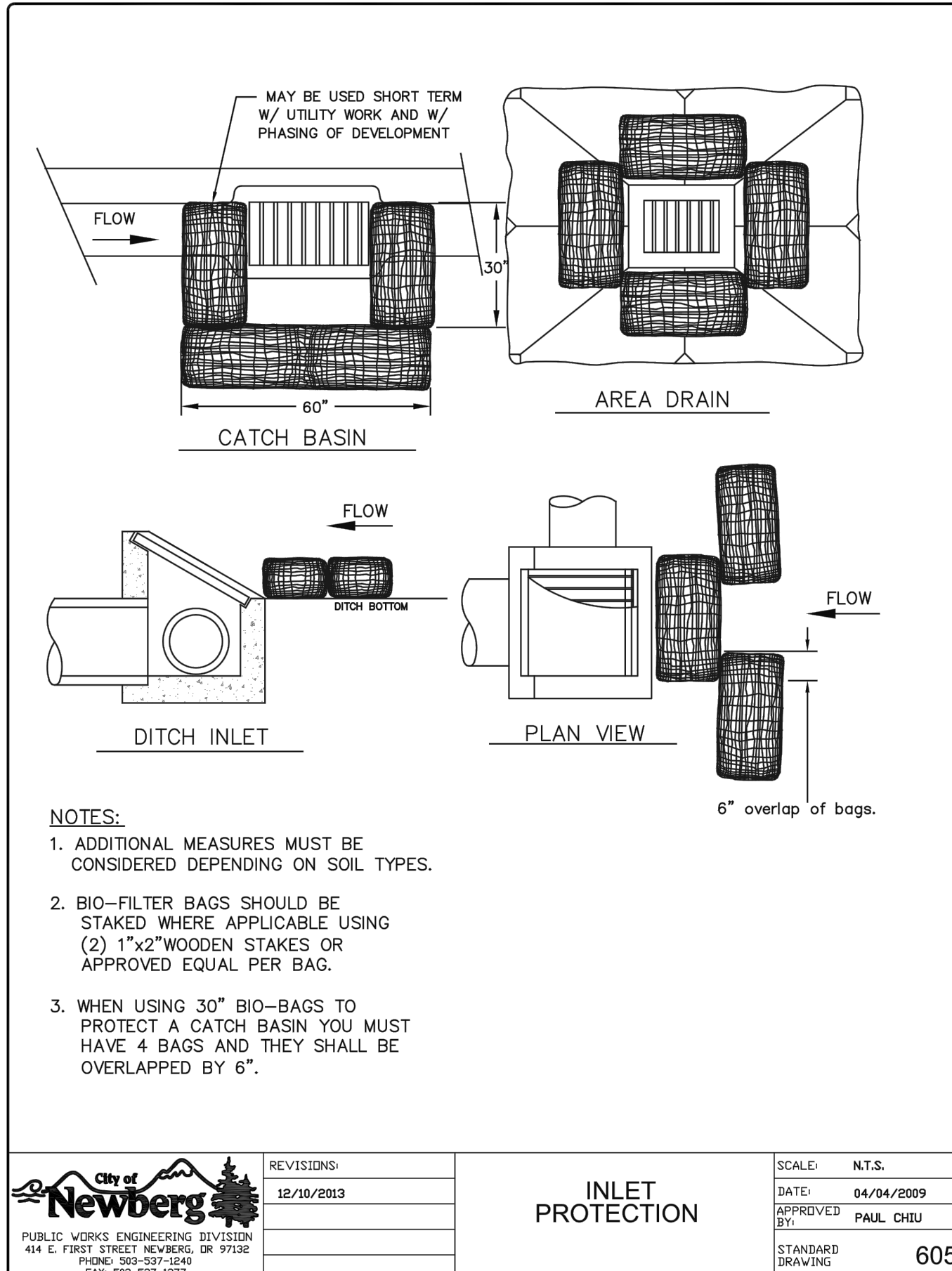
REVISIONS:	SCALE: N.T.S.
	DATE: MAY 2007
	APPROVED BY: D. DANICIC
	STANDARD DRAWING: 602



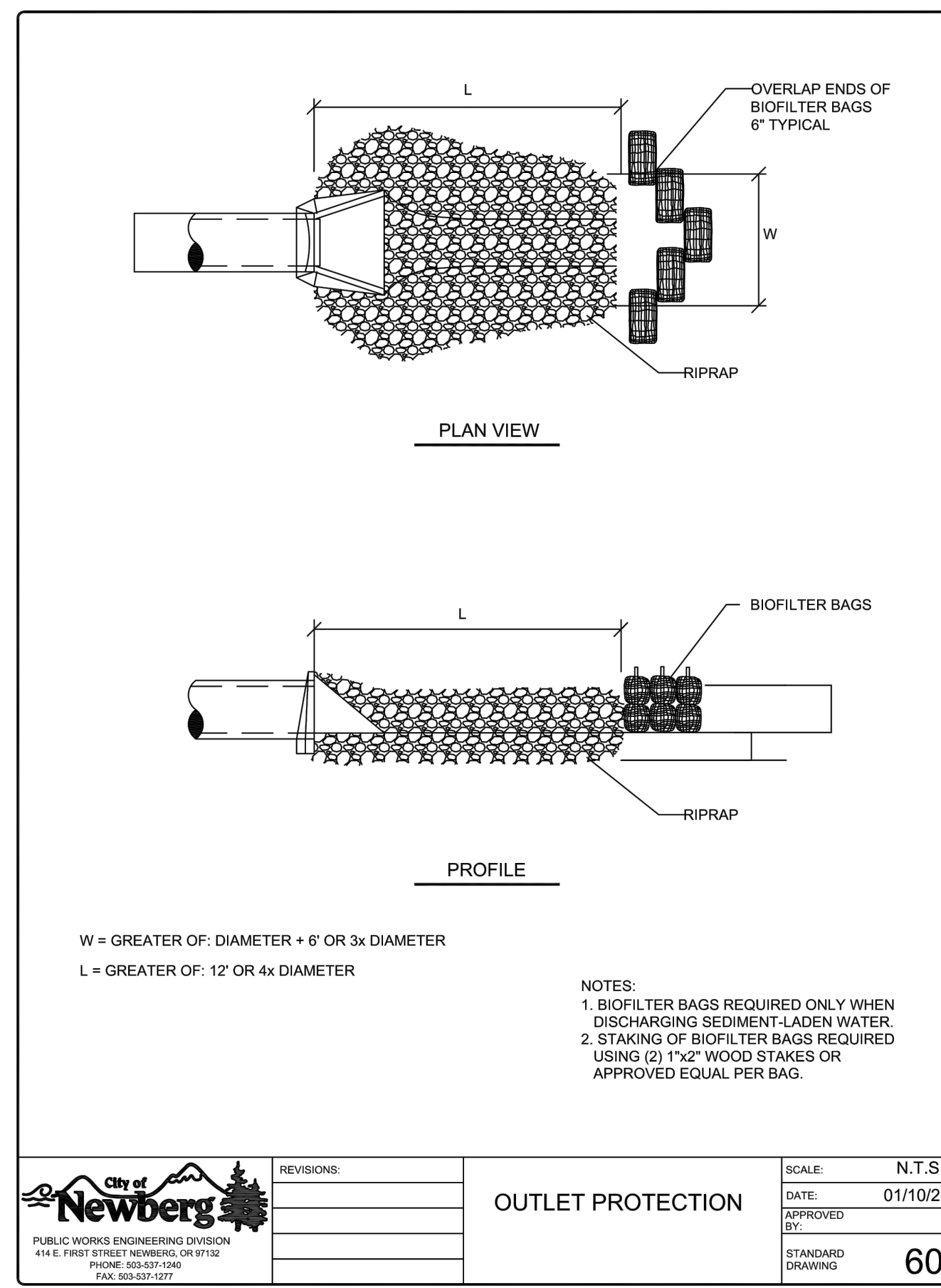
REVISIONS:	SCALE: N.T.S.
	DATE: May 2007
	APPROVED BY: D. Danicic
	STANDARD DRAWING: 603



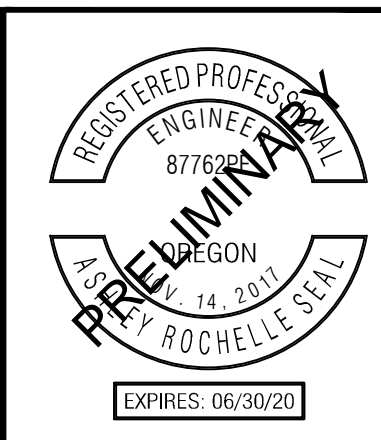
REVISIONS:	SCALE: N.T.S.
12/10/2013	DATE: 12/10/2013
	APPROVED BY: PAUL CHU
	STANDARD DRAWING: 604



REVISIONS:	SCALE: N.T.S.
12/10/2013	DATE: 04/04/2009
	APPROVED BY: PAUL CHU
	STANDARD DRAWING: 605

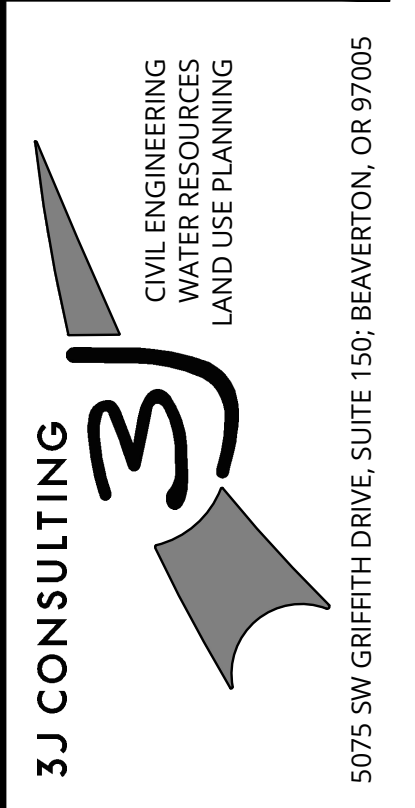


REVISIONS:	SCALE: N.T.S.
	DATE: 01/10/2014
	APPROVED BY: PAUL CHU
	STANDARD DRAWING: 606



PUBLISH DATE  
06.06.2018  
ISSUED FOR  
LAND USE DOCUMENTS

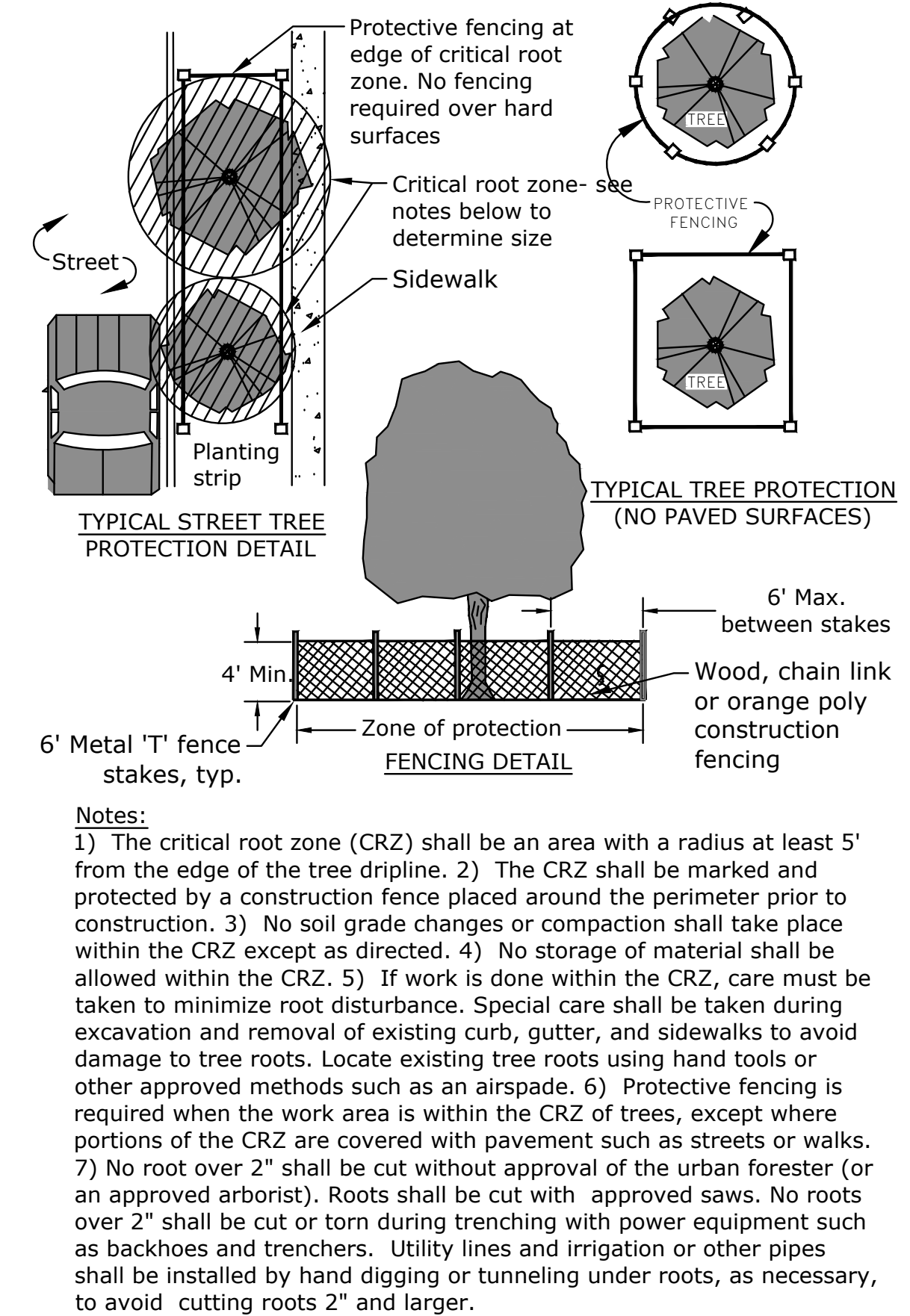
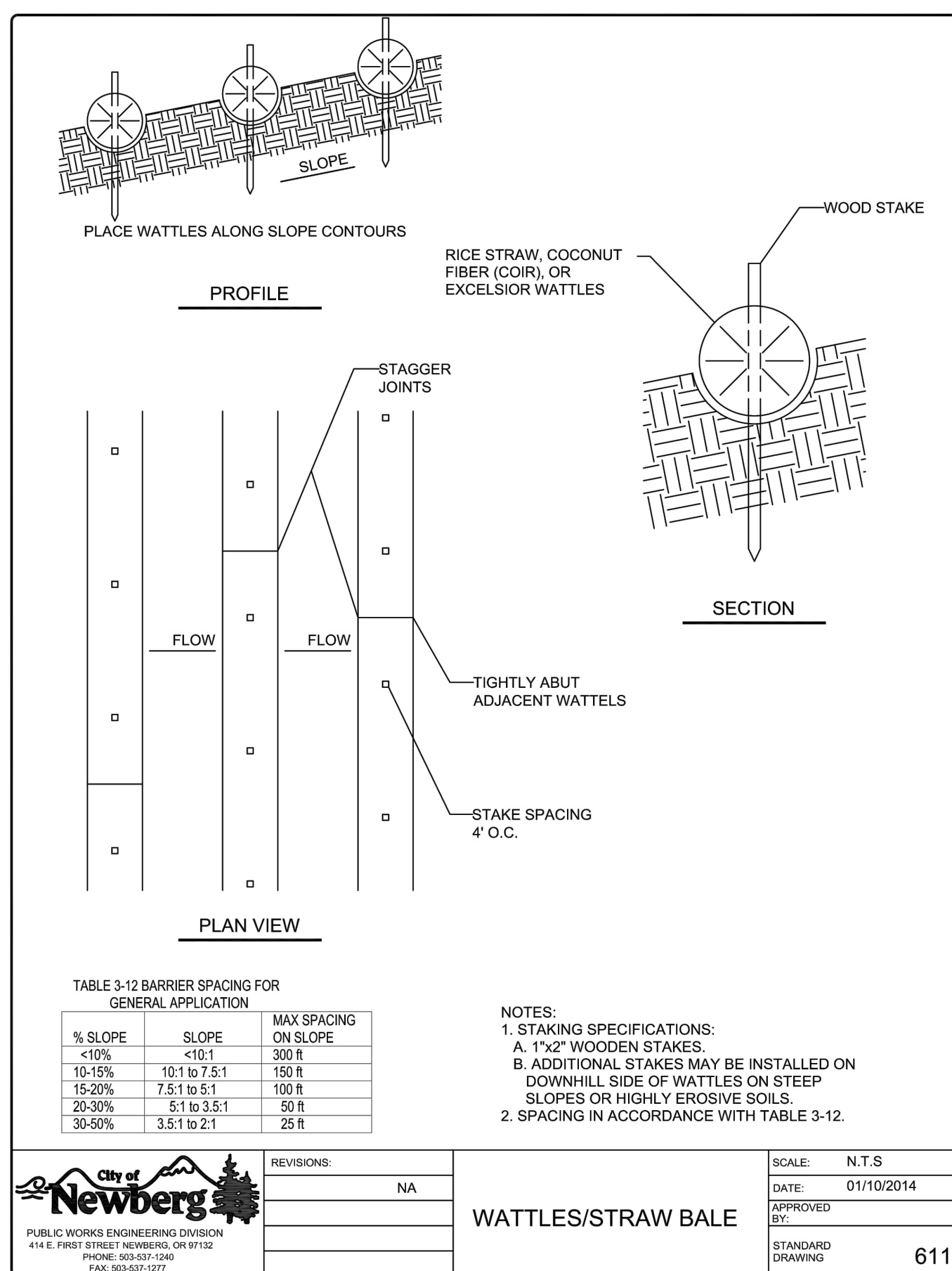
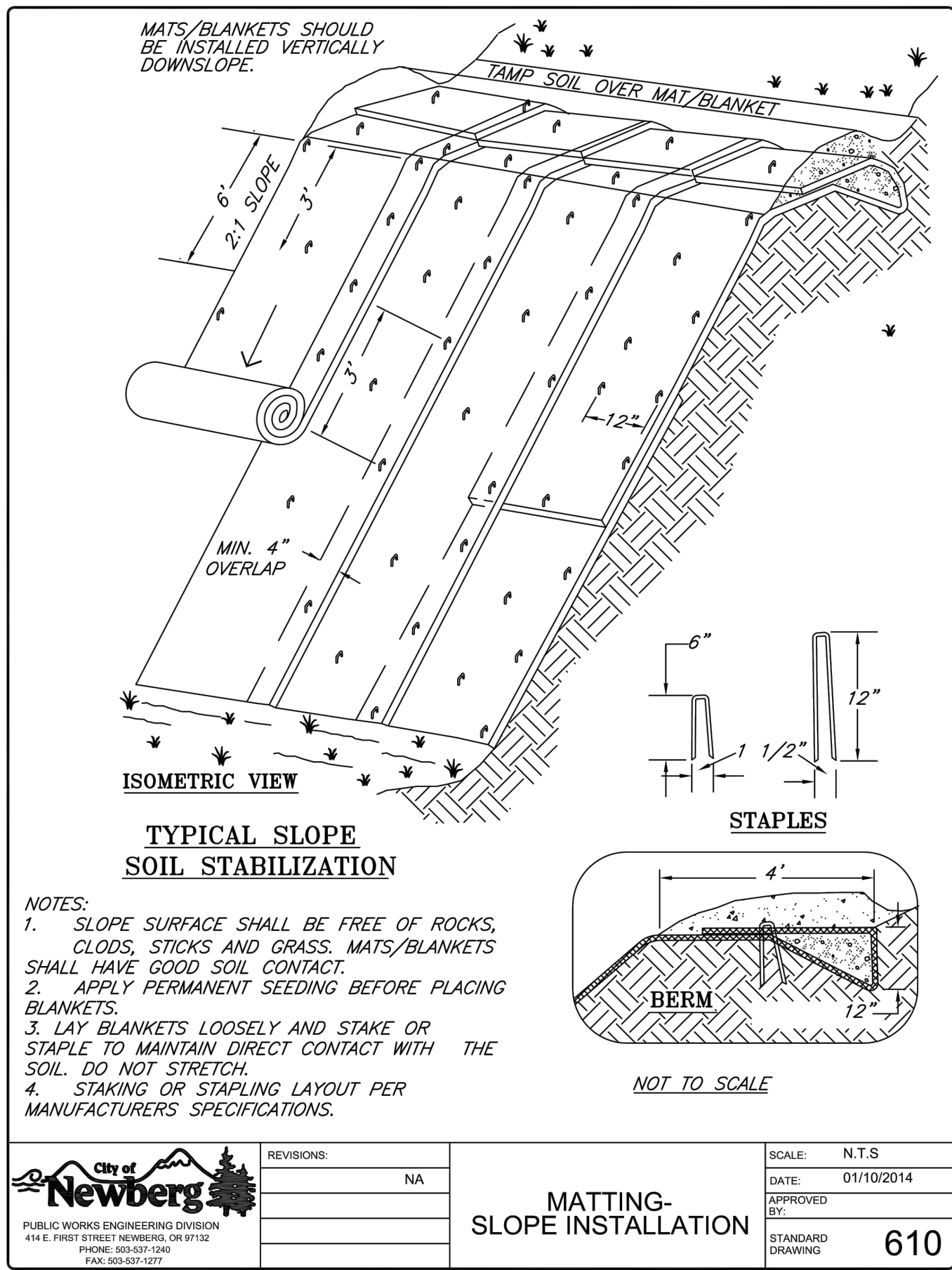
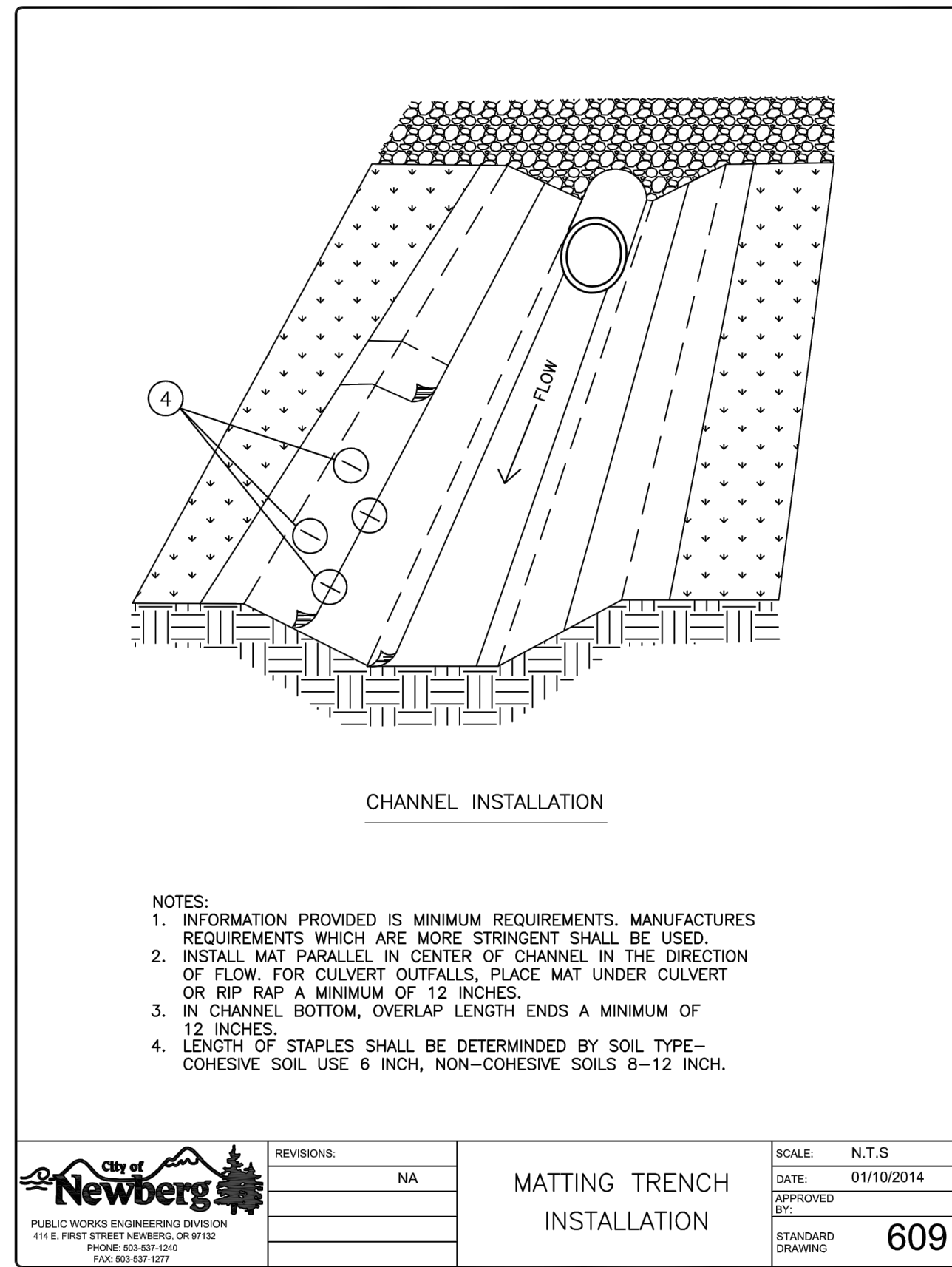
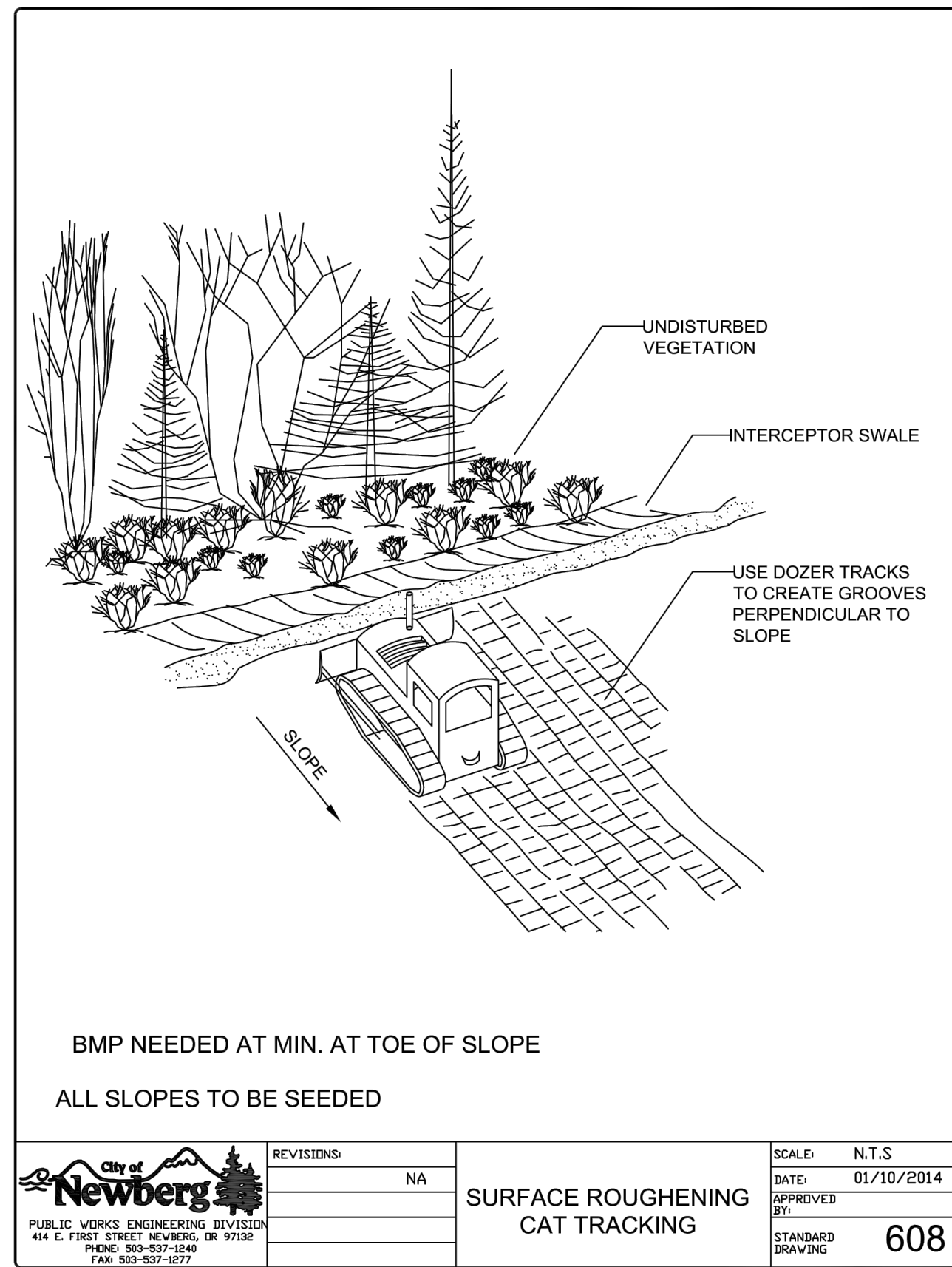
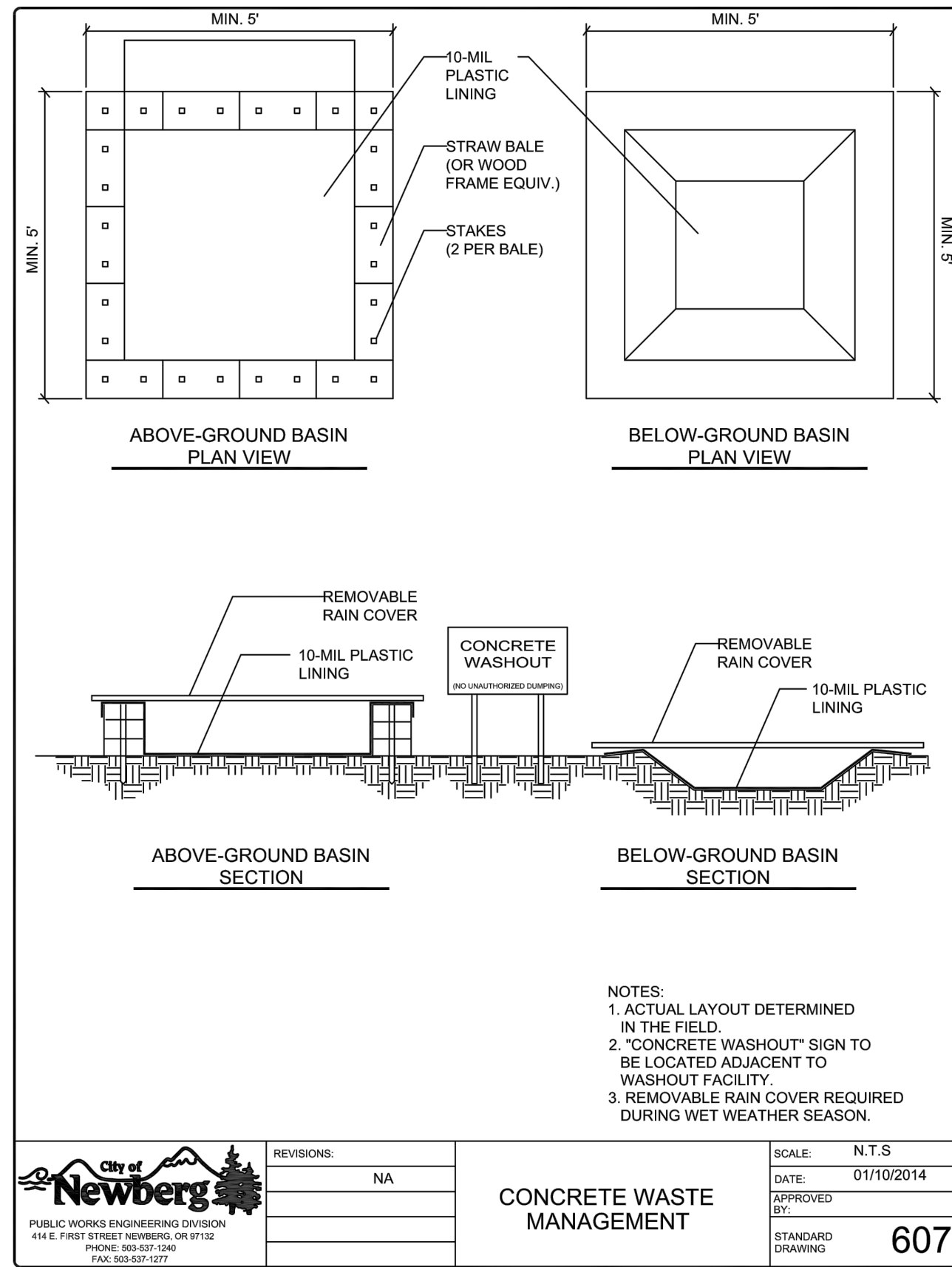
1200C DETAILS I  
CRESTVIEW CROSSING  
PLANNED UNIT DEVELOPMENT  
JT SMITH COMPANIES  
NEWBERG, OR



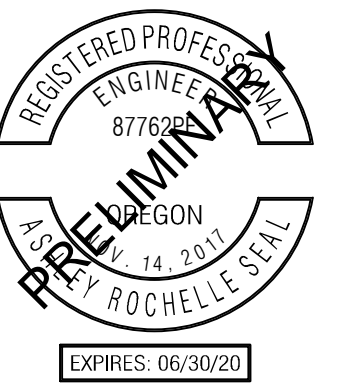
PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | JRM, RGW

SHEET NUMBER  
C123

P:\17393-JTS-CRESTVIEW CROSSING\CADD\1200C SET.DWG

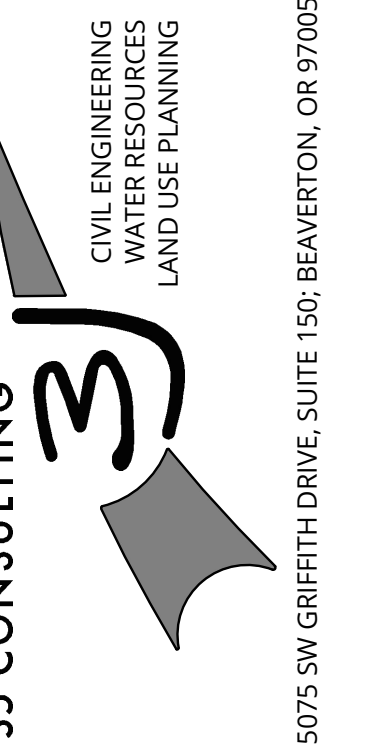


P:\17288-JTS-CRESTVIEW CROSSING\CADD\DC120-1200C-SET.DWG



PUBLISH DATE  
**06.06.2018**  
 ISSUED FOR  
**LAND USE DOCUMENTS**

**1200C DETAILS II**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR



PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C124**

**TREE PROTECTION FENCING**  
 N.T.S.

**T-1**  
**C124**





PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

SITE STATISTICS	
SITE ADDRESS	4505 E PORTLAND ROAD
TAX LOT / ALT. PARCEL NO.	3216AC 13800 & 1100
JURISDICTION	CITY OF NEWBERG
GROSS SITE AREA	33.13 ACRES
PROPERTY ZONING	R-1, R-2, C-2
FLOOD HAZARD MAP NUMBER	FIRM PANEL NUMBER: 41071C0241D - ZONE X (UN-SHADED) 41071C0235D - ZONE X (UN-SHADED)

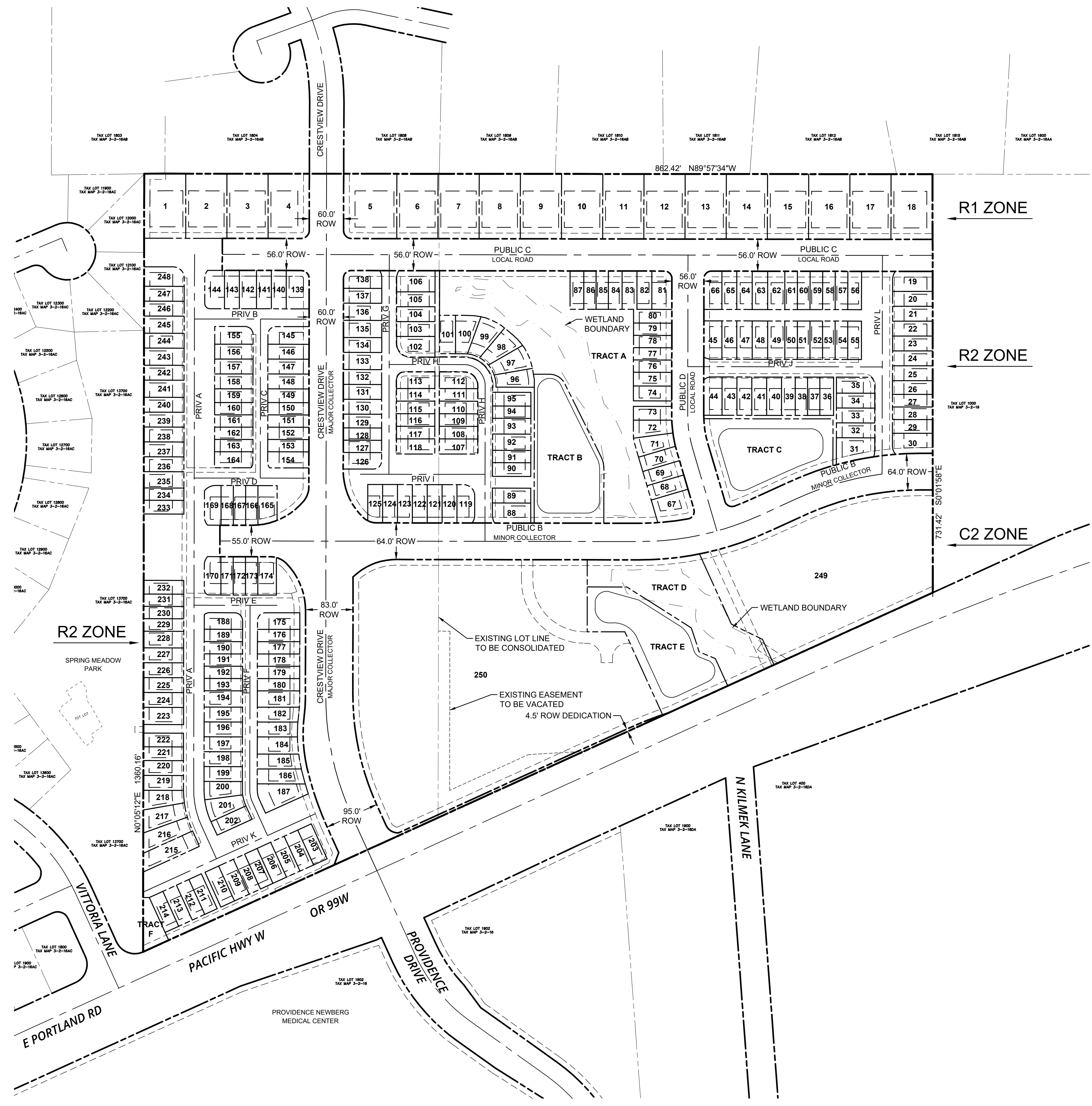
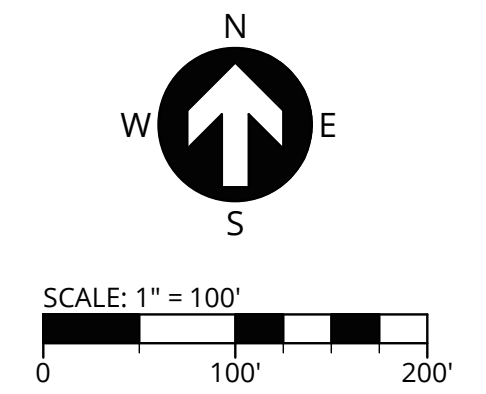
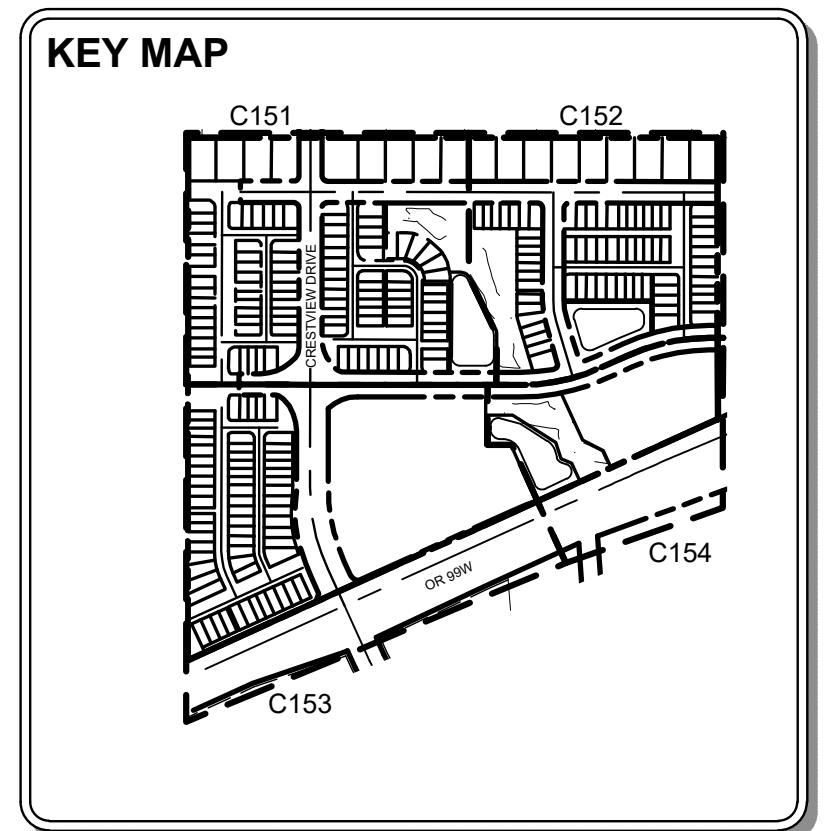
ZONING CODE CHAPTER 33.120	ZONE R-1	ZONE R-2	ZONE R-2 PUD*	
			AS PROPOSED	ZONE C-2
ZONE AREA	4.31 ACRES	6.58 ACRES	6.58 ACRES	22.24 ACRES
MAXIMUM DENSITY*	175 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	640 DENSITY POINTS/ACRE
MAXIMUM LOT SIZE	10,000 SF	5,000 SF	3,100 SF	N/A
MINIMUM LOT SIZE	5,000 SF	3,000 SF	1,440 SF	5,000 SF
MINIMUM LOT WIDTH	35 FT @ BL	35 FT @ BL	21.5 FT	N/A
MAXIMUM LOT COVERAGE	30%	50%	60%	N/A
MAXIMUM BUILDING HEIGHT	30 FT	30 FT	30 FT	N/A

SETBACKS				
FRONT	15 FT	15 FT	10 FT	10 FT
INTERIOR	5 FT	5 FT	2.5 FT	0 FT/10 FT

\*THIS SUBDIVISION IS A PLANNED UNIT DEVELOPMENT (PUD) THAT PROPOSES REDUCED LOT OR DEVELOPMENT SITE AREA AND INSTEAD USES MAXIMUM DENSITY POINTS PER ACRE.

THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS TENTATIVE PLAT SHOWS PROPOSED LOT CONSOLIDATION AND DIMENSIONS. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY OR RECORDING PURPOSES.

LEGEND	
	PROJECT BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING RIGHT-OF-WAY CENTERLINE
	EXISTING LOT LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED RIGHT-OF-WAY CENTERLINE
	PROPOSED LOT LINE
	PROPOSED SETBACK LINE
	PROPOSED EASEMENT



OVERALL TENTATIVE PLAT  
**CRESTVIEW CROSSING**  
 PLANNED UNIT DEVELOPMENT  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C150**

P17288-JTS-CRESTVIEW CROSSING CADD ICD160 TENTATIVE PLAT.DWG



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

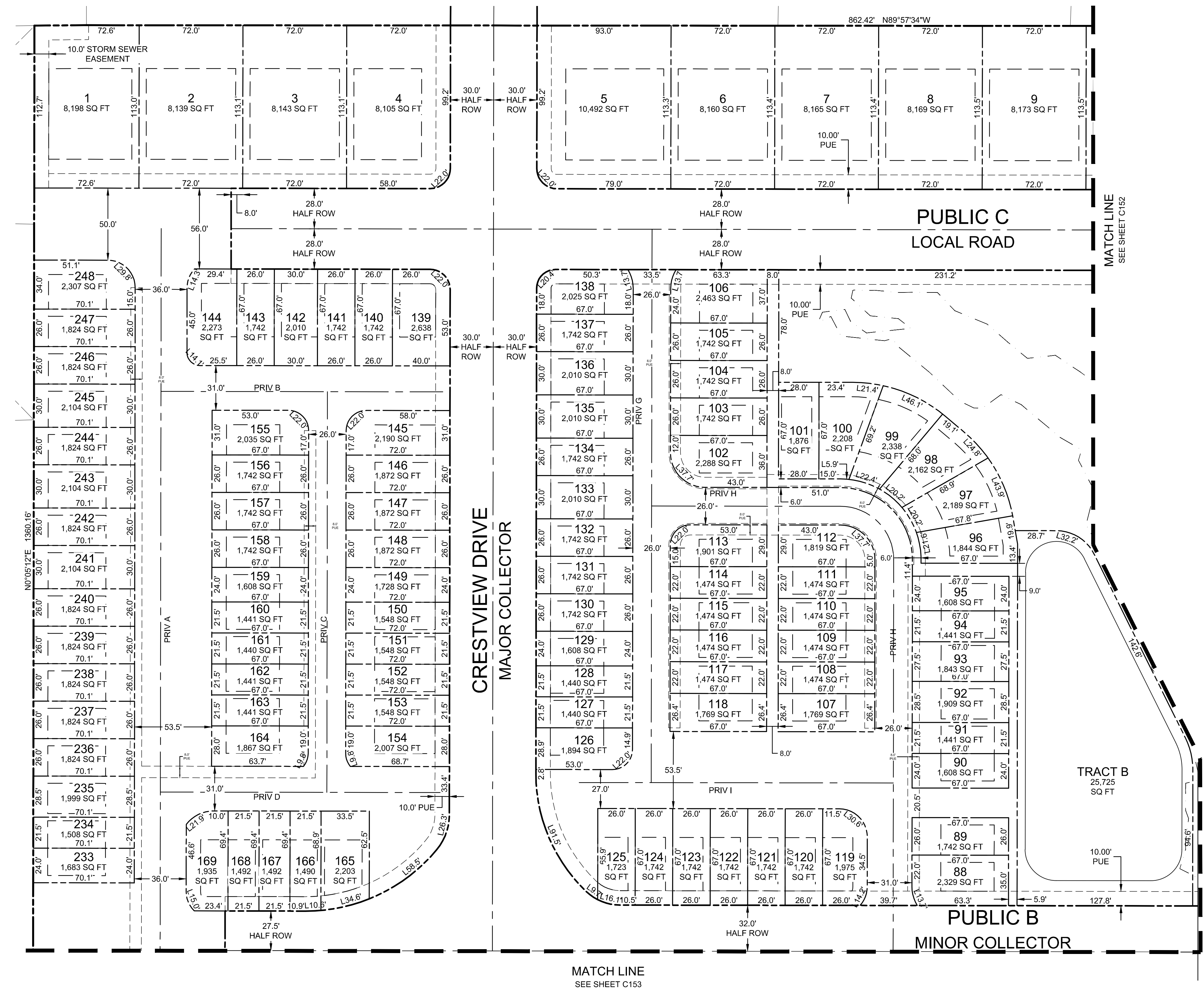
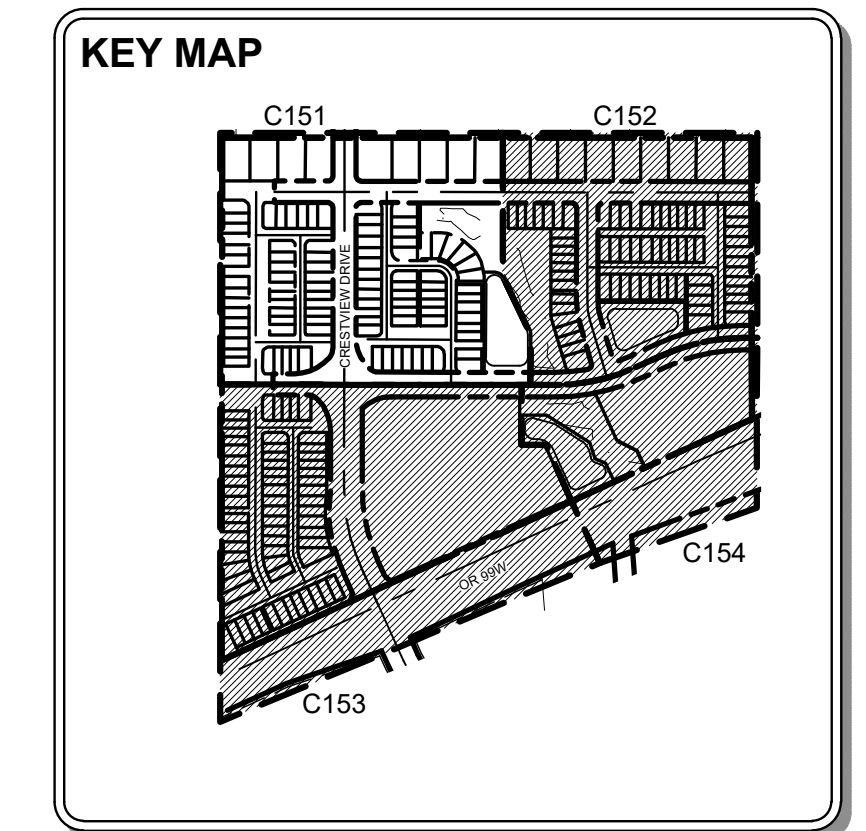
SITE STATISTICS	
SITE ADDRESS	4505 E PORTLAND ROAD
TAX LOT / ALT. PARCEL NO.	3216AC 13800 & 1100
JURISDICTION	CITY OF NEWBERG
GROSS SITE AREA	33.13 ACRES
PROPERTY ZONING	R-1, R-2, C-2
FLOOD HAZARD MAP NUMBER	FIRM PANEL NUMBER: 41071C0241D - ZONE X (UN-SHADED) 41071C0235D - ZONE X (UN-SHADED)

SUBDIVISION STATISTICS	ZONE R-2 PUD AS PROPOSED			
	ZONE R-1	ZONE R-2	ZONE R-2 AS PROPOSED	ZONE C-2
ZONING CODE CHAPTER 33.120	ZONE R-1	ZONE R-2	ZONE R-2 AS PROPOSED	ZONE C-2
ZONE AREA	4.31 ACRES	6.58 ACRES	6.58 ACRES	22.24 ACRES
MAXIMUM DENSITY*	175 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	640 DENSITY POINTS/ACRE
MAXIMUM LOT SIZE	10,000 SF	5,000 SF	3,100 SF	N/A
MINIMUM LOT SIZE	5,000 SF	3,000 SF	1,440 SF	5,000 SF
MINIMUM LOT WIDTH	35 FT @ BL	35 FT @ BL	21.5 FT	N/A
MAXIMUM LOT COVERAGE	30%	50%	60%	N/A
MAXIMUM BUILDING HEIGHT	30 FT	30 FT	30 FT	N/A
<b>SETBACKS</b>				
FRONT	15 FT	15 FT	10 FT	10 FT
INTERIOR	5 FT	5 FT	2.5 FT	0 FT/10 FT

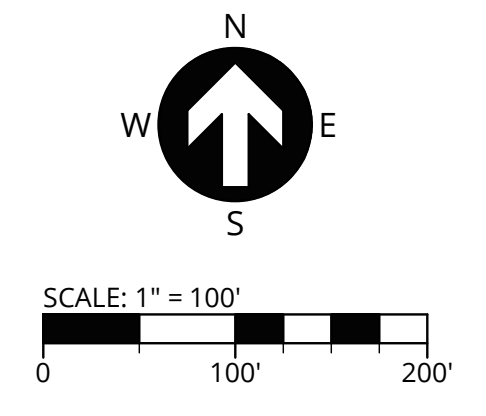
\*THIS SUBDIVISION IS A PLANNED UNIT DEVELOPMENT (PUD) THAT PROPOSES REDUCED LOT OR DEVELOPMENT SITE AREA AND INSTEAD USES MAXIMUM DENSITY POINTS PER ACRE.

THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS TENTATIVE PLAT SHOWS PROPOSED LOT CONSOLIDATION AND DIMENSIONS. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY OR RECORDING PURPOSES.

LEGEND	
	PROJECT BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING RIGHT-OF-WAY CENTERLINE
	EXISTING LOT LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED RIGHT-OF-WAY CENTERLINE
	PROPOSED LOT LINE
	PROPOSED SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED WETLAND BOUNDARY



TENTATIVE PLAT /  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

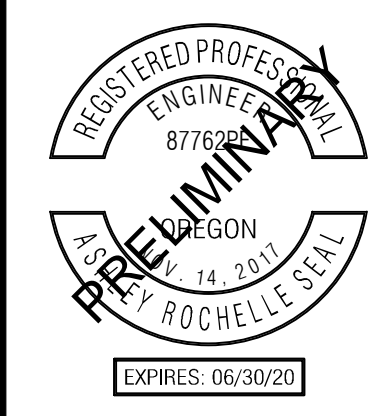


3J CONSULTING  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C151**

P:\17393-JTS-CRESTVIEW CROSSING\CADD\C151.TENTATIVE PLAT.DWG



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

**SITE STATISTICS**

SITE ADDRESS	4505 E PORTLAND ROAD
TAX LOT / ALT. PARCEL NO.	3216AC 13800 & 1100
JURISDICTION	CITY OF NEWBERG
GROSS SITE AREA	33.13 ACRES
PROPERTY ZONING	R-1, R-2, C-2
FLOOD HAZARD MAP NUMBER	FIRM PANEL NUMBER: 41071C0241D - ZONE X (UN-SHADED) 41071C0235D - ZONE X (UN-SHADED)

**SUBDIVISION STATISTICS**

ZONING CODE CHAPTER 33.120	ZONE R-1	ZONE R-2	ZONE R-2 PUD* AS PROPOSED	ZONE C-2
ZONE AREA	4.31 ACRES	6.58 ACRES	6.58 ACRES	22.24 ACRES
MAXIMUM DENSITY*	175 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	640 DENSITY POINTS/ACRE
MAXIMUM LOT SIZE	10,000 SF	5,000 SF	3,100 SF	N/A
MINIMUM LOT SIZE	5,000 SF	3,000 SF	1,440 SF	5,000 SF
MINIMUM LOT WIDTH	35 FT @ BL	35 FT @ BL	21.5 FT	N/A
MAXIMUM LOT COVERAGE	30%	50%	60%	N/A
MAXIMUM BUILDING HEIGHT	30 FT	30 FT	30 FT	N/A

**SETBACKS**

FRONT	15 FT	15 FT	10 FT	10 FT
INTERIOR	5 FT	5 FT	2.5 FT	0 FT/10FT

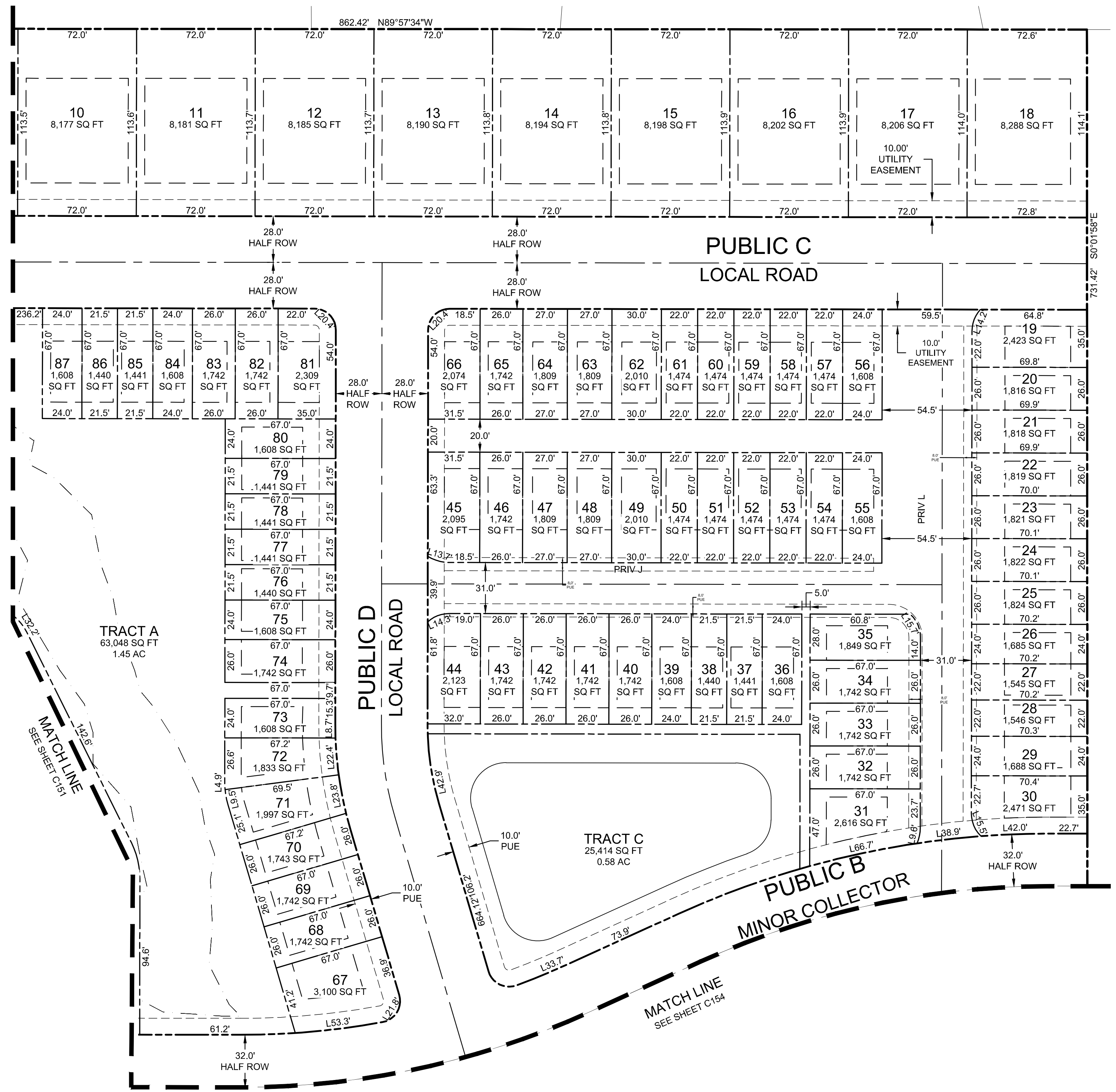
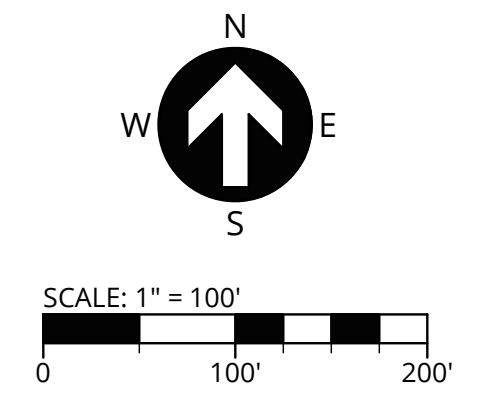
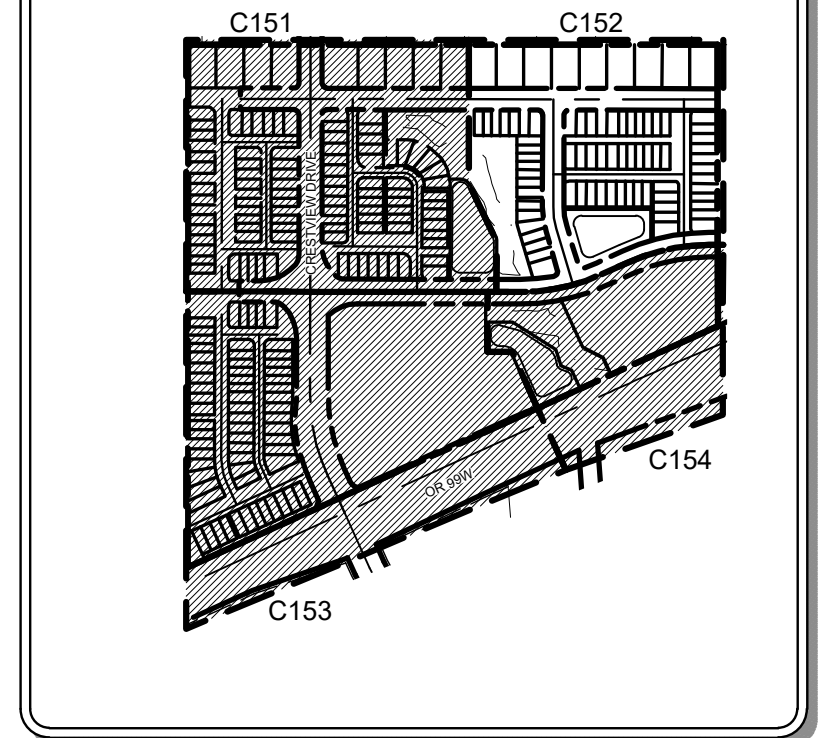
\*THIS SUBDIVISION IS A PLANNED UNIT DEVELOPMENT (PUD) THAT PROPOSES REDUCED LOT OR DEVELOPMENT SITE AREA AND INSTEAD USES MAXIMUM DENSITY POINTS PER ACRE.

THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS TENTATIVE PLAT SHOWS PROPOSED LOT CONSOLIDATION AND DIMENSIONS. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY OR RECORDING PURPOSES.

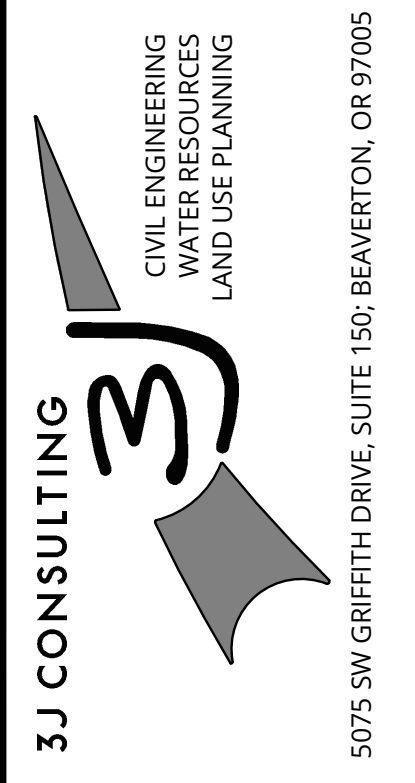
**LEGEND**

- PROJECT BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING RIGHT-OF-WAY CENTERLINE
- EXISTING LOT LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED WETLAND BOUNDARY

**KEY MAP**



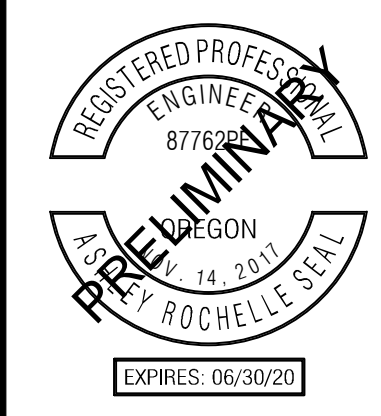
TENTATIVE PLAT II  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR



PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C152**

P:\17393-JTS-CRESTVIEW CROSSING\CADD\C150 TENTATIVE PLAT.DWG



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

TENTATIVE PLAT III  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C153**

**SITE STATISTICS**

SITE ADDRESS	4505 E PORTLAND ROAD
TAX LOT / ALT. PARCEL NO.	3216AC 13800 & 1100
JURISDICTION	CITY OF NEWBERG
GROSS SITE AREA	33.13 ACRES
PROPERTY ZONING	R-1, R-2, C-2
FLOOD HAZARD MAP NUMBER	FIRM PANEL NUMBER: 41071C0241D - ZONE X (UN-SHADED) 41071C0235D - ZONE X (UN-SHADED)

**SUBDIVISION STATISTICS**

ZONING CODE CHAPTER 33.120	ZONE R-1	ZONE R-2	ZONE R-2 PUD* AS PROPOSED	ZONE C-2
ZONE AREA	4.31 ACRES	6.58 ACRES	6.58 ACRES	22.24 ACRES
MAXIMUM DENSITY*	175 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	640 DENSITY POINTS/ACRE
MAXIMUM LOT SIZE	10,000 SF	5,000 SF	3,100 SF	N/A
MINIMUM LOT SIZE	5,000 SF	3,000 SF	1,440 SF	5,000 SF
MINIMUM LOT WIDTH	35 FT @ BL	35 FT @ BL	21.5 FT	N/A
MAXIMUM LOT COVERAGE	30%	50%	60%	N/A
MAXIMUM BUILDING HEIGHT	30 FT	30 FT	30 FT	N/A

**SETBACKS**

	FRONT	REAR	LEFT	RIGHT
FRONT	15 FT	15 FT	10 FT	10 FT
INTERIOR	5 FT	5 FT	2.5 FT	0 FT/10 FT

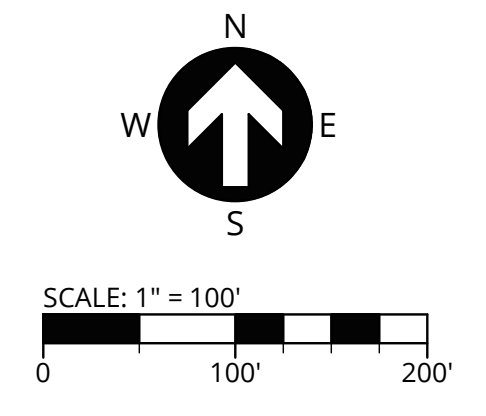
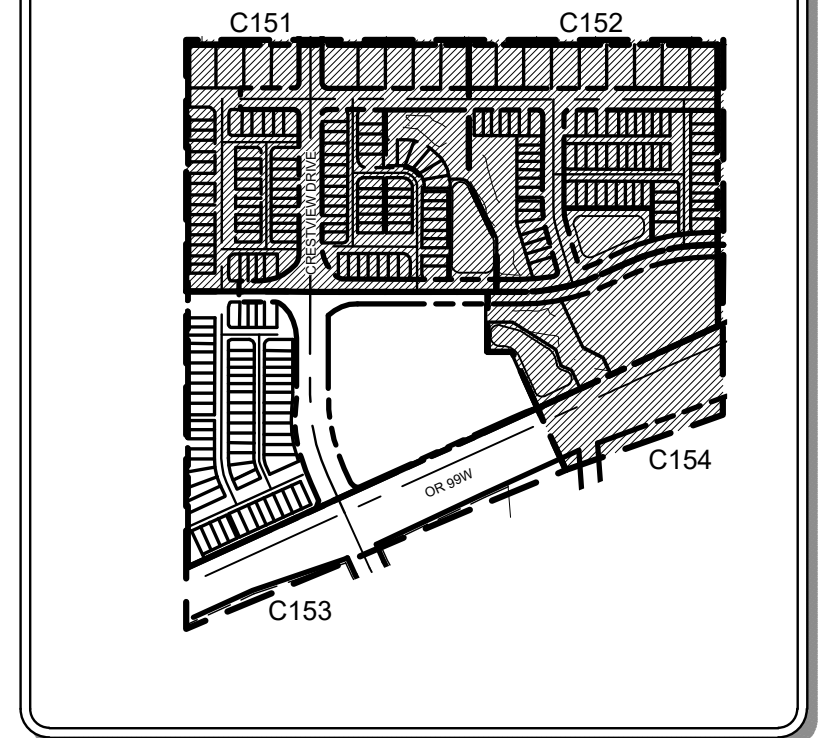
\*THIS SUBDIVISION IS A PLANNED UNIT DEVELOPMENT (PUD) THAT PROPOSES REDUCED LOT OR DEVELOPMENT SITE AREA AND INSTEAD USES MAXIMUM DENSITY POINTS PER ACRE.

THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS TENTATIVE PLAT SHOWS PROPOSED LOT CONSOLIDATION AND DIMENSIONS. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY OR RECORDING PURPOSES.

**LEGEND**

- PROJECT BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING RIGHT-OF-WAY CENTERLINE
- EXISTING LOT LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT

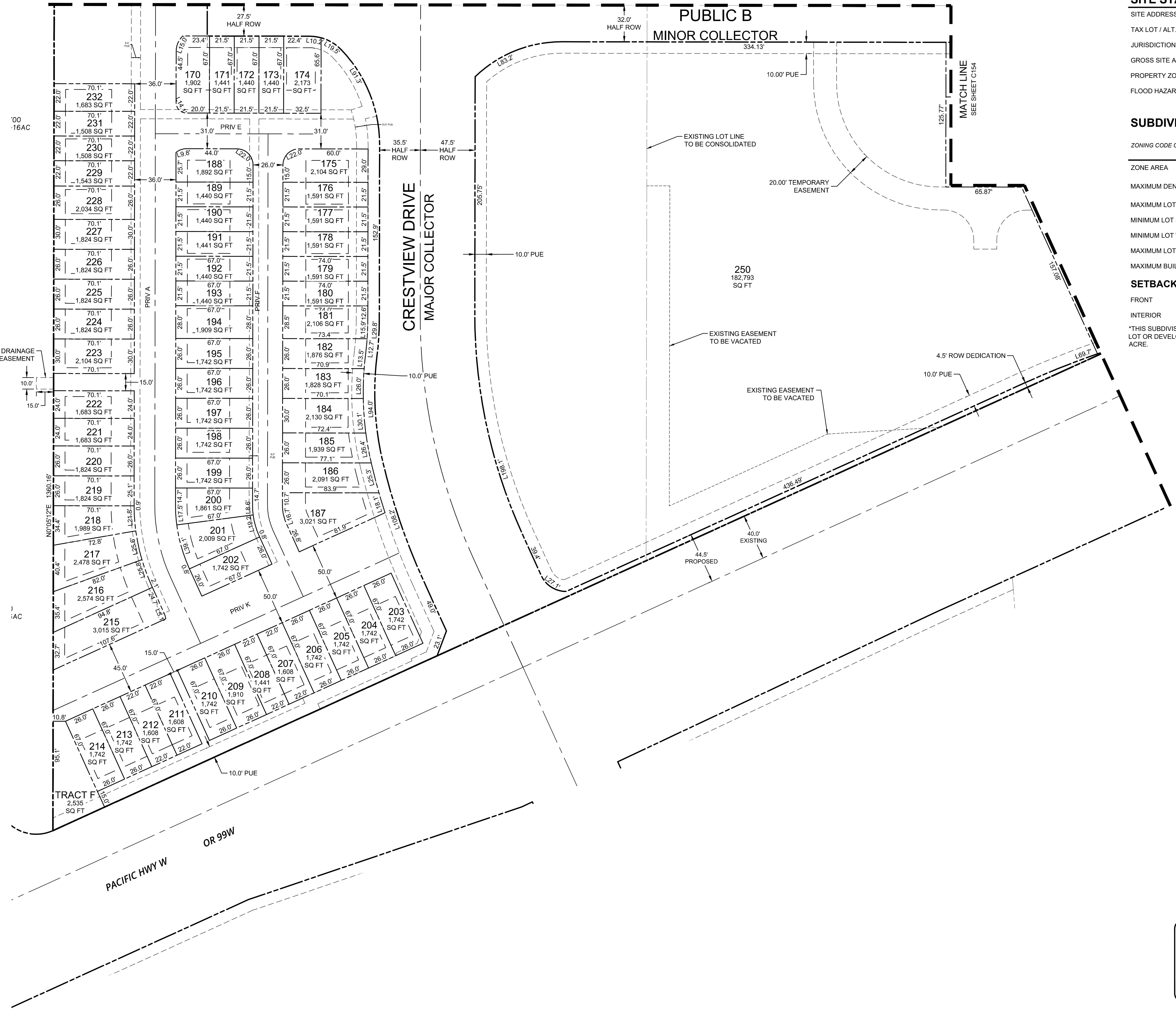
**KEY MAP**



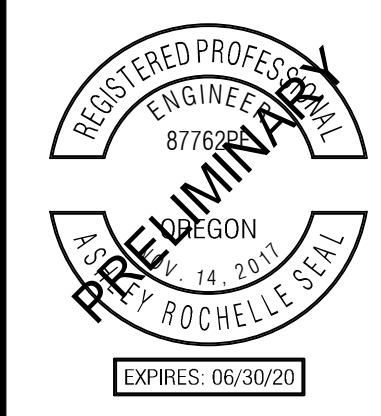
MATCH LINE  
SEE SHEET C151

**PUBLIC B  
MINOR COLLECTOR**

**CRESTVIEW DRIVE  
MAJOR COLLECTOR**



P:\17393-JTS-CRESTVIEW CROSSING\CADD\C153 TENTATIVE PLAT.DWG



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

**SITE STATISTICS**

SITE ADDRESS	4505 E PORTLAND ROAD
TAX LOT / ALT. PARCEL NO.	3216AC 13800 & 1100
JURISDICTION	CITY OF NEWBERG
GROSS SITE AREA	33.13 ACRES
PROPERTY ZONING	R-1, R-2, C-2
FLOOD HAZARD MAP NUMBER	FIRM PANEL NUMBER: 41071C0241D - ZONE X (UN-SHADED) 41071C0235D - ZONE X (UN-SHADED)

**SUBDIVISION STATISTICS**

ZONING CODE CHAPTER 33.120	ZONE R-1	ZONE R-2	ZONE R-2 PUD* AS PROPOSED	ZONE C-2
ZONE AREA	4.31 ACRES	6.58 ACRES	6.58 ACRES	22.24 ACRES
MAXIMUM DENSITY*	175 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	310 DENSITY POINTS/ACRE	640 DENSITY POINTS/ACRE
MAXIMUM LOT SIZE	10,000 SF	5,000 SF	3,100 SF	N/A
MINIMUM LOT SIZE	5,000 SF	3,000 SF	1,440 SF	5,000 SF
MINIMUM LOT WIDTH	35 FT @ BL	35 FT @ BL	21.5 FT	N/A
MAXIMUM LOT COVERAGE	30%	50%	60%	N/A
MAXIMUM BUILDING HEIGHT	30 FT	30 FT	30 FT	N/A

**SETBACKS**

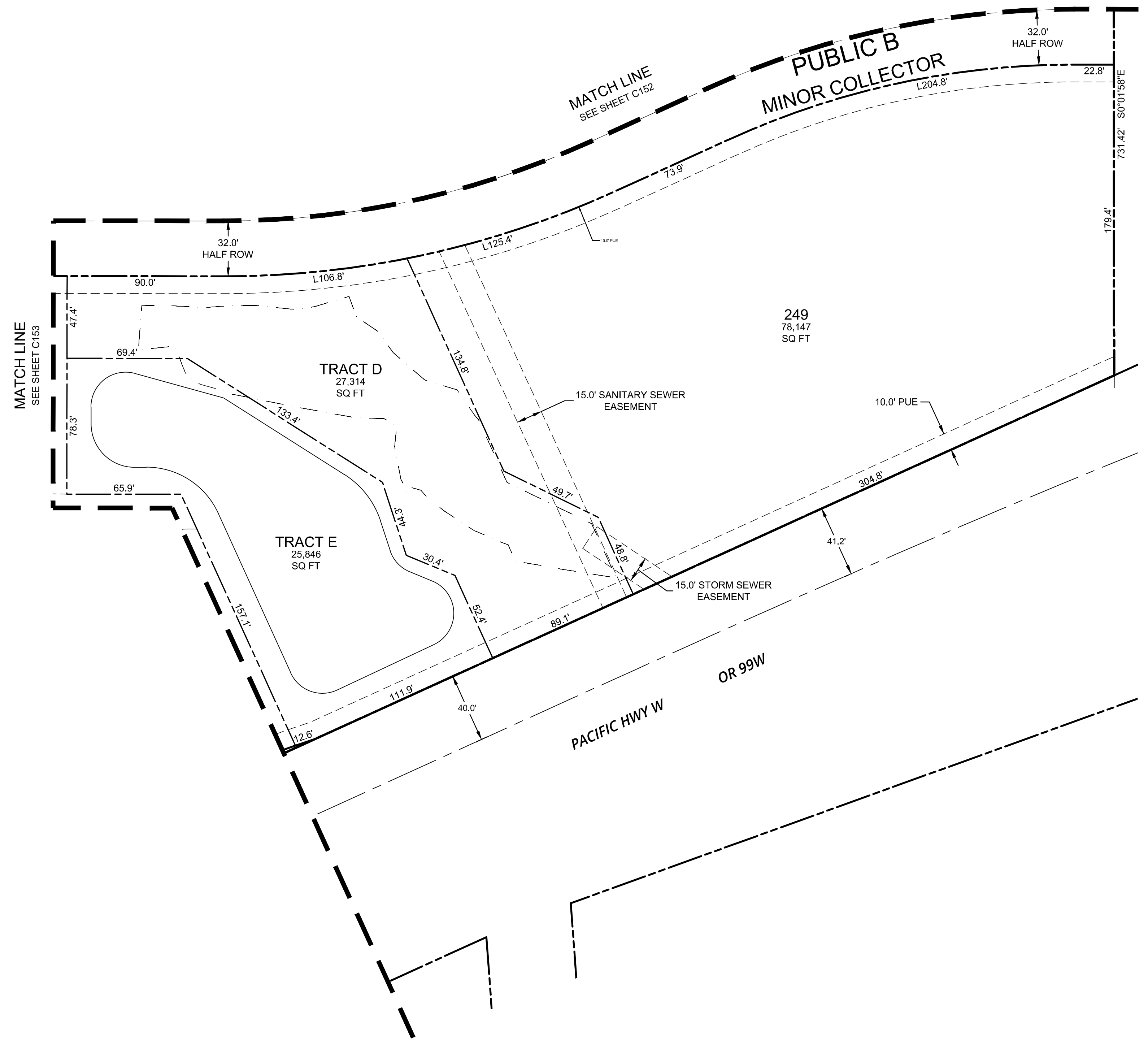
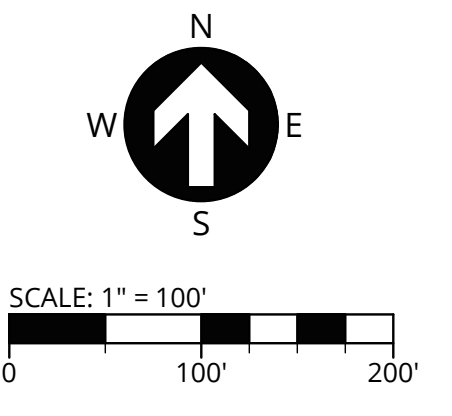
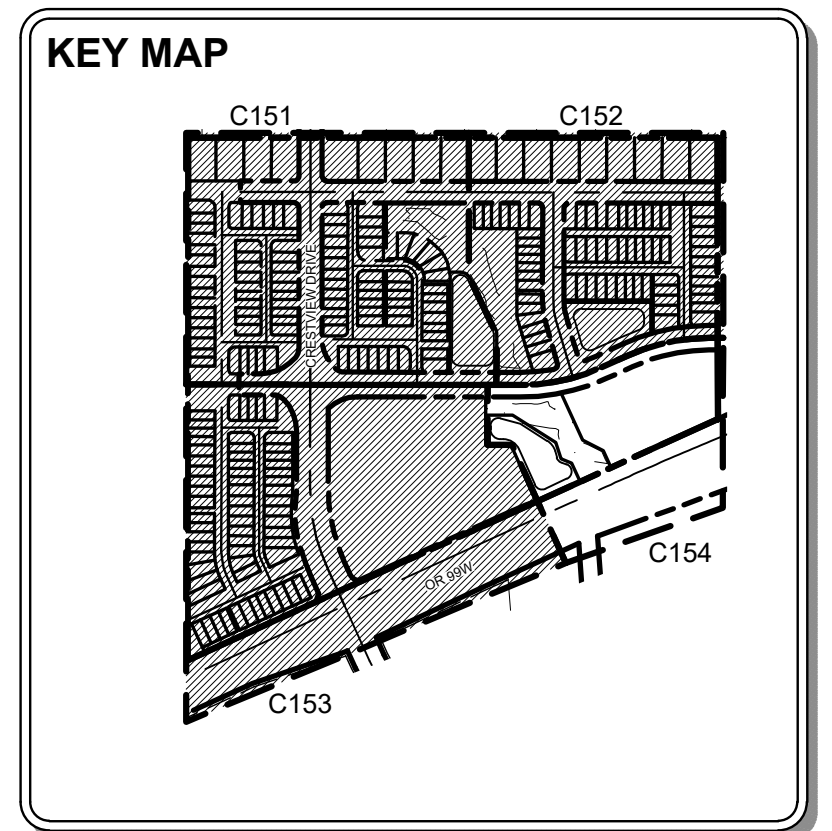
FRONT	15 FT	15 FT	10 FT	10 FT
INTERIOR	5 FT	5 FT	2.5 FT	0 FT/10FT

\*THIS SUBDIVISION IS A PLANNED UNIT DEVELOPMENT (PUD) THAT PROPOSES REDUCED LOT OR DEVELOPMENT SITE AREA AND INSTEAD USES MAXIMUM DENSITY POINTS PER ACRE.

THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS TENTATIVE PLAT SHOWS PROPOSED LOT CONSOLIDATION AND DIMENSIONS. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY OR RECORDING PURPOSES.

**LEGEND**

- PROJECT BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING RIGHT-OF-WAY CENTERLINE
- EXISTING LOT LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED WETLAND BOUNDARY



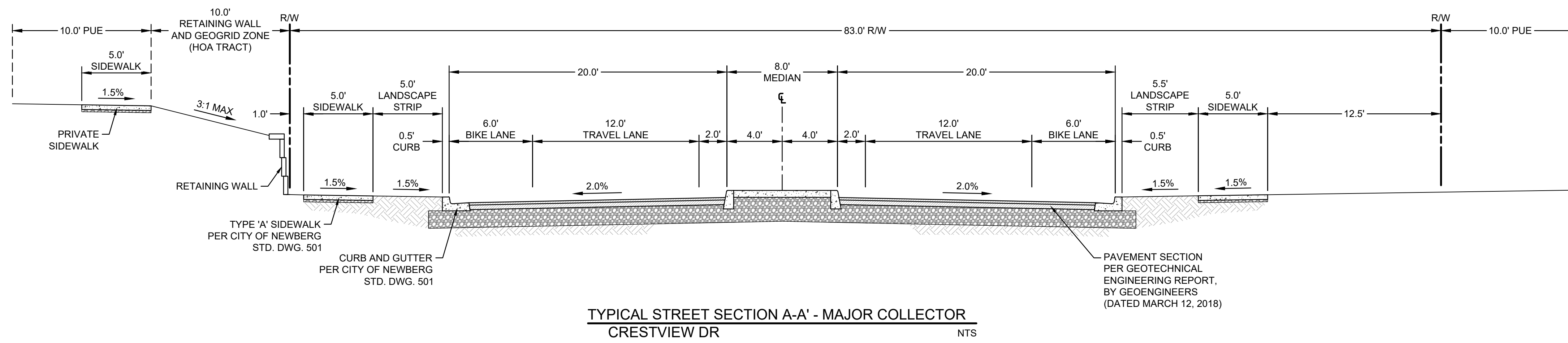
TENTATIVE PLAT IV  
**CRESTVIEW CROSSING**  
 PLANNED UNIT DEVELOPMENT  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

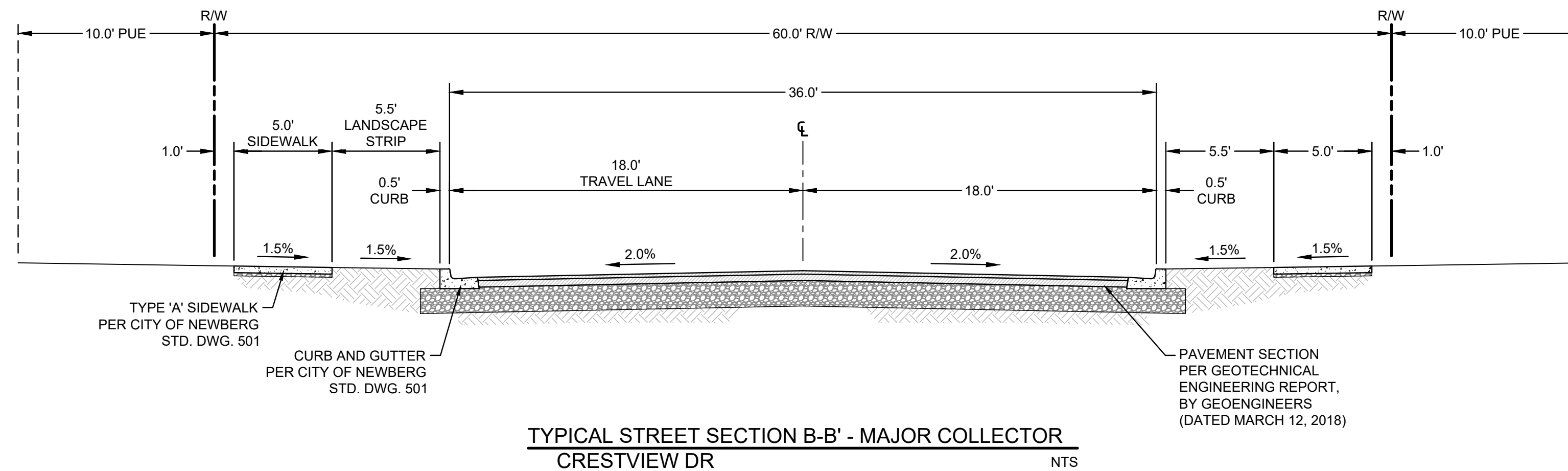
PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C154**

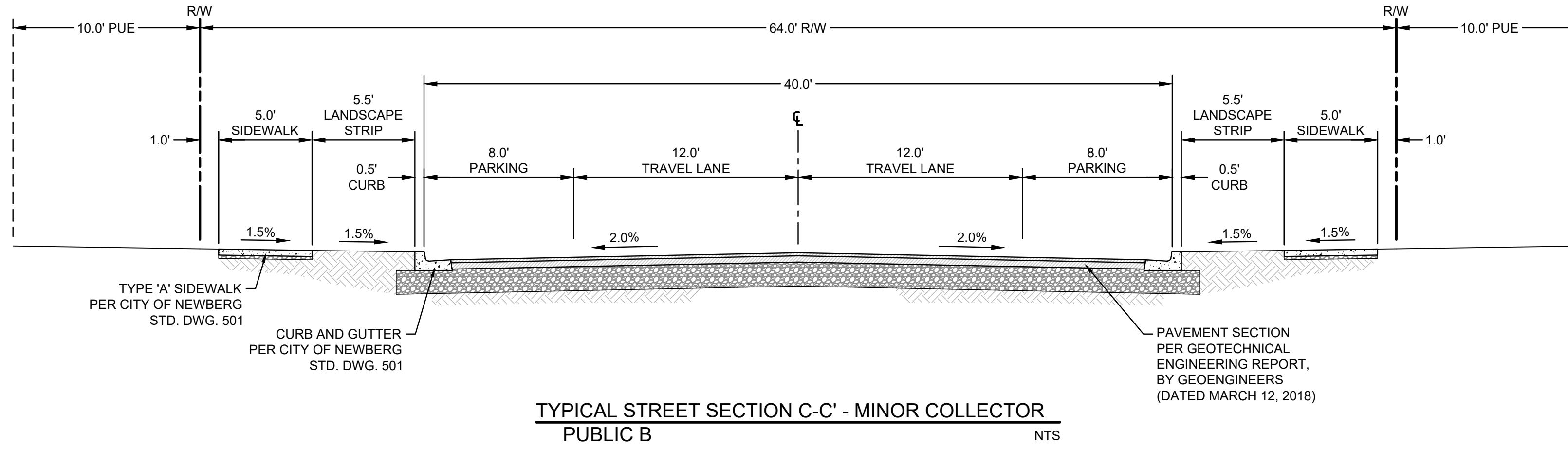
P:\17393-JTS-CRESTVIEW CROSSING\CADD\C154 TENTATIVE PLAT.DWG



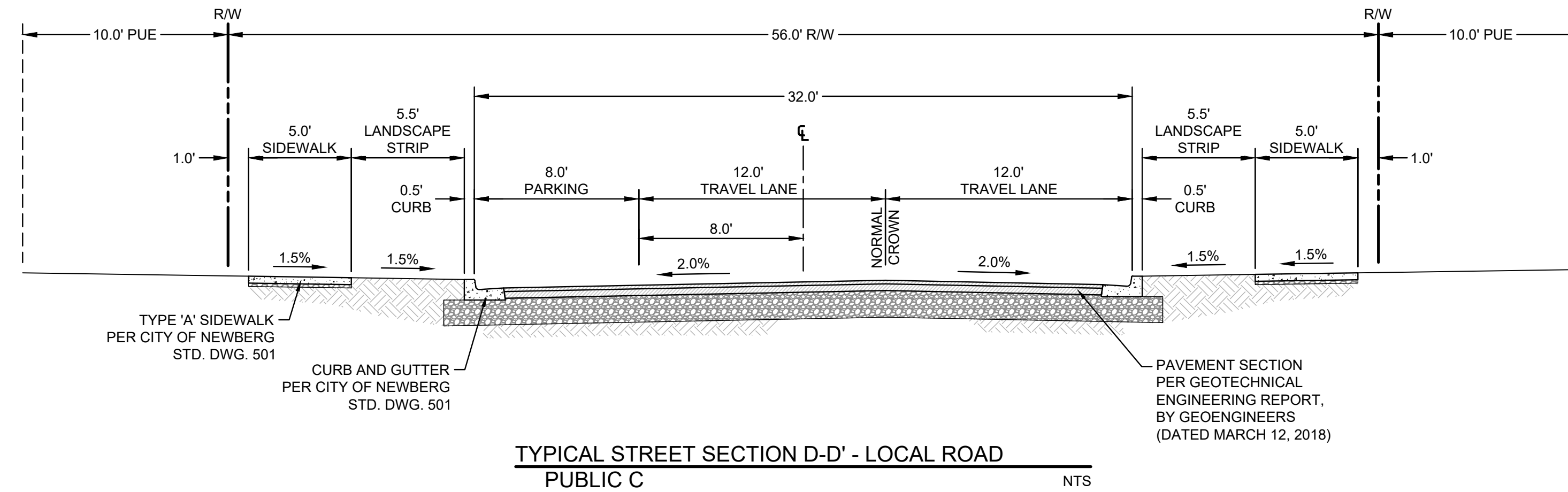
TYPICAL STREET SECTION A-A - MAJOR COLLECTOR  
CRESTVIEW DR  
NTS



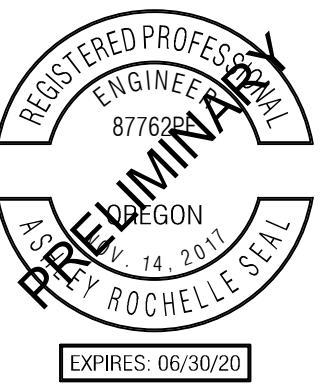
TYPICAL STREET SECTION B-B' - MAJOR COLLECTOR  
CRESTVIEW DR  
NTS



TYPICAL STREET SECTION C-C' - MINOR COLLECTOR  
PUBLIC B  
NTS

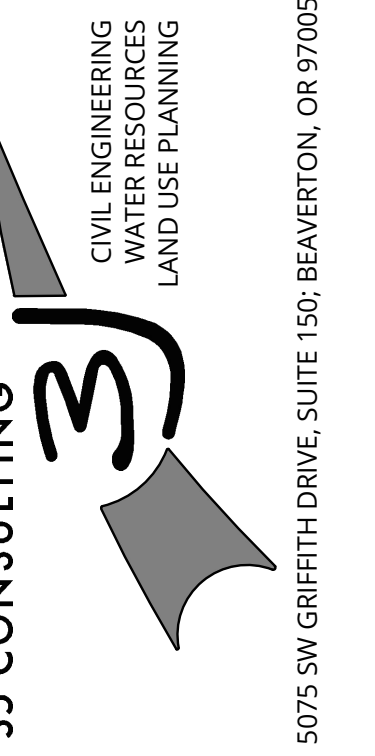


TYPICAL STREET SECTION D-D' - LOCAL ROAD  
PUBLIC C  
PUBLIC D  
NTS



PUBLISH DATE  
06.06.2018  
ISSUED FOR  
LAND USE DOCUMENTS

TYPICAL SECTIONS I  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBERG, OR

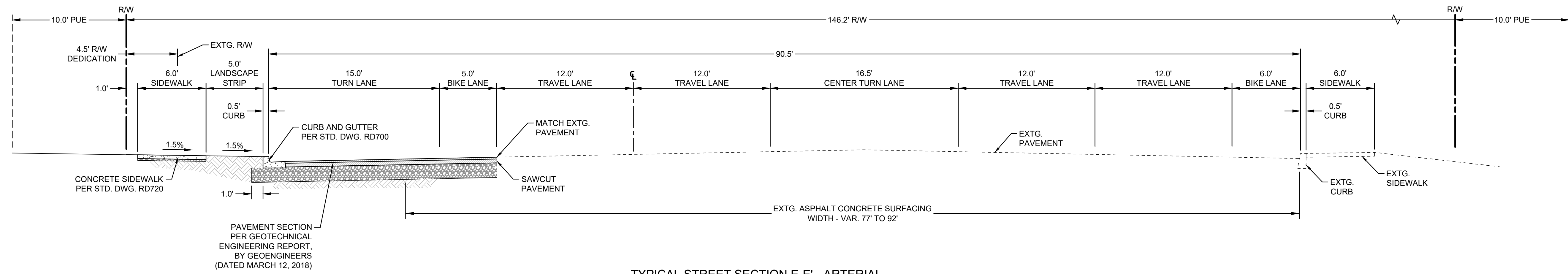


PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOTS | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

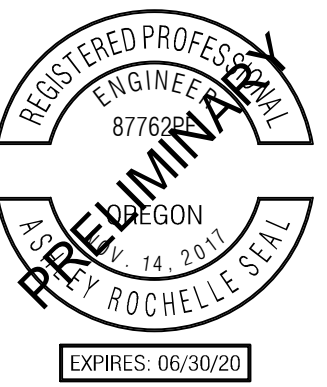
SHEET NUMBER  
**C200**

P:\17393-JTS-CRESTVIEW CROSSING\CADD\C200 TYPICAL SECTIONS.DWG

P:\17288-JTS-CRESTVIEW CROSSING\CADD\IC200 TYPICAL SECTIONS.DWG

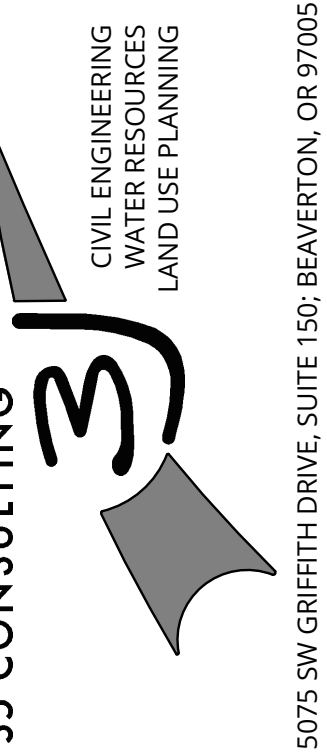


TYPICAL STREET SECTION E-E' - ARTERIAL  
HWY 99W (ODOT) NTS



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

TYPICAL SECTIONS II  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBERG, OR



PROJECT INFORMATION  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C201**



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**OVERALL SITE PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

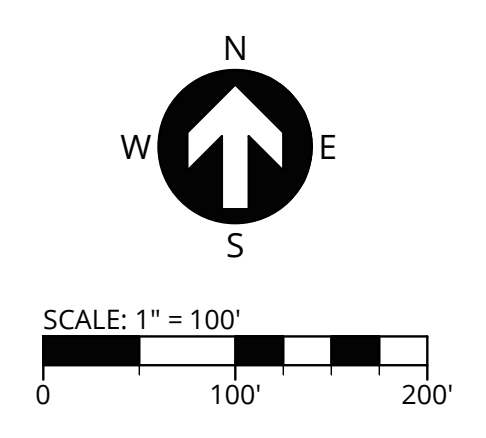
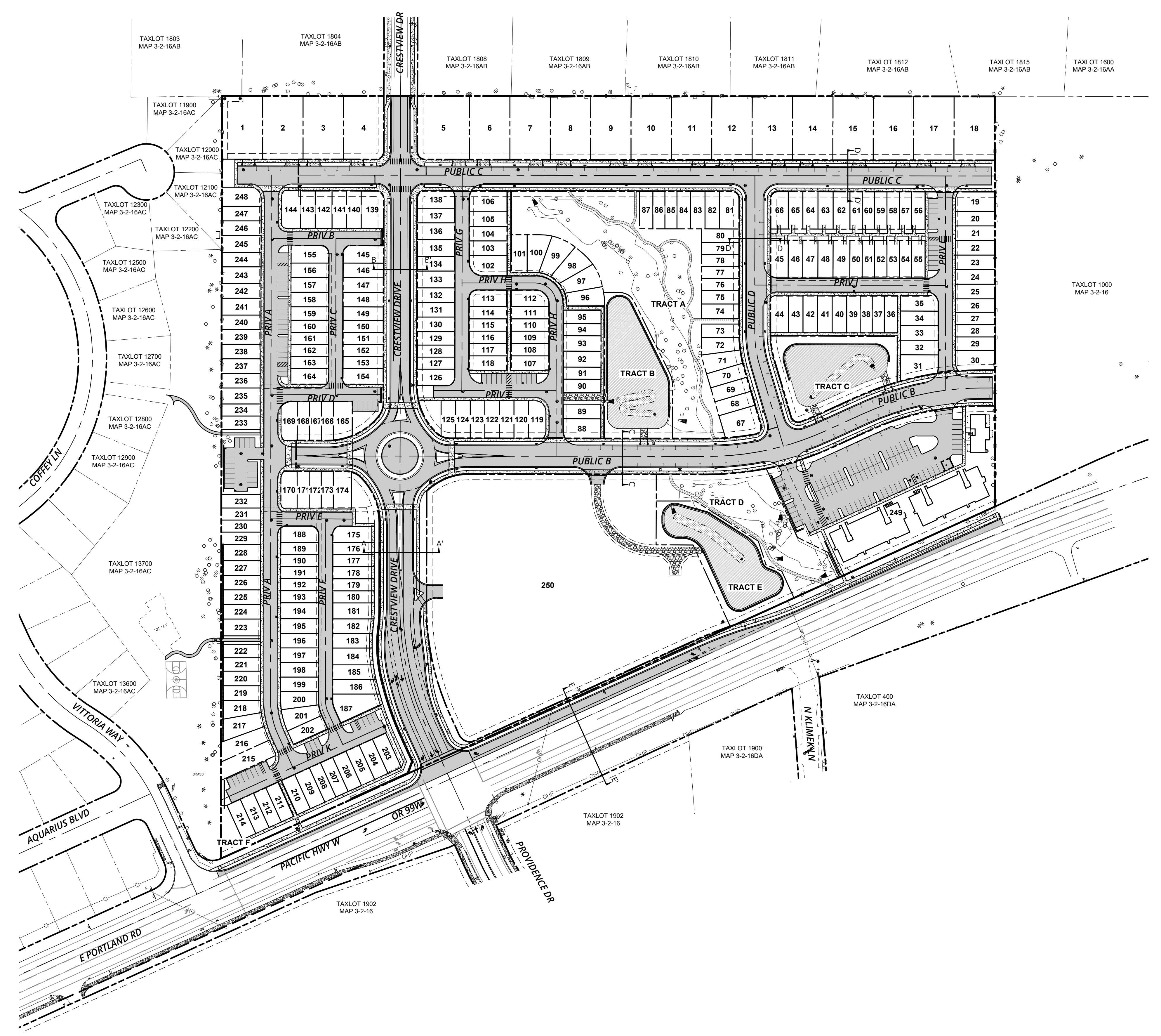
**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C210**

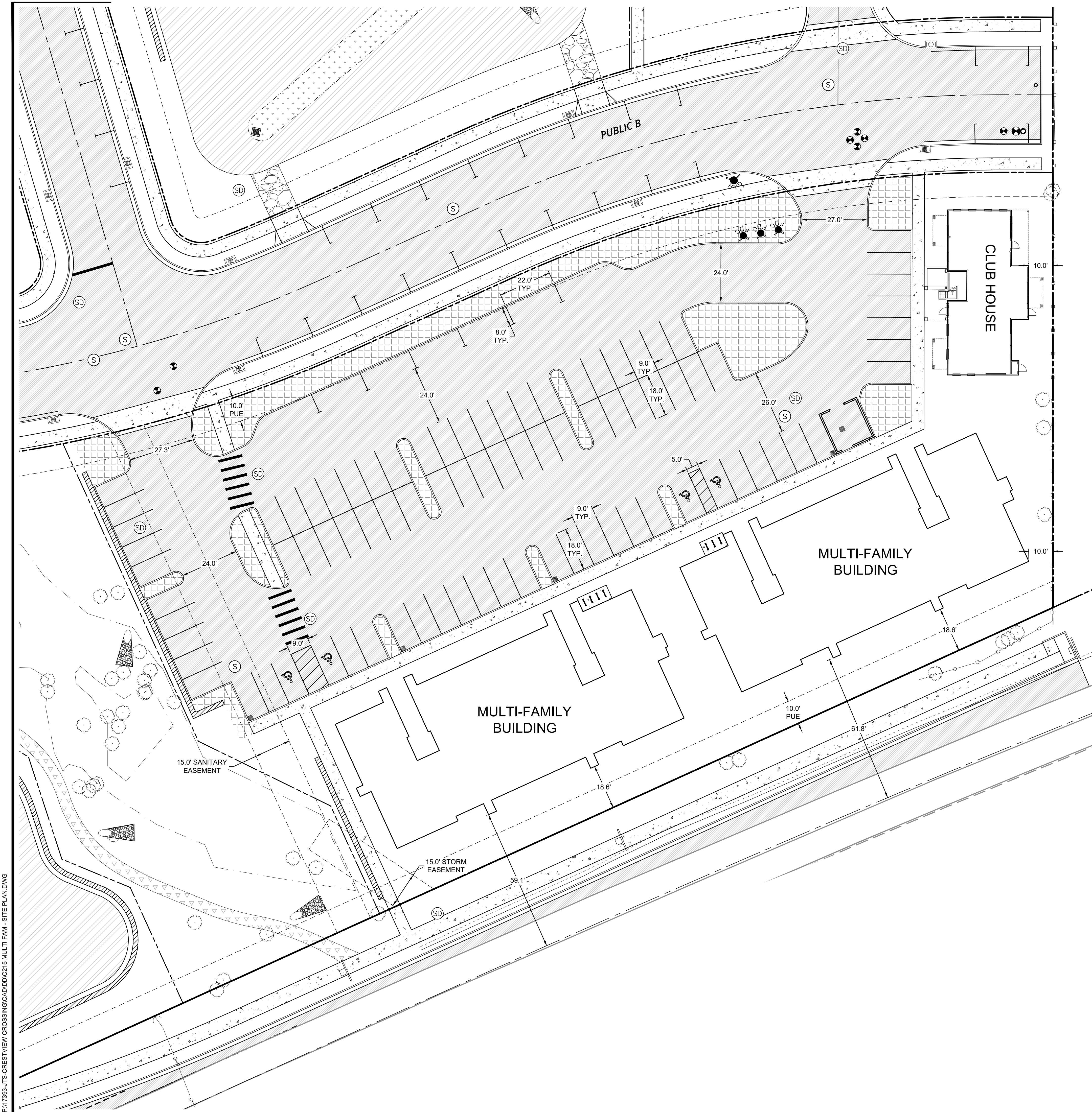
**LEGEND**

- PROJECT BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING RIGHT-OF-WAY CENTERLINE
- EXISTING ADJACENT PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED CURB FACE
- PROPOSED CURB BACK
- PROPOSED LIP OF GUTTER
- PROPOSED WHITE STRIPING
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED STORM FACILITY
- PROPOSED SWALE
- PROPOSED GRAVEL
- PROPOSED WOODCHIP PATH
- PROPOSED RETAINING WALL
- PROPOSED DRIVEWAY
- PROPOSED PEDESTRIAN CROSSWALK STRIPING
- PROPOSED TYPICAL STREET SECTION  
SEE SHEETS C200 & C201



P:\17393-JTS-CRESTVIEW CROSSING\CADD\C210 SITE PLAN.DWG





- LEGEND**
- PROJECT BOUNDARY
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING RIGHT-OF-WAY CENTERLINE
  - EXISTING ADJACENT PROPERTY LINE
  - PROPOSED RIGHT-OF-WAY LINE
  - PROPOSED RIGHT-OF-WAY CENTERLINE
  - PROPOSED LOT LINE
  - PROPOSED SETBACK LINE
  - PROPOSED EASEMENT
  - PROPOSED CURB FACE
  - PROPOSED CURB BACK
  - PROPOSED LIP OF GUTTER
  - PROPOSED WHITE STRIPING
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - PROPOSED LANDSCAPING
  - PROPOSED GRAVEL
  - PROPOSED WOODCHIP PATH
  - PROPOSED RETAINING WALL
  - PROPOSED DRIVEWAY
  - PROPOSED PEDESTRIAN CROSSWALK STRIPING
  - PROPOSED BIKE PARKING
  - PROPOSED ACCESSIBLE PARKING STALL
  - PROPOSED HYDRANT
  - PROPOSED VALVE
  - PROPOSED BLOW-OFF / AIR RELEASE ASSY.
  - PROPOSED FIRE DPT. CONNECTION
  - PROPOSED SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - PROPOSED CATCH BASIN
  - EXISTING DECIDUOUS TREE

**PARKING STATISTICS - MULTIFAMILY LOT**

**PROPOSED STALL COUNT & SUMMARY**

TYPE = (WIDTH x DEPTH)	STANDARD 9' x 18'	PARALLEL 8' x 22'	ADA 9' x 18'	ADA-VAN 9' x 18'	TOTAL
MULTIPLE FAMILY APARTMENTS =	80	7	3	1	91
TOTAL =	80	7	3	1	91

**VEHICLES**  
DEVELOPMENT CODE CHAPTER 15.440.30

	MINIMUM	PROPOSED
MAXIMUM PARKING - MULTI-FAMILY		NONE
MINIMUM PARKING - MULTI-FAMILY PROPOSED		74
		91

**BICYCLES**  
DEVELOPMENT CODE CHAPTER 15.440.90

	MINIMUM	PROPOSED
MINIMUM BICYCLE PARKING - MULTI-FAMILY	13	14

**ACCESSIBLE**  
OSSC SECTION 1106.1

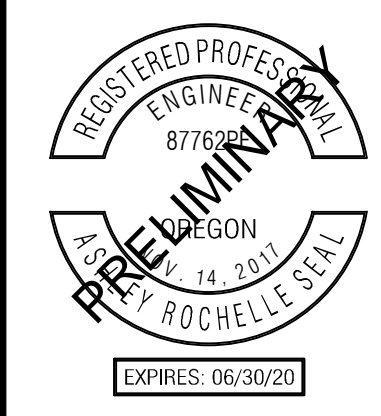
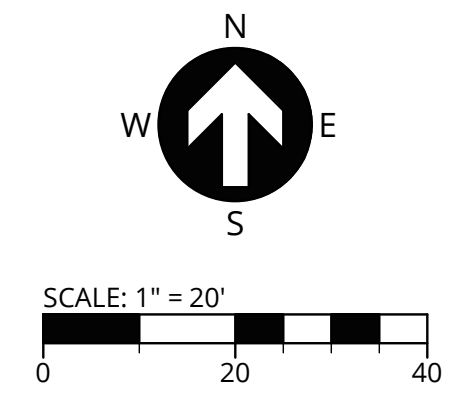
	MINIMUM	PROPOSED
MULTI-FAMILY PARKING LOT (76 TO 100)		
ACCESSIBLE SPACES	4	4
VAN ACCESSIBLE SPACES	1	1

**LANDSCAPING**  
DEVELOPMENT CODE CHAPTER 15.420.010

	REQUIRED	PROPOSED
MULTI-FAMILY PARKING LOT (25 SF PER STALL)	2,275 SF	6,357 SF

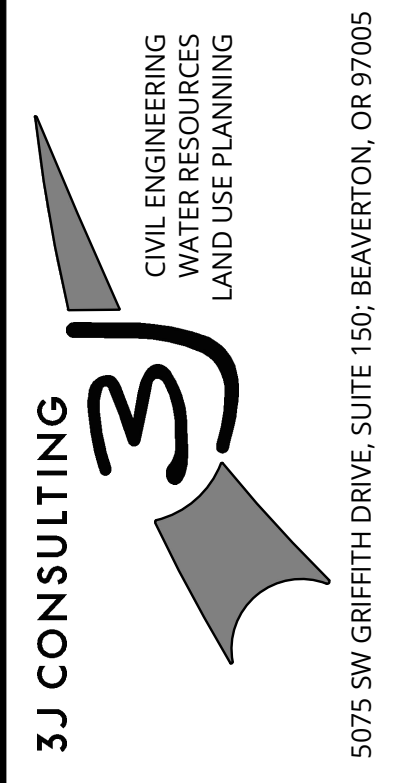
**SETBACKS**  
ZONE C3 - MULTI-FAMILY LOT

FRONT	10 FT
INTERIOR	0 FT/10 FT
STREET - EXPRESSWAY CENTERLINE	50 FT



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**MULTI-FAMILY SITE PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

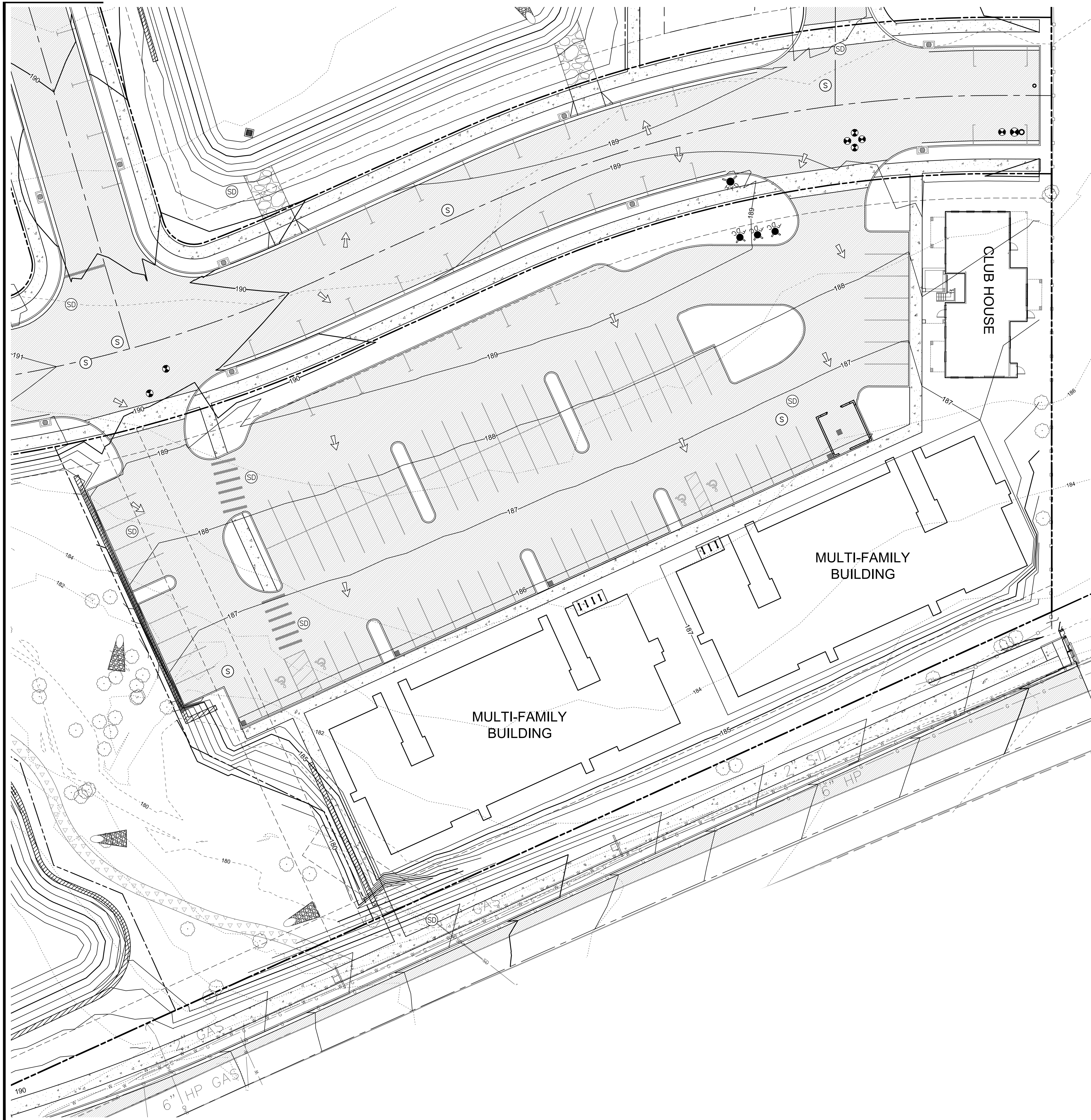


**PROJECT INFORMATION**  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

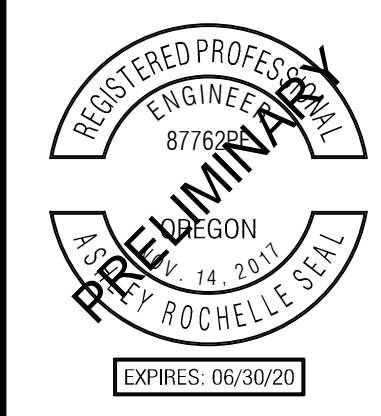
SHEET NUMBER  
**C215**

P:\17393-JTS-CRESTVIEW CROSSING\CADD\C215 MULTI-FAM - SITE PLAN.DWG

P:\17288-JTS-CRESTVIEW CROSSING\CADD\C218 MULTI-FAM - GRADING PLAN.DWG



- LEGEND**
- PROJECT BOUNDARY
  - - - EXISTING RIGHT-OF-WAY LINE
  - - - EXISTING RIGHT-OF-WAY CENTERLINE
  - - - EXISTING ADJACENT PROPERTY LINE
  - - - PROPOSED RIGHT-OF-WAY LINE
  - - - PROPOSED RIGHT-OF-WAY CENTERLINE
  - - - PROPOSED LOT LINE
  - - - PROPOSED SETBACK LINE
  - - - PROPOSED EASEMENT
  - - - EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - - - PROPOSED MAJOR CONTOUR
  - - - PROPOSED MINOR CONTOUR
  - PROPOSED SURFACE FLOW ARROW
  - PROPOSED CURB FACE
  - PROPOSED CURB BACK
  - PROPOSED LIP OF GUTTER
  - PROPOSED WHITE STRIPING
  - ▨ PROPOSED CONCRETE
  - ▩ PROPOSED ASPHALT
  - ▧ PROPOSED GRAVEL
  - ▦ PROPOSED WOODCHIP PATH
  - ▤ PROPOSED RETAINING WALL
  - ▧▧▧ PROPOSED PEDESTRIAN CROSSWALK STRIPING
  - PROPOSED BIKE PARKING
  - PROPOSED ACCESSIBLE PARKING STALL
  - ⊕ PROPOSED HYDRANT
  - ⊙ PROPOSED VALVE
  - ⊗ PROPOSED BLOW-OFF / AIR RELEASE ASSY.
  - ⊕ PROPOSED FIRE DPT. CONNECTION
  - ⊙ PROPOSED SEWER MANHOLE
  - ⊙ PROPOSED STORM MANHOLE
  - ⊙ PROPOSED CATCH BASIN
  - EXISTING DECIDUOUS TREE



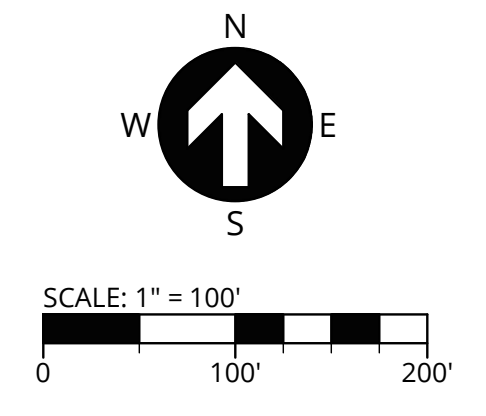
PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

**MULTI-FAMILY GRADING PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**

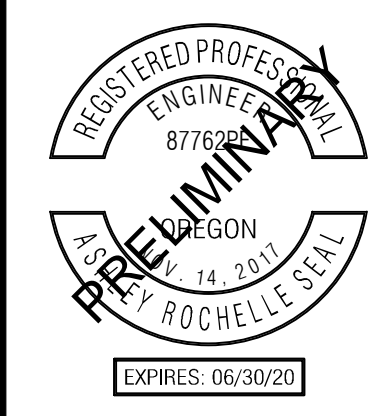
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING

5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005



PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C218**



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

**LEGEND**

	PROPOSED CAR CIRCULATION
	PROPOSED PEDESTRIAN CIRCULATION
	PROPOSED STANDARD PARKING STALL
	PROPOSED PARALLEL PARKING STALL
	PROPOSED ADA PARKING STALLS

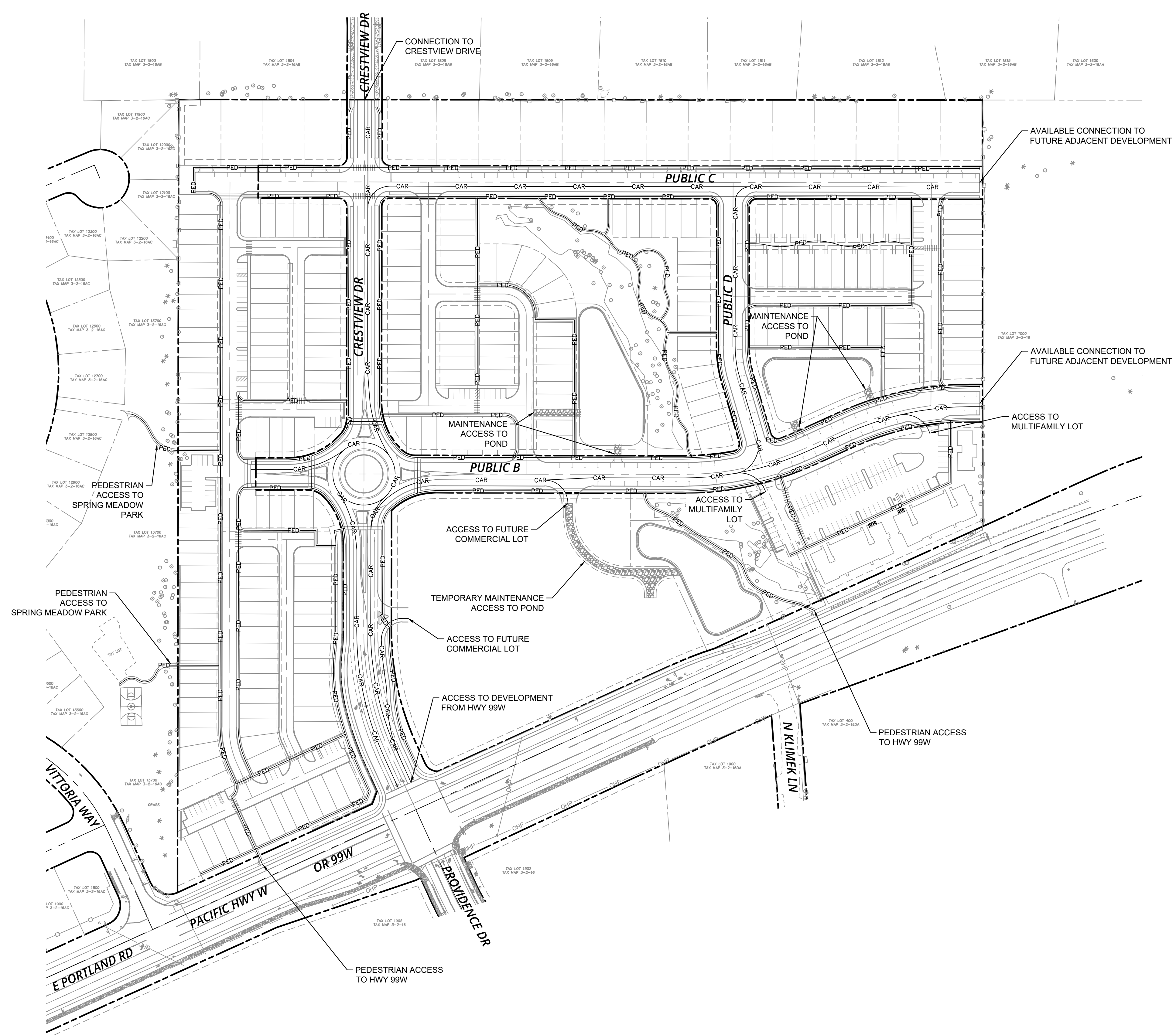
**PARKING STATISTICS**

**PROPOSED STALL COUNT & SUMMARY**

TYPE = (WIDTH x DEPTH)	STANDARD (9' x 18')	PARALLEL (8' x 22')	ADA (9' x 18')	ADA VAN (9' x 18')	TOTAL
PUBLIC ON-STREET =	0	72	0	0	72
PRIVATE =	71	0	10	2	83
MULTIFAMILY LOT =	80	7	3	1	91
<b>TOTAL =</b>	<b>151</b>	<b>79</b>	<b>13</b>	<b>3</b>	<b>246</b>

**MULTIFAMILY LOT PARKING - ACCESSIBLE**  
(OSCC SECTION 1106.1)

PARKING FACILITY TOTAL = 76 TO 100 STALLS	MINIMUM REQUIRED	AS PROPOSED
ACCESSIBLE SPACES	4	4
VAN ACCESSIBLE SPACES	1	1



**ACCESS, PARKING, AND CIRCULATION PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

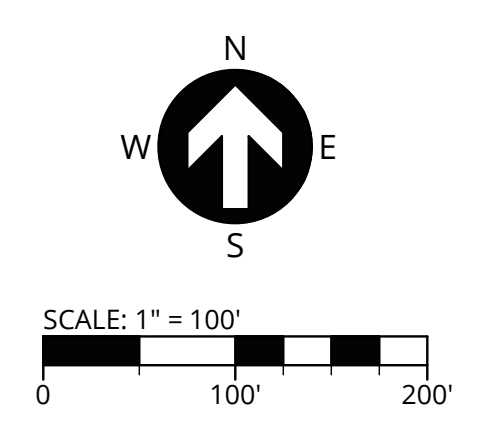
**3J CONSULTING**

CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING

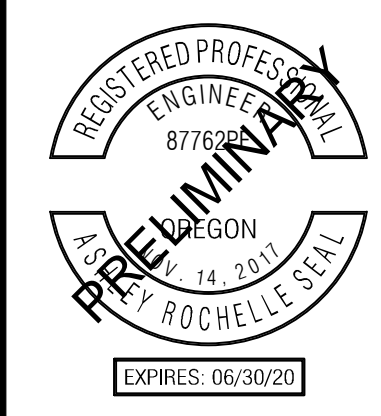
5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

**PROJECT INFORMATION**  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C220**



P:\17393-JTS-CRESTVIEW CROSSING\CADD\C220\_CIRCULATION PLAN.DWG



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**FIRE ACCESS PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

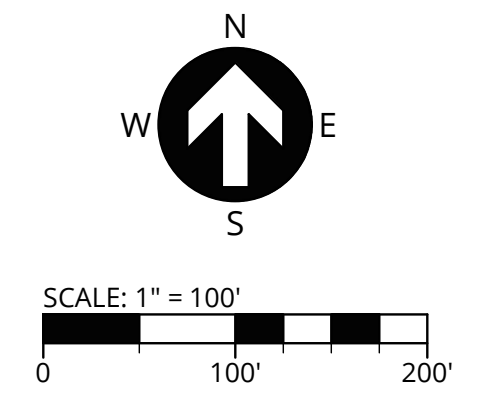
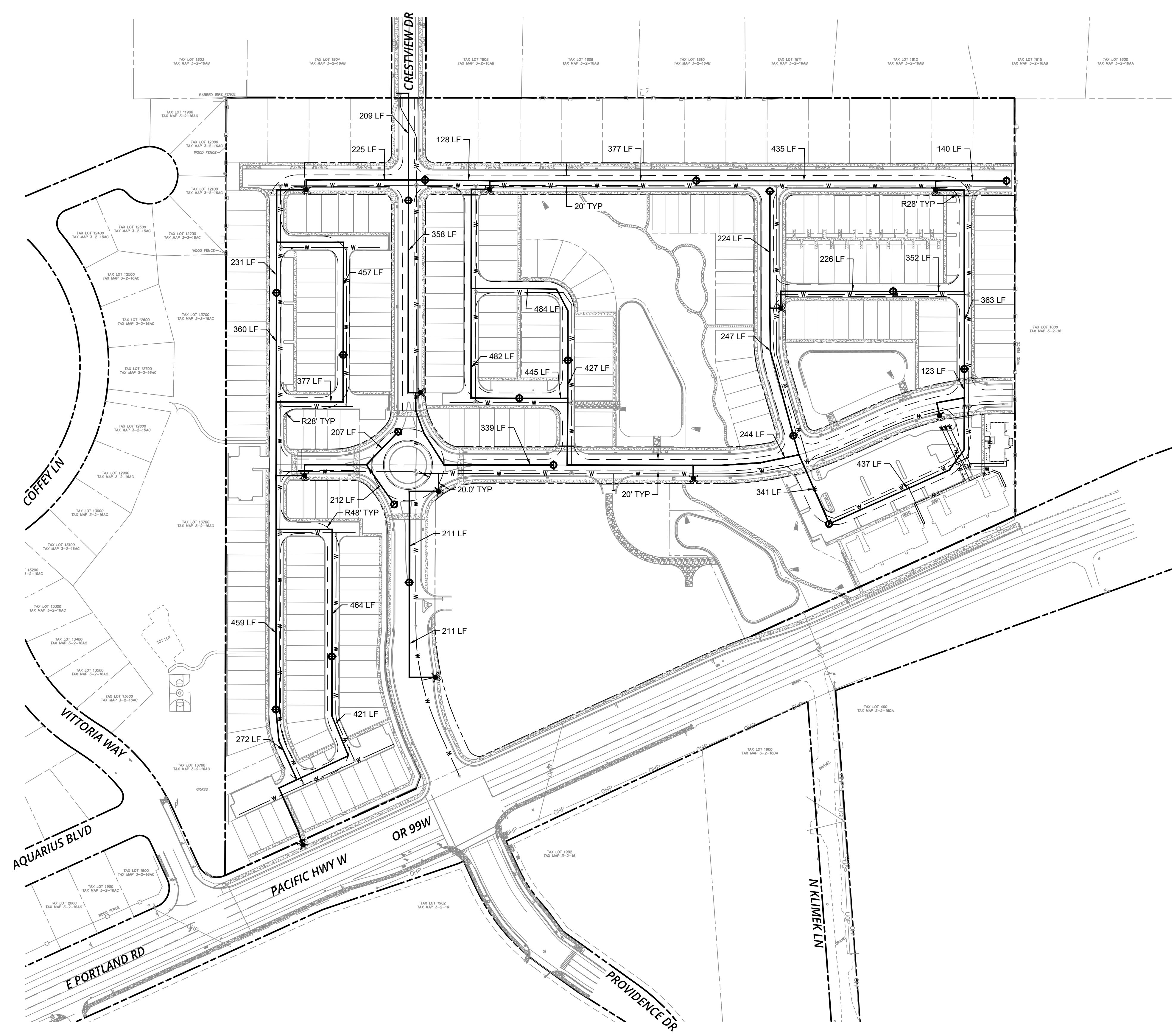
**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C230**

**LEGEND**

	PROPOSED WATER DOMESTIC SERVICE
	PROPOSED WATER FIRE SERVICE
	EXISTING FIRE HYDRANT
	PROPOSED HYDRANT
	PROPOSED HYDRANT
	PROPOSED VALVE
	FIRE HOSE LINE PULL EXTENTS FROM FIRE HYDRANT
	CURVE RADIUS
	PROPOSED FIRE ACCESS LANE



P:\17393-JT5-CRESTVIEW CROSSING\CADD\C230-FIRE ACCESS PLAN.DWG

## LIGHTING ZONE CALCULATIONS

ACI 1: ARTERIAL COMMERCIAL INTERSECTION #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	4.0 MIN	4.27

ACR 1: ARTERIAL COMMERCIAL ROAD #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	2.0 MIN	2.49

ARI 1: ARTERIAL RESIDENTIAL INTERSECTION #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	2.0 MIN	2.46

ARR 1: ARTERIAL RESIDENTIAL ROAD #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.0 MIN	1.41

ARR 2: ARTERIAL RESIDENTIAL ROAD #2		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.0 MIN	1.45

CCI 1: COLLECTOR COMMERCIAL INTERSECTION #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	2.4 MIN	2.49

CCI 2: COLLECTOR COMMERCIAL INTERSECTION #2		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	2.4 MIN	2.83

CCI 3: COLLECTOR COMMERCIAL INTERSECTION #3		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	2.4 MIN	2.69

CCR 2: COLLECTOR COMMERCIAL ROAD #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.2 MIN	1.31

CCR 1: COLLECTOR COMMERCIAL ROAD #2		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.2 MIN	1.31

CCR 3: COLLECTOR COMMERCIAL ROAD #3		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.2 MIN	1.51

CCR 3: COLLECTOR COMMERCIAL ROAD #4		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.2 MIN	1.39

CRI 1: COLLECTOR RESIDENTIAL INTERSECTION #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.4 MIN	1.68

CRI 2: COLLECTOR RESIDENTIAL INTERSECTION #2		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.4 MIN	1.65

CRI 3: COLLECTOR RESIDENTIAL INTERSECTION #3		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.4 MIN	1.82

CRI 4: COLLECTOR RESIDENTIAL INTERSECTION #4		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	1.4 MIN	1.47

CRR 1: COLLECTOR RESIDENTIAL ROAD #1		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	1.51

CRR 2: COLLECTOR RESIDENTIAL ROAD #2		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	1.15

CRR 3: COLLECTOR RESIDENTIAL ROAD #3		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	0.96

CRR 4: COLLECTOR RESIDENTIAL ROAD #4		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	1.14

CRR 5: COLLECTOR RESIDENTIAL ROAD #5		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	0.84

CRR 6: COLLECTOR RESIDENTIAL ROAD #6		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	1.69

CRR 7: COLLECTOR RESIDENTIAL ROAD #7		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.7 MIN	0.97

LRR 1: LOCAL RESIDENTIAL ROAD #1 (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.5 MIN	1.01

LRR 2: LOCAL RESIDENTIAL ROAD #2 (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.5 MIN	1.15

LRR 3: LOCAL RESIDENTIAL ROAD #3 (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	0.5 MIN	1.10

APL 1: APARTMENTS PARKING LOT #1 (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	N/A	1.36

### CONSTRUCTION KEY NOTES

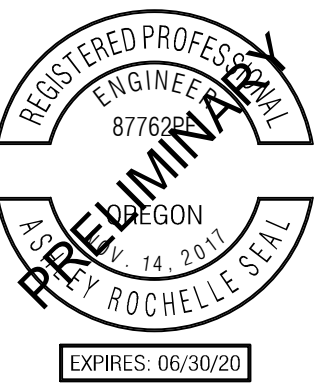
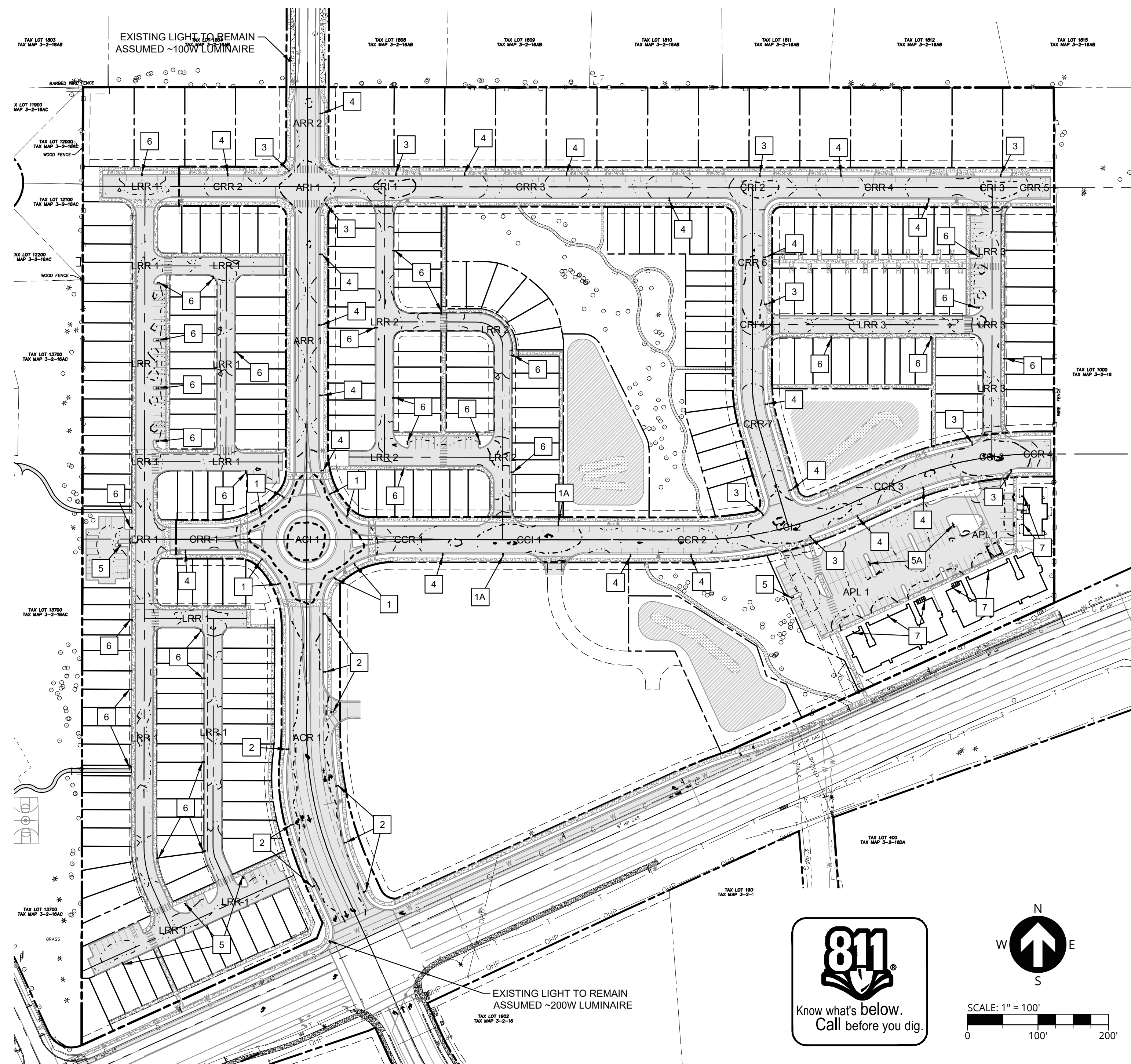
- 1 INSTALL 180W LED LUMINAIRE, TYPE III, 30' POLE, 6' ARM, BACKLIGHT SHIELD (17700 LUMENS). LUMINAIRE: LEOTEK GC1-80F-MV-NW-3-GY-700-HSS OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-270845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 1A INSTALL 180W LED LUMINAIRE, TYPE III, 25' POLE, 6' ARM, (17700 LUMENS, 80 LEDS). LUMINAIRE: LEOTEK GC1-80F-MV-NW-3-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 2 INSTALL 133W LED LUMINAIRE, TYPE III, 30' POLE, 6' ARM, BACKLIGHT SHIELD (13400 LUMENS). LUMINAIRE: LEOTEK GC1-60F-MV-NW-3-GY-700-HSS OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-270845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 3 INSTALL 133W LED LUMINAIRE, TYPE III, 25' POLE, 6' ARM (13400 LUMENS, 60 LEDS). LUMINAIRE: LEOTEK GC1-60F-MV-NW-3-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 4 INSTALL 92W LED LUMINAIRE, TYPE III, 25' POLE, 6' ARM (9300 LUMENS, 40 LEDS). LUMINAIRE: LEOTEK GC1-40F-MV-NW-3-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 5 INSTALL 70W LED LUMINAIRE, TYPE III, 25' POLE, 6' ARM (7000 LUMENS, 30 LEDS). LUMINAIRE: LEOTEK GC1-30F-MV-NW-2-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 5A INSTALL TWO 70W LED LUMINAIRES, TYPE III, 25' POLE IN DOUBLE ARM ARRANGMENT, 6' ARMS LUMINAIRE: TWO LEOTEK GC1-30F-MV-NW-2-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 2MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 6 INSTALL 70W LED LUMINAIRE, TYPE II, 25' POLE, 6' ARM (7000 LUMENS, 30 LEDS). LUMINAIRE: LEOTEK GC1-30F-MV-NW-2-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
- 7 INSTALL 65W LED LUMINAIRE, TYPE III, WALL MOUNTED, NO ARM (7000 LUMENS, 30 LEDS MIN) LUMINAIRE: LUMARK WPSQLED-65-UNV OR APPROVED EQUIVALENT.

### LEGEND

- 4.0 FOOT-CANDLE ISOLINE
- 2.0 FOOT-CANDLE ISOLINE
- 1.0 FOOT-CANDLE ISOLINE
- 0.5 FOOT-CANDLE ISOLINE

### ILLUMINATION GENERAL NOTES

1. ELECTRICAL BY OTHERS
2. TOTAL LIGHT LOSS FACTOR OF 0.855 ASSUMED FOR MAINTAINED LEVEL.
3. ALL ILLUMINATION CALCULATIONS AND ISOLINES DEVELOPED USING AGI32 V14.6.13 PHOTOMETRIC SOFTWARE BY LIGHTING ANALYSTS, INC.
4. LIGHT POLES SHALL BE ALUMINUM, NATURAL FINISH, AND ELLIPTICAL MAST ARMS.
5. LUMINAIRES SHALL BE LED LIGHT SOURCE WITH NO LESS THAN 30 LEDS AND NO LESS THAN 7000 LUMENS, WITH GREY COLORED "COBRAHEAD" STYLE HOUSINGS.



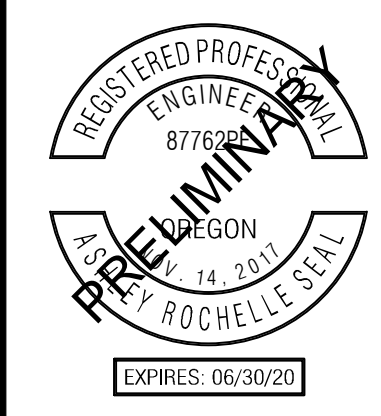
PUBLISH DATE  
06.06.2018  
ISSUED FOR  
LAND USE DOCUMENTS

PHOTOMETRICS PLAN  
**CRESTVIEW CROSSING**  
 PLANNED UNIT DEVELOPMENT  
 JT SMITH COMPANIES  
 NEWBERG, OR

3J CONSULTING  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C290**



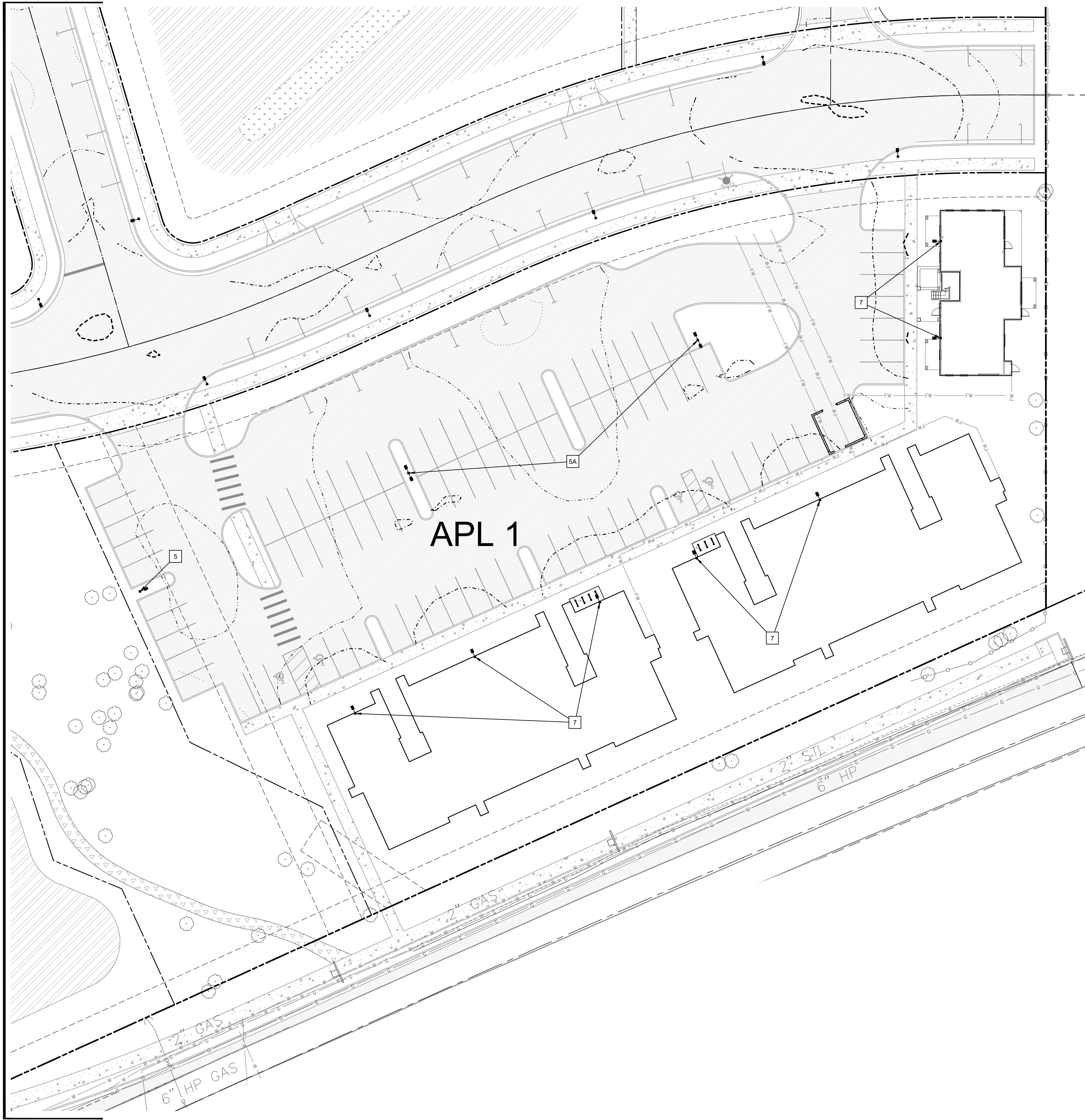
PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**MULTI-FAMILY PHOTOMETRICS PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | N/A  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C291**



**LEGEND**

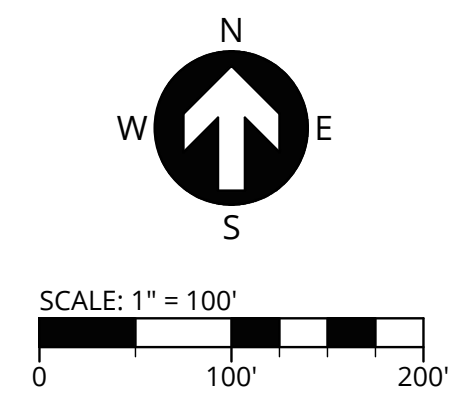
---	4.0 FOOT-CANDLE ISOLINE
- - -	2.0 FOOT-CANDLE ISOLINE
---	1.0 FOOT-CANDLE ISOLINE
...	0.5 FOOT-CANDLE ISOLINE

- ILLUMINATION GENERAL NOTES**
- ELECTRICAL BY OTHERS.
  - TOTAL LIGHT LOSS FACTOR OF 0.855 ASSUMED FOR MAINTAINED LEVEL.
  - ALL ILLUMINATION CALCULATIONS AND ISOLINES DEVELOPED USING AGI32 V14.6.13 PHOTOMETRIC SOFTWARE BY LIGHTING ANALYSTS, INC.
  - LIGHT POLES SHALL BE ALUMINUM, NATURAL FINISH, AND ELLIPTICAL MAST ARMS.
  - LUMINARIES SHALL BE LED LIGHT SOURCE WITH NO LESS THAN 30 LEDS AND NO LESS THAN 7000 LUMENS, WITH GREY COLORED "COBRAHEAD" STYLE HOUSINGS.

- CONSTRUCTION KEY NOTES**
- 5 INSTALL 70W LED LUMINAIRE, TYPE III, 25' POLE, 6' ARM (7000 LUMENS, 30 LEDS). LUMINAIRE: LEOTEK GC1-30F-MV-NW-2-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 1MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
  - 5A INSTALL TWO 70W LED LUMINAIRES, TYPE III, 25' POLE IN DOUBLE ARM ARRANGEMENT, 6' ARMS LUMINAIRE: TWO LEOTEK GC1-30F-MV-NW-2-GY-700 OR CITY APPROVED EQUIVALENT. POLE: VALMONT 2MA0632S-220845805T4-DNA OR CITY APPROVED EQUIVALENT.
  - 7 INSTALL 65W LED LUMINAIRE, TYPE III, WALL MOUNTED, NO ARM (7000 LUMENS, 30 LEDS MIN) LUMINAIRE: LUMARK WPSQLED-65-UNV OR APPROVED EQUIVALENT.

**LIGHTING ZONE CALCULATIONS**

APL 1: APARTMENTS PARKING LOT #1 (PRIVATE)		
	CITY STANDARD	CALCULATED
AVERAGE MAINTAINED ILLUMINANCE (FC)	N/A	1.36



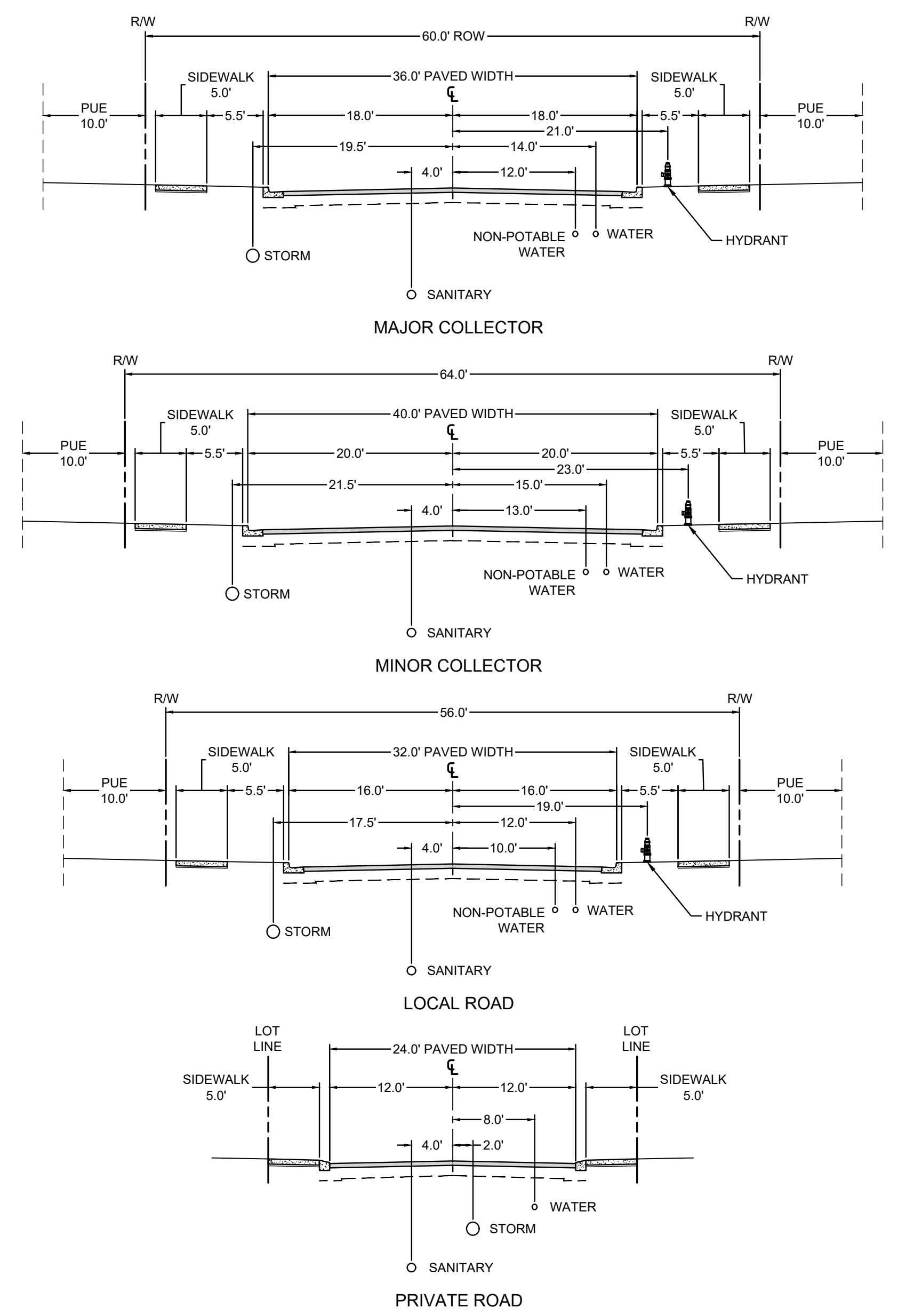
P:\17393-JTS-CRESTVIEW CROSSING\CADD\C291 MULTI-FAM - PHOTOMETRICS PLAN.DWG

**GENERAL NOTES**

1. LOTS 1 THROUGH 7 SHALL HAVE STORMWATER QUALITY TREATMENT LOCATED WITHIN LOT BOUNDARIES. STORMWATER DISCHARGE FROM THESE LOTS SHALL CONNECT TO PROPOSED STORM SEWER BYPASS AND OUTFALL TO THE WETLAND.

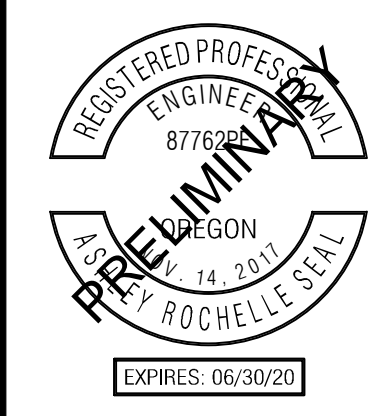
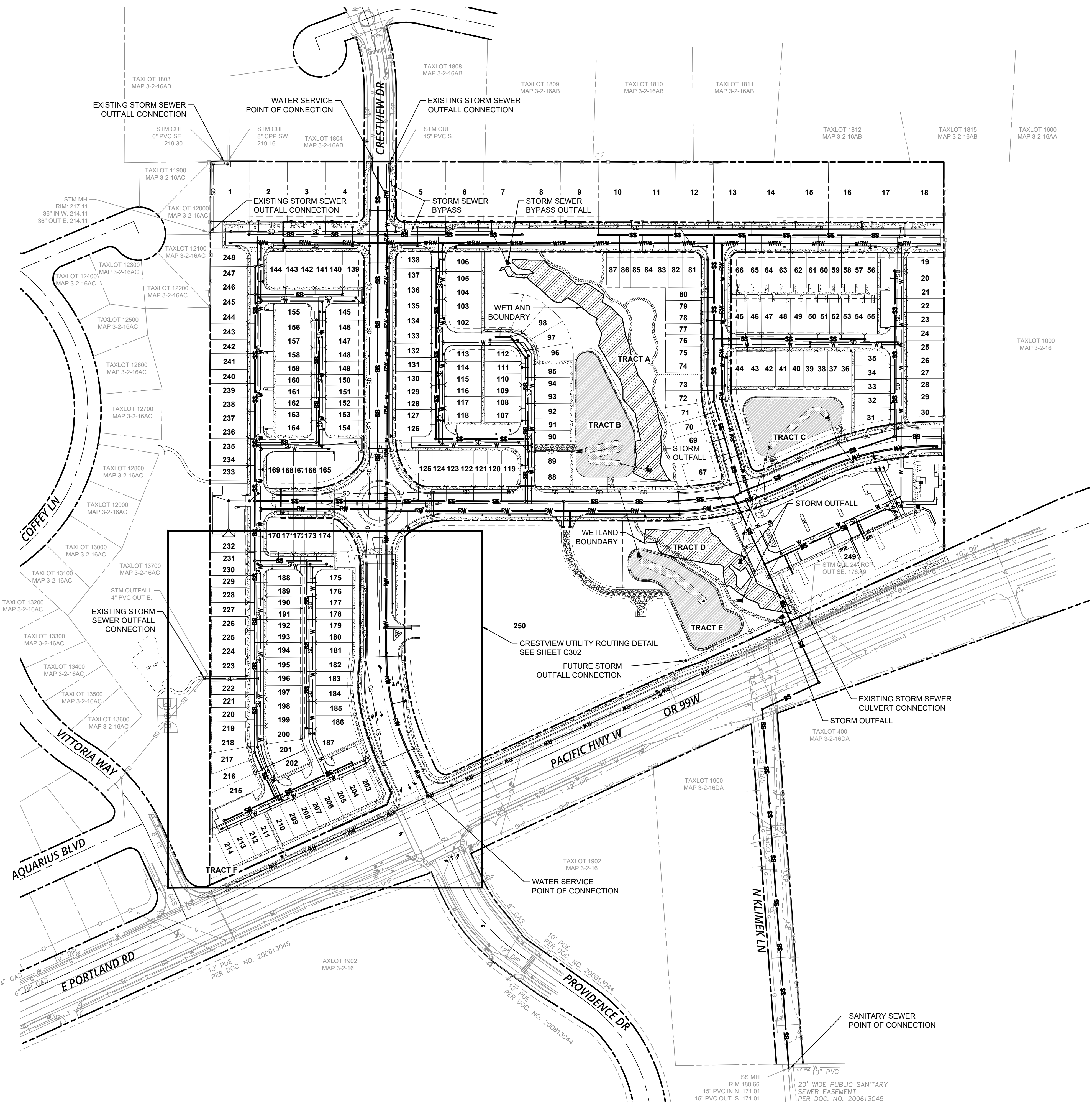
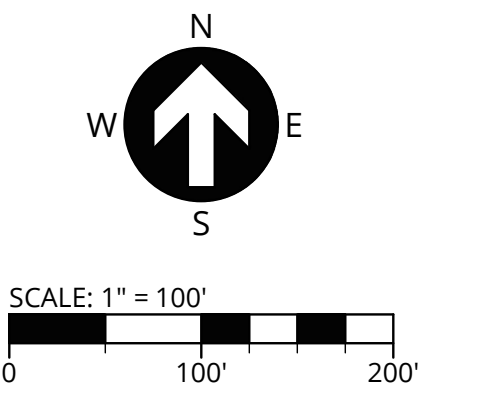
**LEGEND**

SD	PROPOSED STORM PIPE	T	EXISTING TELECOM. LINE
SS	PROPOSED SANITARY MAIN	G	EXISTING GAS LINE
W	PROPOSED WATER MAIN	UGP	EXISTING UNDERGROUND POWER
RW	PROPOSED NON-POTABLE WATER MAIN	OHP	EXISTING OVERHEAD POWER
FW	PROPOSED WATER FIRE SERVICE	SS	EXISTING SANITARY SEWER
[Hatched Box]	PROPOSED DETENTION POND	SD	EXISTING STORM DRAIN
[Dotted Box]	PROPOSED WATER QUALITY SWALE	W	EXISTING WATER MAIN
[Symbol]	PIPE CAP / STUB	[Symbol]	EXISTING HYDRANT
[Symbol]	PROPOSED HYDRANT	[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED WATER VALVE	[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	PROPOSED WATER PIPE BLOWOFF/ PROPOSED AIR RELEASE ASSEMBLY	[Symbol]	EXISTING STORM MANHOLE
[Symbol]	PROPOSED FIRE DPT. CONNECTION	[Symbol]	EXISTING STORM INLET
[Symbol]	PROPOSED SANITARY MANHOLE	[Symbol]	EXISTING POWER METER
[Symbol]	PROPOSED SANITARY SERVICE LATERAL WITH CLEANOUT	[Symbol]	EXISTING GAS METER
[Symbol]	PROPOSED STORM MANHOLE	[Symbol]	EXISTING TELEPHONE PEDESTAL
[Symbol]	PROPOSED STORM OUTFALL PROTECTION	[Symbol]	EXISTING GUY ANCHOR
[Symbol]	PROPOSED STANDARD INLET MANHOLE	[Symbol]	EXISTING LIGHT POLE
[Symbol]	PROPOSED SUPERSIZED INLET MANHOLE	[Symbol]	EXISTING UTILITY POLE
[Symbol]	PROPOSED CATCH BASIN	[Symbol]	EXISTING INTERSECTION SIGNAL
[Symbol]	PROPOSED DITCH INLET	[Symbol]	EXISTING ELECTRICAL BOX
[Symbol]	PROPOSED STREET LIGHTING		



**STREET UTILITIES TYPICAL SECTIONS**

SCALE: NTS



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
LAND USE DOCUMENTS

**COMPOSITE UTILITY PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

**PROJECT INFORMATION**  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

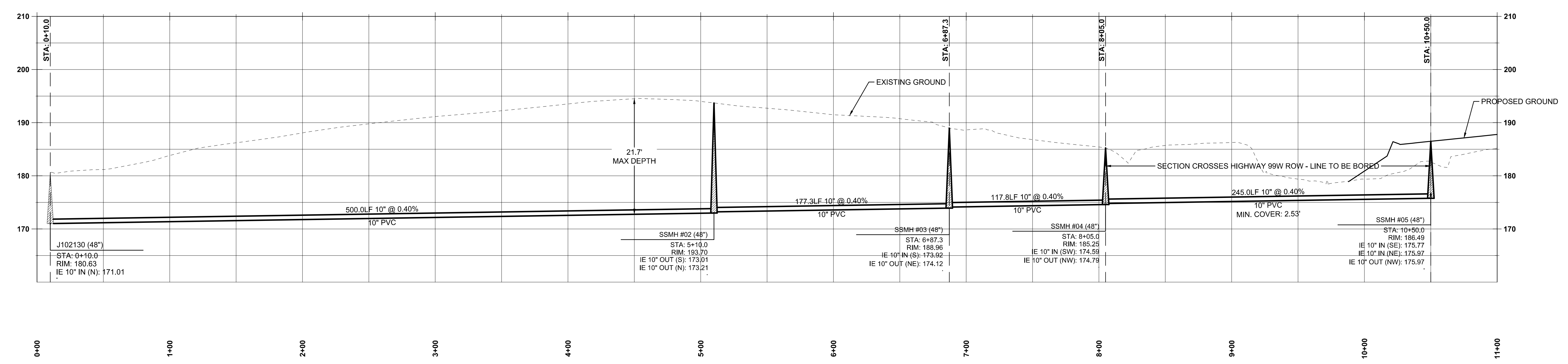
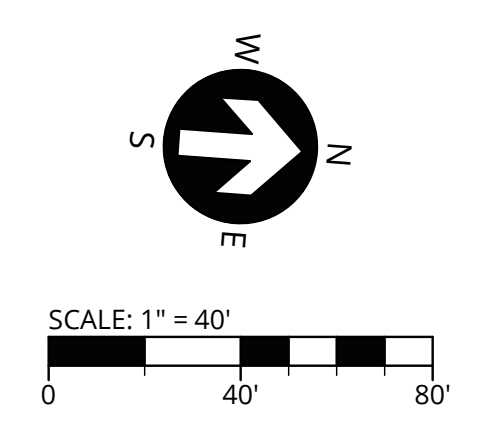
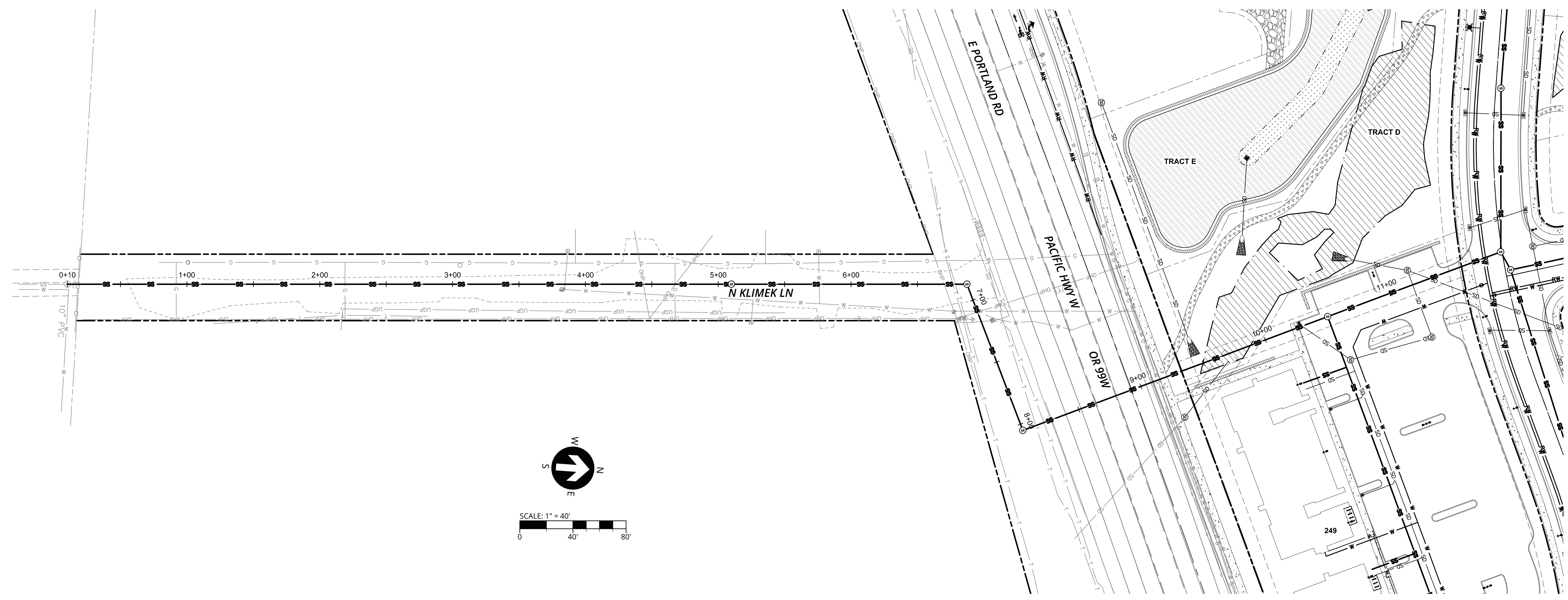
SHEET NUMBER  
**C300**

P:\17393-3JTS-CRESTVIEW CROSSING\CADD\C300-COMPOSITE UTILITY PLAN.DWG



PUBLISH DATE  
06.06.2018  
ISSUED FOR  
LAND USE DOCUMENTS

**OFFSITE SEWER CONNECTION**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR



**OFFSITE SEWER PROFILE**  
(STA: 0+00 - STA: 11+00)  
SCALE: 1" = 40' H; 1" = 10' V

P:\17288-JTS-CRESTVIEW CROSSING\CADD\C300-COMPOSITE UTILITY PLAN.DWG

**3J CONSULTING**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING

5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

**PROJECT INFORMATION**  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

SHEET NUMBER  
**C301**





PUBLISH DATE  
06.06.2018  
ISSUED FOR  
LAND USE DOCUMENTS

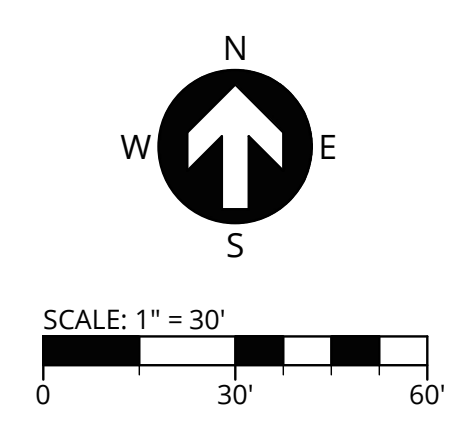
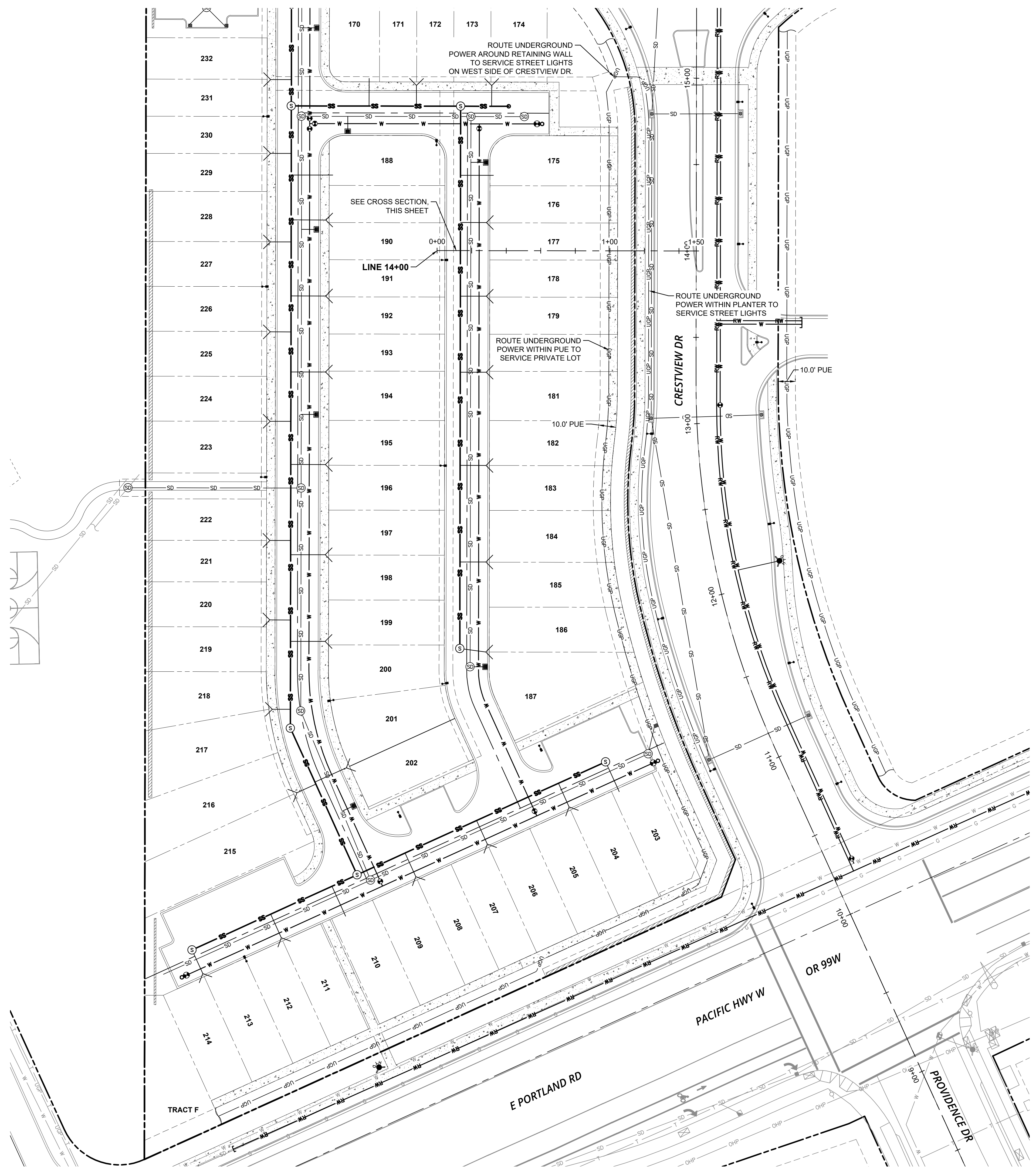
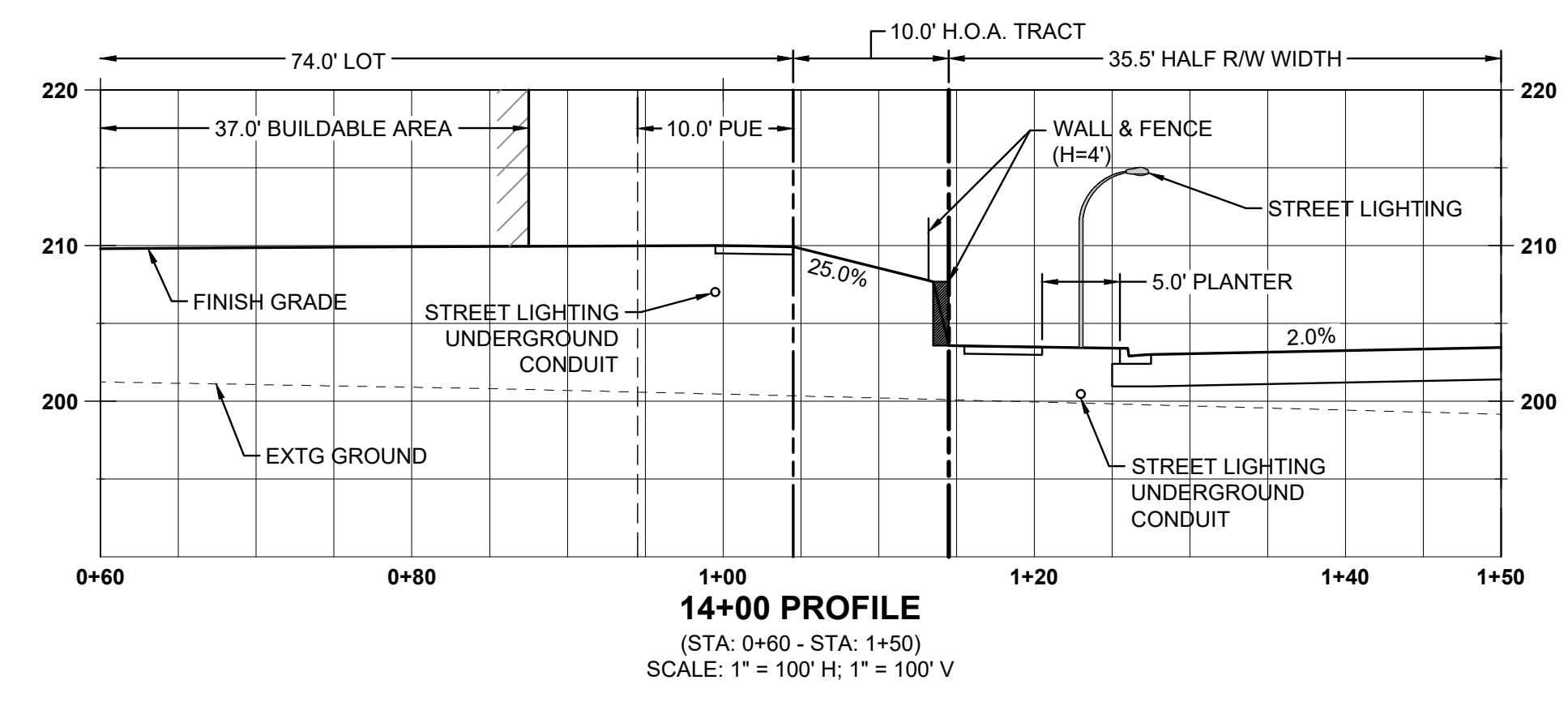
PRELIMINARY STREET LIGHT CONDUIT ROUTING PLAN  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
 JT SMITH COMPANIES  
 NEWBERG, OR

3J CONSULTING  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

PROJECT INFORMATION  
 3J PROJECT # | 17393  
 TAX LOT(S) | 352W16 13800, 1100  
 LAND USE # | NA  
 DESIGNED BY | ARS, JEJ, BMO  
 CHECKED BY | AJM, RGW

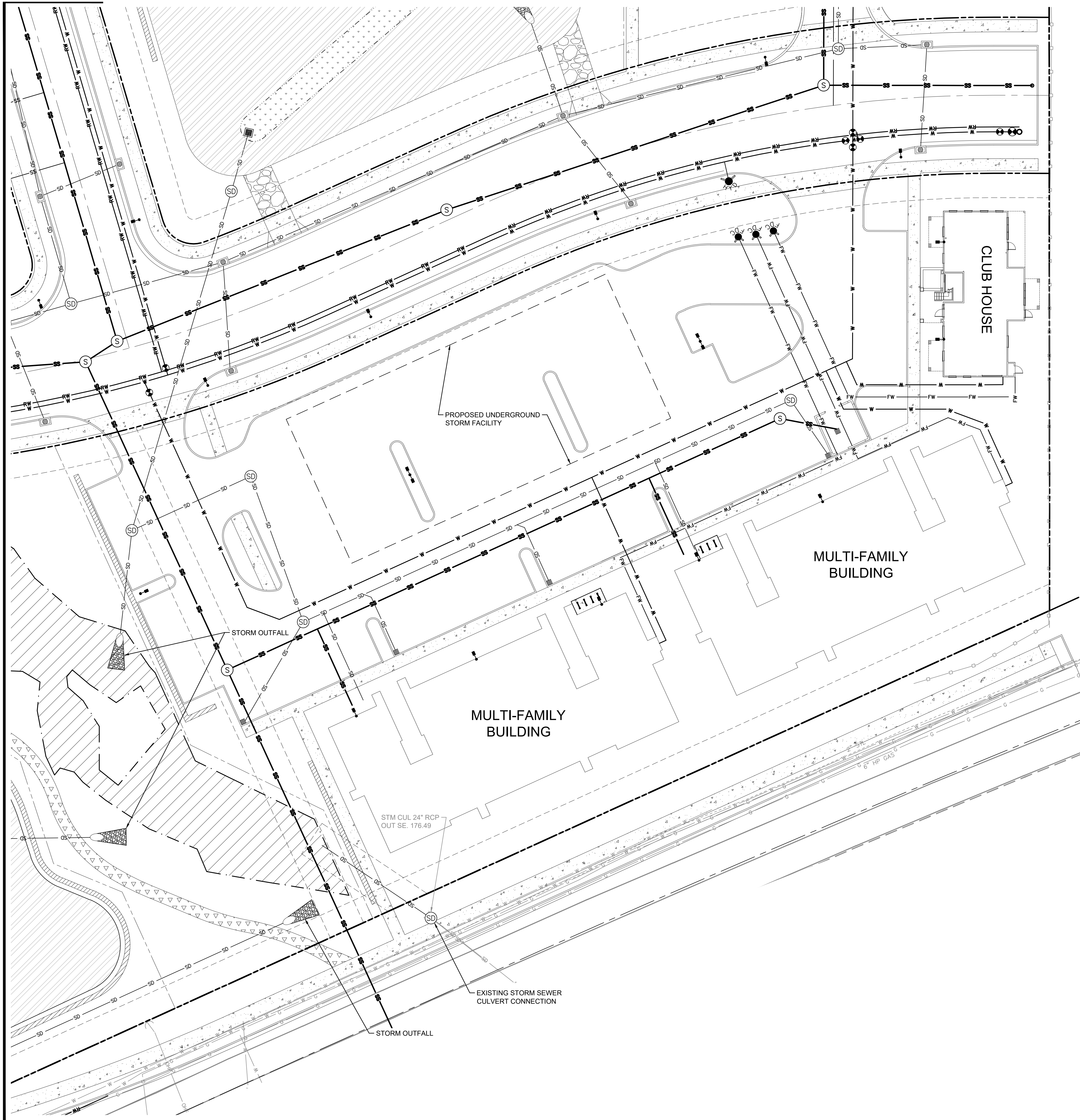
SHEET NUMBER  
**C302**

- LEGEND**
- SD — PROPOSED STORM PIPE
  - SS — PROPOSED SANITARY MAIN
  - SS — PROPOSED SANITARY SERVICE LATERAL
  - W — PROPOSED WATER PIPE
  - RW — PROPOSED RECLAIMED WATER MAIN
  - FW — PROPOSED WATER FIRE SERVICE
  - UGP — PROPOSED UNDERGROUND POWER CONDUIT
  - — PROPOSED STREET LIGHT



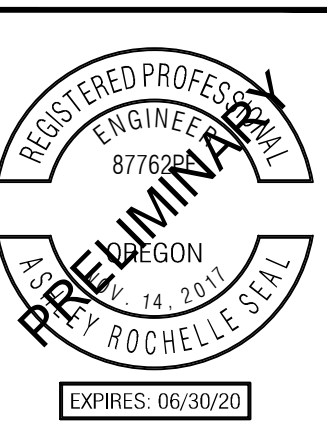
P:\17393-JTS-CRESTVIEW CROSSING\CADD\C300-COMPOSITE UTILITY PLAN.DWG

P:\17283-JTS-CRESTVIEW CROSSING\CADD\DC303 MULTI-FAM - COMPOSITE UTILITY PLAN.DWG



**LEGEND**

- |                           |  |                              |                              |
|---------------------------|--|------------------------------|------------------------------|
| SD                        | PROPOSED STORM PIPE                                  | T                            | EXISTING TELECOM. LINE       |
| SS                        | PROPOSED SANITARY MAIN                               | G                            | EXISTING GAS LINE            |
| W                         | PROPOSED WATER MAIN                                  | UGP                          | EXISTING UNDERGROUND POWER   |
| RW                        | PROPOSED NON-POTABLE WATER MAIN                      | OHP                          | EXISTING OVERHEAD POWER      |
| FW                        | PROPOSED WATER FIRE SERVICE                          | SS                           | EXISTING SANITARY SEWER      |
| [Hatched Box]             | PROPOSED DETENTION POND                              | SD                           | EXISTING STORM DRAIN         |
| [Dotted Box]              | PROPOSED WATER QUALITY SWALE                         | W                            | EXISTING WATER MAIN          |
| [T Symbol]                | PIPE CAP / STUB                                      | [Hydrant Symbol]             | EXISTING HYDRANT             |
| [Hydrant Symbol]          | PROPOSED HYDRANT                                     | [Valve Symbol]               | EXISTING WATER VALVE         |
| [Fire Connection Symbol]  | PROPOSED FIRE DEPARTMENT CONNECTION                  | [Manhole Symbol]             | EXISTING SANITARY MANHOLE    |
| [Valve Symbol]            | PROPOSED WATER VALVE                                 | [Manhole Symbol]             | EXISTING STORM MANHOLE       |
| [Blowoff Symbol]          | PROPOSED WATER PIPE BLOWOFF/<br>AIR RELEASE ASSEMBLY | [Inlet Symbol]               | EXISTING STORM INLET         |
| [Manhole Symbol]          | PROPOSED SANITARY MANHOLE                            | [Power Meter Symbol]         | EXISTING POWER METER         |
| [Sanitary Lateral Symbol] | PROPOSED SANITARY SERVICE LATERAL<br>WITH CLEANOUT   | [Gas Meter Symbol]           | EXISTING GAS METER           |
| [Storm Manhole Symbol]    | PROPOSED STORM MANHOLE                               | [Telephone Pedestal Symbol]  | EXISTING TELEPHONE PEDESTAL  |
| [Storm Protection Symbol] | PROPOSED STORM OUTFALL PROTECTION                    | [Guy Anchor Symbol]          | EXISTING GUY ANCHOR          |
| [Standard Inlet Symbol]   | PROPOSED STANDARD INLET MANHOLE                      | [Light Pole Symbol]          | EXISTING LIGHT POLE          |
| [Supersized Inlet Symbol] | PROPOSED SUPERSIZED INLET MANHOLE                    | [Utility Pole Symbol]        | EXISTING UTILITY POLE        |
| [Catch Basin Symbol]      | PROPOSED CATCH BASIN                                 | [Intersection Signal Symbol] | EXISTING INTERSECTION SIGNAL |
| [Ditch Inlet Symbol]      | PROPOSED DITCH INLET                                 | [Electrical Box Symbol]      | EXISTING ELECTRICAL BOX      |
| [Street Lighting Symbol]  | PROPOSED STREET LIGHTING                             |                              |                              |



PUBLISH DATE  
**06.06.2018**  
ISSUED FOR  
**LAND USE DOCUMENTS**

**MULTI-FAMILY COMPOSITE UTILITY PLAN**  
**CRESTVIEW CROSSING**  
**PLANNED UNIT DEVELOPMENT**  
JT SMITH COMPANIES  
NEWBERG, OR

**3J CONSULTING**

CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING

5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005

**PROJECT INFORMATION**  
3J PROJECT # | 17393  
TAX LOT(S) | 352W16 13800, 1100  
LAND USE # | NA  
DESIGNED BY | ARS, JEJ, BMO  
CHECKED BY | AJM, RGW

SHEET NUMBER  
**C303**

